

<p>Village President P. Sean Michels</p> <p>Village Clerk Cynthia Galbreath</p> <p>Village Administrator Brent M. Eichelberger</p>	 <p>10 S. Municipal Drive Sugar Grove, Illinois 60554 Phone: 630-466-4507 Fax: 630-466-4521</p>	<p>Village Trustees</p> <p>Kevin Geary Sean Herron Mari Johnson Ted Koch Rick Montalto David Paluch</p>
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**July 21, 2015
Board Meeting
6:00 P.M.**

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Public Hearing
 - a. Public Hearing: Boundary Agreement Extension
5. Appointments and Presentations
 - a. None
6. Public Comment on Items Scheduled for Action
7. Consent Agenda
 - a. Approval: Minutes of the July 7, 2015 Meeting
 - b. Approval: Vouchers
 - c. Approval: Treasurer’s Report
 - d. Ordinance: Extending the Boundary Agreement with North Aurora
 - e. Ordinance: Adopting the 2015 Affordable Housing Plan Walter, make sure map is attached
8. General Business
 - a. Resolution: Approving a Construction Contract – Queensgate Circle Sanitary Sewer Project
 - b. Resolution: Authorizing Purchase of a Replacement 1 Ton Dump Truck
 - c. Resolution: Authorizing an Agreement for Demolition of a Dilapidated Structure
 - d. Ordinance: Amending Regulations Regarding Nonconforming Structures
9. New Business
 - a. None
10. Reports
 - a. Staff Reports
 - b. Trustee Reports
 - c. Presidents Report
11. Public Comments
12. Airport Report
13. Closed Session: Land Acquisition, Personnel, Litigation
14. Adjournment

<p>Village President P. Sean Michels</p> <p>Village Clerk Cynthia Galbreath</p> <p>Village Administrator Brent M. Eichelberger</p>	 <p>10 S. Municipal Drive Sugar Grove, Illinois 60554 Phone: 630-466-4507 Fax: 630-466-4521</p>	<p>Village Trustees</p> <p>Kevin Geary Sean Herron Mari Johnson Ted Koch Rick Montalto David Paluch</p>
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**July 21, 2015
Committee of the Whole
6:30 P.M.**

1. Call to Order
2. Roll Call
3. Public Comment
4. Discussion: Preliminary & Final PUD and Special Use - 769 Heartland Drive
5. Discussion: Temporary Use Approval Process
6. Closed Session: Land Acquisition, Personnel, Litigation
7. Adjournment

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: WALTER MAGDZIARZ, COMMUNITY DEVELOPMENT DIRECTOR
SUBJECT: PUBLIC HEARING: NORTH AURORA BOUNDARY AGREEMENT
AGENDA: JULY 21, 2015 VILLAGE BOARD REGULAR MEETING
DATE: JULY 17, 2015

ISSUE

Should the Village Board hold a public hearing to collect comments from the public concerning the extension of the current North Aurora-Sugar Grove boundary line agreement.

DISCUSSION

There is currently a boundary line agreement in effect between the Village of North Aurora and the Village of Sugar Grove and is due to expire in 2020. The leadership in both communities has determined it would be in the best interests of both communities to extend the life of the current agreement in the absence of development pressure.

ATTACHMENTS

- Public hearing notice

COSTS

Aside from the cost of publication of the required notice, there is no cost associated with the requested action.

RECOMMENDATION

That President Michels open the public hearing to accept public comments on the boundary line agreement and that the public hearing be subsequently closed.

**LEGAL NOTICE OF PUBLIC HEARING
PROPOSED RENEWAL OF BOUNDARY AGREEMENT BETWEEN THE VILLAGES
OF SUGAR GROVE AND NORTH AURORA**

PUBLIC NOTICE is hereby given that the Village of Sugar Grove and the Village of North Aurora are proposing the renewal of a Boundary Agreement establishing a jurisdictional boundary line between the two municipalities pursuant to the provisions of Section 5/11-12-9 of the Illinois Municipal Code (65 ILCS 5/11-12-9) for territory located between the two villages and on either side of a line running generally along Lake Run from a point in Section 2 in Sugar Grove Township to a point in Section 35 in Blackberry Township, as set forth in greater specificity on the Jurisdictional Boundary Line Map. It is anticipated that the boundary line to be established shall be substantially the same as the previously existing boundary line.

The proposed boundary line agreement will be reviewed by the Village Board at a public meeting to be held on July 21, 2015 at 6:00 p.m. at Village Hall, located at 10 South Municipal Drive, Sugar Grove, Illinois. All interested parties wishing to comment may address the Village Board at this meeting and/or may submit written comments to the Village Clerk at the address below.

The proposed Jurisdictional Boundary Line Agreement and Map referenced herein are available for inspection at the office of the Village Clerk, Village of Sugar Grove, 10 South Municipal Drive, Sugar Grove, Illinois.

Published this 5th day of July, 2015.

By order of the Corporate Authorities of the Village of Sugar Grove, Kane County, Illinois.

VILLAGE OF SUGAR GROVE
Cindy Galbreath, Village Clerk

**LEGAL NOTICE OF PUBLIC HEARING
PROPOSED RENEWAL OF BOUNDARY AGREEMENT BETWEEN THE VILLAGES
OF SUGAR GROVE AND NORTH AURORA**

PUBLIC NOTICE is hereby given that the Village of Sugar Grove and the Village of North Aurora are proposing the renewal of a Boundary Agreement establishing a jurisdictional boundary line between the two municipalities pursuant to the provisions of Section 5/11-12-9 of the Illinois Municipal Code (65 ILCS 5/11-12-9) for territory located between the two villages and on either side of a line running generally along Lake Run from a point in Section 2 in Sugar Grove Township to a point in Section 35 in Blackberry Township, as set forth in greater specificity on the Jurisdictional Boundary Line Map. It is anticipated that the boundary line to be established shall be substantially the same as the previously existing boundary line.

The proposed boundary line agreement will be reviewed by the Village Board at a public meeting to be held on July 21, 2015 at 6:00 p.m. at Village Hall, located at 10 South Municipal Drive, Sugar Grove, Illinois. All interested parties wishing to comment may address the Village Board at this meeting and/or may submit written comments to the Village Clerk at the address below.

The proposed Jurisdictional Boundary Line Agreement and Map referenced herein are available for inspection at the office of the Village Clerk, Village of Sugar Grove, 10 South Municipal Drive, Sugar Grove, Illinois.

Published this 5th day of July, 2015.

By order of the Corporate Authorities of the Village of Sugar Grove, Kane County, Illinois.

VILLAGE OF SUGAR GROVE
Cindy Galbreath, Village Clerk

July 7, 2015
Village of Sugar Grove
6:00 PM

President Michels opened the meeting at 6:00 PM and asked that Trustee Montalto lead the Pledge. The roll was then called.

Present: President Michels, Trustee Herron Trustee Paluch, Trustee Montalto, Trustee Geary, and Trustee Johnson.

Quorum Established.

Also Present:

Administrator Eichelberger, Clerk Galbreath, Finance Director Chamberlin, Community Development Director Magdziarz, Public Works Director Speciale, Streets & Properties Superior Payton, Utilities Supervisor Merkel and Chief of Police Rollins.

APPOINTMENTS AND PRESENTATIONS

Oath of Office

President Michels asked the Board to ratify the appointment of Mr. Ted Koch to fill the 2-year term open seat on the Board. Trustee Johnson **moved to ratify the appointment of Mr. Ted Koch as a Village of Sugar Grove Trustee to fill the unexpired term of former Trustee Robert Bohler.** Trustee Geary seconded the motion. President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	None
	Paluch				
	Johnson				
	Geary				
	Herron				

Motion Carried.

President Michels then administered the oath of office and Mr. Ted Koch was sworn in to fill the unexpired open term of former Trustee Bohler. The Board then congratulated Trustee Koch and welcomed him aboard. Trustee Koch thanked the Board for giving him the opportunity to serve and further stated that he hoped to be as good a Trustee as Trustee Bohler, considerate and community minded.

PUBLIC HEARINGS

None.

PUBLIC COMMENTS ON ITEMS SCHEDULED FOR ACTION

President Michels called for any public comments as no member of the public stepped forward and this portion of the agenda was closed.

CONSENT AGENDA

- a. Approval: Minutes of the June 16 and 23, 2015 Meetings
- b. Approval: Vouchers
- c. Approval: Treasurer's Report
- d. Approval: 2015 Sugar Grove Corn Boil

- e. Approval: American Legion & Sugar Grove Fire Auxiliary Temporary Liquor License 2015 Corn Boil

Trustee Johnson **moved to approve the Consent Agenda.** Trustee Herron seconded the motion. President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	None
	Paluch				
	Johnson				
	Geary				
	Herron				

Motion Carried.

GENERAL BUSINESS

Resolution Approving Low Bid – Fays Lane & Sugar Lane Watermain & Paving Projects

Trustee Johnson **moved to a Resolution Approving Low Bid – Fays Lane & Sugar Lane Watermain & Paving Projects.** Trustee Herron seconded the motion. Utilities Supervisor Merkel stated the work would not begin until after Corn Boil and would completed by the first of November. The item was discussed and President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	
	Paluch				
	Johnson				
	Geary				
	Herron				
	Koch				

Motion Carried.

Resolution Engineering Services Agreement - EEI Fays Lane & Sugar Lane Watermain/Paving Projects

Trustee Johnson **moved to Resolution Engineering Services Agreement - EEI Fays Lane & Sugar Lane Watermain/Paving Projects.** Trustee Paluch seconded the motion. The item was discussed and President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	
	Paluch				
	Johnson				
	Geary				
	Herron				
	Koch				

Motion Carried.

Resolution Approval – Sanitary Sewer Lining Contract

Trustee Johnson **moved to a Resolution Approval – Sanitary Sewer Lining Contract.** Trustee Herron seconded the motion. . This is bid and overseen by Fox Metro as Sugar Grove has contracted with them for I & I work. It is anticipated that additional I & I work will be completed this year as pricing is very good. The item was discussed and President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	
	Paluch				
	Johnson				
	Geary				
	Herron				
	Koch				

Motion Carried.

Resolution Approving a Professional Services Agreement for IT – Ispera Government Systems

Trustee Geary **moved to a Resolution Approving a Professional Services Agreement for IT – Ispera Government Systems.** Trustee Johnson seconded the motion. The Board asked if this as a change of consultants. Staff answered no, for now the two would both work for the Village as needed. The item was discussed and President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	
	Paluch				
	Johnson				
	Geary				
	Herron				
	Koch				

Motion Carried.

Trustee x **moved to x** Trustee x seconded the motion. The item was discussed and President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	
	Paluch				
	Johnson				
	Geary				
	Herron				
	Koch				

Motion Carried.

NEW BUSINESS

None.

REPORTS

Trustee Montalto inquired as to when the restoration work would be completed in Mallard Point. It has been 3 weeks since any activity took place. Public Works Director Speciale answered that the work is not yet completed and the area in Mallard Point where the restoration is needed is where the final connection will need to be made. The weather has held up the project. This project as is the Roundabout has been delayed by the rain. The State’s Route 30 work is also delayed due to utilities that need to be moved and the weather.

Finance Director Chamberlin stated the audit would begin the week of August 10th. Trustee Geary asked that in the near future staff include a website update in the budget.

President Michels stated he was on WSPY and they recorded much about the Village. He further stated

he would be appointing liaison's in the near future and if anyone wanted something special they should let him know.

PUBLIC COMMENTS

Karen McCannon thanked everyone who came out for the Independence Day Parade. Mrs. McCannon asked if the Village was going to spray for mosquitoes in light of all the recent rain. It was explained that the Village does not spray however all catch basins and other areas of open water that are on Village property or ROW are treated. Ms. McCannon stated that the Board should consider doing it this year as mosquitoes bring West Nile and the residents should be protect, just as the Board purchases road salt for safety.

Mrs. McCannon also asked if the Christmas tree lites had been purchased for the entrance park tree. It was answered no,

Julie Prill stated the Board needs to get word out about soliciting and the rules in the Village.

AIRPORT REPORT

None.

Meeting was adjourned at 7:46 p.m. by motion made by Trustee Geary seconded by Trustee Herron, all in attendance voted Aye in a Voice Vote.

Respectfully submitted, Cynthia L Galbreath, Clerk

July 7, 2015
Committee of the Whole

President Pro-Tem Johnson opened the meeting at 6:00 PM and asked that Supervisors Payton and Merkel lead the Pledge. The roll was then called.

Present: President Michels, Trustee Herron Trustee Paluch, Trustee Montalto, Trustee Koch, Trustee Geary, and Trustee Johnson.

Quorum Established.

Also Present:

Administrator Eichelberger, Clerk Galbreath, Finance Director Chamberlin, Community Development Director Magdziarz, Public Works Director Speciale, Streets & Properties Superior Payton, Utilities Supervisor Merkel and Chief of Police Rollins.

Update 88 & 47 Interchange Completion Project

An overview of the draft project was presented along with the tentative Public Involvement Schedule and Activities. The public process is a mandatory IDOT process which includes 5 community group meetings, 3 public meetings and 1 public hearing. The last meeting is the public hearing which is at this time tentatively scheduled for March 2017. Everyone and all agencies are on Board and it was noted that staff has been great in their responses and the project is on schedule. A web site for the project should be up and running soon. <http://www.sugargroveinterchange.org/>

Discussion Affordable Housing Plan Update

Community Development Director Magdziarz explained that the Illinois General Assembly passed the Affordable Housing Planning and Appeal Act in 2003 to address the lack of moderately-priced housing that exists in many communities across the State.

According to the December 2013 Local Government Exemption Report prepared by the Illinois Housing Development Authority (IHDA) the Village has less than the mandated minimum 10% of the community's housing stock being defined as affordable. Consequently, the Village must prepare a plan expressing how it will achieve the goal of 10% of its housing stock being defined as affordable.

The Village last adopted an Affordable Housing Plan in 2005, the last time the percentage of the housing stock defined as affordable was below the 10% goal. "Affordable" is defined by the Act as the availability of the local housing stock available at an amount that would be affordable to (1) homebuyers at 80% of the regional median household income, and (2) renters at 60% of the regional median household income. The 2010 US Census is the source for income and housing data used in the calculations to determine affordability.

According to the 2010 Census, there are 2,974 occupied year-round dwelling units in Sugar Grove and of these 68, or 2.3% are, by definition, affordable. In order to exempt the Village from the full operation of the Act, **229 additional** affordable housing units would need to be created in the community following the date of the Exemption Report. With 60 affordable units currently under construction (PIRHL senior apartments), the Village will have 128 units, equal to 4.3% of the occupied housing stock and short of the 297 needed to satisfy the regulations of the Act..

The Board reviewed and agreed with the draft plan submitted which includes:

1. Consideration of the granting of special use permits, zoning variations, PUD designation, or lot size variation.
2. Utilization of conservation design and clustered housing concepts to lower infrastructure costs of subdivision engineering and to maximize environmental

protection while simultaneously reducing overall costs associated with linear feet of utilities and square footage of streets.

3. Utilization of mixed-use buildings and developments to provide affordable housing units to take advantage of density and proximity to services to reduce housing costs.
4. Utilization of accessory housing opportunities in appropriate locations throughout the community.
5. Implementation of Aging in Place concepts to insure afford-able/accessible and continuing housing availability for seniors and other disabled persons, thus allowing them to remain in their homes instead of forcing sales due to the need to move to assisted living facilities.
6. Consideration of TIF districts for appropriate areas.
7. Assistance in developing certain aspects of subdivision engineering, including flood control, street layout or traffic signals.
8. Assistance in identifying areas of the Village suitable for affordable housing developments.
9. Availability of Village staff for meetings with developers considering affordable housing developments within the Village.
10. Subsidized or reduced cost building permits or inspection fees.

Discussion Amending Regulations Regarding Nonconforming Structures

Community Development Director Magdziarz explained that the Village Zoning Ordinance includes regulations pertaining to the alteration and repair of non-conforming structures. In the course of administering and enforcing the zoning regulations it has come to staff's attention that the regulations are overly aggressive and may not be consistent with neighborhood preservation goals of the Village since they may have the effect of discouraging property owners from making physical improvements to non-conforming structures.

Nonconforming structures arise from structures being constructed in the wrong location or the Village establishing or amending zoning district bulk regulations that are inconsistent with existing structures in the district. In either instance, the Zoning Ordinance provides instructions on how to maintain these nonconforming structures by alteration and repair, damage or destruction, and relocation. The proposed amendment concerns itself only with alteration of the structure.

Currently, nonconforming structures cannot be enlarged or expanded if the expansion happens to be associated with a nonconforming feature of the structure. To illustrate, both examples in Figure 1 and Figure 2 are currently prohibited. The proposed amendment will permit building expansions such as that illustrated in Figure 1 to occur. The example in Figure 2 will remain prohibited since it increases the degree of non-conformity.

The proposed amendment simply permits the affected property owner to make alterations of the nonconforming structure only as long as the change does not increase the degree of the existing non-conformity. For example, if the nonconforming building does not provide the required setback or exceeds the maximum height or lot coverage the property owner will be permitted to provide a building addition as long as the addition does not further reduce the nonconforming setback, or increase the nonconforming height or

lot coverage. The proposed amendment does not authorize the creation of any new non-conformity on the property.

The Board reviewed the proposed amendment and approved of the ordinance moving forward for formal consideration.

Meeting was adjourned at 7:20 p.m. by motion made by Trustee Johnson seconded by Trustee Montalto, all in attendance voted Aye in a Voice Vote.

Respectfully submitted, Cynthia L Galbreath, Clerk

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT MICHELS & BOARD OF TRUSTEES
FROM: FINANCE
SUBJECT: APPROVAL OF VOUCHERS
AGENDA: JULY 21, 2015 BOARD MEETING
DATE: JULY 17, 2015

ISSUE

Approval of Vouchers

DISCUSSION

Vouchers for items purchased are submitted for payment and manual checks are noted for ratification.

COST

Vouchers total \$1,073,314.56 and manual checks total \$34,210.00

RECOMMENDATION

Approval of vouchers totalling \$1,073,314.56 and ratification of manual checks totaling \$34,210.00.

DATE: 07/17/15
TIME: 13:49:10
ID: AP441000.WOW

VILLAGE OF SUGAR GROVE
DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 07/21/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

A0032	AMALGAMATED BANK OF CHICAGO						
070115	07/01/15	01	ADM/REG & PA 1/1-6/30/15	41506305		07/21/15	200.00
						INVOICE TOTAL:	200.00
						VENDOR TOTAL:	200.00
A0118	AT&T						
63046645210616	06/25/15	01	IT/ AT&T 6/25-7/24	01496502		07/21/15	50.00
		02	ADM/ AT&T 6/25-7/24	01506502			28.69
		03	FIN/ AT&T 6/25-7/24	01506502			28.69
		04	PW IT/ AT&T 6/25-7/24	50496502			49.99
		05	W&S/ AT&T 6/25-7/24	50506502			29.57
						INVOICE TOTAL:	186.94
						VENDOR TOTAL:	186.94
B0202	BP						
44804219	07/06/15	01	POL/ACCT 590-200-899-3 - GAS	01516601		07/21/15	2,632.52
						INVOICE TOTAL:	2,632.52
						VENDOR TOTAL:	2,632.52
B0204	B D K DOOR INC.						
12323	06/24/15	01	BM/OVERHEAD DOOR REPAIRS 50%	01546406		07/21/15	121.40
		02	W&S/OVERHEAD DOOR REPAIRS 50%	50596406			121.41
						INVOICE TOTAL:	242.81
						VENDOR TOTAL:	242.81
B0816	BETTER BUSINESS PLANNING						
29325 HSA	07/01/15	01	FIN/HSA ADMIN SVC - JULY 15	01566309		07/21/15	16.17
		02	W&S/HSA ADMIN SVC - JULY 15	50506309			16.17
						INVOICE TOTAL:	32.34
29327 HRA	07/01/15	01	FIN/HRA ADMIN SVC - JULY	01566309		07/21/15	8.75

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VILLAGE OF SUGAR GROVE
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INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
B0816 BETTER BUSINESS PLANNING							
29327 HRA	07/01/15	02	W&S/HRA ADMIN SVC - JULY	50506309		07/21/15	8.75
						INVOICE TOTAL:	17.50
29328 FSA	07/01/15	01	FIN/FSA ADMIN FEE - JULY	01566309		07/21/15	12.00
		02	W&S/FSA ADMIN FEE - JULY	50506309			12.00
						INVOICE TOTAL:	24.00
						VENDOR TOTAL:	73.84
B0817 BUILDERS ASPHALT							
15064	06/02/15	01	S&P/HOT MIX ASPHALT-17.96 TONS	01536609		07/21/15	933.92
						INVOICE TOTAL:	933.92
15073	06/03/15	01	S&P/ HOT MIX ASPHALT-15.41 TON	01536609		07/21/15	801.32
						INVOICE TOTAL:	801.32
15080	06/04/15	01	HOT MIX ASPHALT-4.85 TONS	01536609		07/21/15	252.20
						INVOICE TOTAL:	252.20
						VENDOR TOTAL:	1,987.44
B0818 BEHM PAVEMENT MAINTENANCE, INC							
103302	06/17/15	01	S&P/2015 CRACK SEALING	35537008		07/21/15	55,974.62
		02	S&P/5% RETAINAGE	35537008			-2,798.73
						INVOICE TOTAL:	53,175.89
						VENDOR TOTAL:	53,175.89
C0361 COM ED							
070715M	07/07/15	01	S&P/0612101014 LIGHTS 6/4-7/6	01536511		07/21/15	2.44
						INVOICE TOTAL:	2.44
070715O	07/07/15	01	S&P/9369045107 LIGHTS 6/4-7/6	01536511		07/21/15	2.44
						INVOICE TOTAL:	2.44

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C0361	COM ED						
070815L	07/08/15	01	S&P/0053059135 LIGHTS 5/26-6/2	01536511		07/21/15	101.39
						INVOICE TOTAL:	101.39
071315	07/13/15	01	S&P/2082154034 DUGAN 6/11-7/13	01536511		07/21/15	704.94
						INVOICE TOTAL:	704.94
						VENDOR TOTAL:	811.21
C0362	COMMONWEALTH EDISON						
070215	07/02/15	01	W/0039152077 WH-6 6/2-7/1	50606511		07/21/15	66.36
						INVOICE TOTAL:	66.36
070215C	07/02/15	01	S/1209054036 LS-6 6/2-7/1	50656511		07/21/15	63.57
						INVOICE TOTAL:	63.57
070215D	07/02/15	01	S/1311106047 LS-7 6/2-7/1	50656511		07/21/15	133.38
						INVOICE TOTAL:	133.38
070215E	07/02/15	01	18581052012 WH-5 6/2-7/1	50606511		07/21/15	192.85
						INVOICE TOTAL:	192.85
070215F	07/02/15	01	W/1713098046 WH-7 6/2-7/1	50606511		07/21/15	208.92
						INVOICE TOTAL:	208.92
070215G	07/02/15	01	W/2073094061 WH-8 6/2-7/1	50606511		07/21/15	131.01
						INVOICE TOTAL:	131.01
070215H	07/02/15	01	W/2151031026 WH-3 6/2-7/1	50606511		07/21/15	261.20
						INVOICE TOTAL:	261.20
070215I	07/02/15	01	S/2295116015 LS-4 6/2-7/1	50656511		07/21/15	407.03
						INVOICE TOTAL:	407.03
070215J	07/02/15	01	W/2763123040 WH-4 6/2-7/1	50606511		07/21/15	276.73
						INVOICE TOTAL:	276.73

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VILLAGE OF SUGAR GROVE
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C0362	COMMONWEALTH EDISON						
070515A	07/02/15	01	S/0789114021 LS-5 6/2-7/1	50656511		07/21/15	110.55
						INVOICE TOTAL:	110.55
70915 B	07/09/15	01	S/1035032066 LS-8 6/-7/8	50656511		07/21/15	121.80
						INVOICE TOTAL:	121.80
71315K	07/13/15	01	9390162025 LS-9 6/10-7/10	50656511		07/21/15	130.83
						INVOICE TOTAL:	130.83
						VENDOR TOTAL:	2,104.23
C0394	CLAESSON JANITORIAL SERVICE						
19163	06/17/15	01	POL/CARPET CLEANING - SQD RM	01516309		07/21/15	125.98
						INVOICE TOTAL:	125.98
						VENDOR TOTAL:	125.98
C8038	COMPASS MINERALS AMERICA						
71347843	06/16/15	01	W&S/ SALT WELL #10	50606607		07/21/15	2,695.12
						INVOICE TOTAL:	2,695.12
						VENDOR TOTAL:	2,695.12
D0409	DE KANE EQUIPMENT CORP						
IA36523	06/16/15	01	S&P/EQUIPMENT REPAIR PTS	01536612		07/21/15	49.52
						INVOICE TOTAL:	49.52
						VENDOR TOTAL:	49.52
D0421	DREYER MEDICAL CLINIC						
27239805	05/08/15	01	ST/ MED REVIEW - GP	01536306		07/21/15	10.00
						INVOICE TOTAL:	10.00
27239806	05/08/15	01	ST/DRUG SCREEN - GP	01536306		07/21/15	45.00
						INVOICE TOTAL:	45.00

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VILLAGE OF SUGAR GROVE
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INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

D0421	DREYER MEDICAL CLINIC						
27239807	05/08/15	01	ST/MED REVIEW - ZZ	01536306		07/21/15	10.00
						INVOICE TOTAL:	10.00
27239808	05/08/15	01	ST/ DRUG SCREEN - ZZ	01536306		07/21/15	45.00
						INVOICE TOTAL:	45.00
27247606	05/27/15	01	PW/PRE EMPLOYMENT SCREEN - JB	50596306		07/21/15	120.00
						INVOICE TOTAL:	120.00
27253049	05/27/15	01	PW/LIFT TEST - JB	50596306		07/21/15	80.00
						INVOICE TOTAL:	80.00
27275092	06/02/15	01	PD/PRE EMPLOYMENT SCREENING - WG	01516306		07/21/15	155.00
						INVOICE TOTAL:	155.00
27275093	06/02/15	01	PD/ MED REVIEW - WG	01516306		07/21/15	10.00
						INVOICE TOTAL:	10.00
27281747	06/02/15	01	PD/LIFT TEST - WG	01516306		07/21/15	80.00
						INVOICE TOTAL:	80.00
						VENDOR TOTAL:	555.00
D8026	DYNEGY ENERGY SERVICES						
1466387151071	07/09/15	01	W&S/0022092002 ENERGY 6/3-7/6	50606511		07/21/15	1,363.13
						INVOICE TOTAL:	1,363.13
146638815061	06/26/15	01	W&S/135162168 ENERGY 5/22-6/23	50606511		07/21/15	1,736.93
						INVOICE TOTAL:	1,736.93
146638915071	07/09/15	01	W&S/0399050054 ENERGY 6/2-6/30	50606511		07/21/15	1,522.04
						INVOICE TOTAL:	1,522.04
146639015071	07/09/15	01	W&S/5222138020 ENERGY 6/5-7/6	50606511		07/21/15	8,844.74
						INVOICE TOTAL:	8,844.74
						VENDOR TOTAL:	13,466.84

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E0012	RANDALL ERICKSON						
20150706	06/22/15	01	CD/PD FOR 41 REG@\$40 EACH OTHE	01556309		07/21/15	1,640.00
		02	CD/PD FOR 93 ROOFING @\$15 EACH	01556309			1,395.00
						INVOICE TOTAL:	3,035.00
						VENDOR TOTAL:	3,035.00
E0544	ENGINEERING ENTERPRISES, INC.						
56470	06/18/15	01	W&S/SR TO MALLARD WTRMN SG1009	50716303		07/21/15	10,352.00
						INVOICE TOTAL:	10,352.00
56472	06/18/15	01	S&P/SG DRAINAGE DIST#1 SG1313	01536303		07/21/15	79.00
						INVOICE TOTAL:	79.00
56473	06/18/15	01	US30 UTILITIES FOR IDOT PROJ	50596303		07/21/15	828.50
		02	SG1315	** COMMENT **			
						INVOICE TOTAL:	828.50
56474	06/18/15	01	S&P/SR LIVING ROW PMTS SG1402	01536303		07/21/15	237.00
						INVOICE TOTAL:	237.00
56475	06/18/15	01	W&S/SR-PRBY WTRMN IMP SG1418	50716303		07/21/15	1,249.00
						INVOICE TOTAL:	1,249.00
56477	06/18/15	01	S&P/2015 MFT PROGRAM SG1423	35536303		07/21/15	459.48
						INVOICE TOTAL:	459.48
56478	06/18/15	01	S&P/2015 LCL RD PROG SG1423/A	35536303		07/21/15	120.42
						INVOICE TOTAL:	120.42
56479	06/18/15	01	S&P/VOSG GNRL ROW PMTS SG1500	01536303		07/21/15	1,421.00
						INVOICE TOTAL:	1,421.00
56480	06/18/15	01	S&P/DENNY RD LAFO SG1501	35536303		07/21/15	2,800.00
						INVOICE TOTAL:	2,800.00

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E0544	ENGINEERING ENTERPRISES, INC.						
56481	06/18/15	01	W&S/QNS GT & TUDOR CT SAN SWR	50726303		07/21/15	2,475.00
						INVOICE TOTAL:	2,475.00
56482	06/18/15	01	W&S/MIDWEST FIBR ROW PRMTS	50596303		07/21/15	395.00
		02	SG1504	** COMMENT **			
						INVOICE TOTAL:	395.00
56483	06/18/15	01	W&S/BLISS RD WTRMAIN	50716303		07/21/15	158.00
						INVOICE TOTAL:	158.00
56485	06/18/15	03	S&P/ BWT UNIT 7&8 SWLKS SG1508	35536303		07/21/15	1,334.75
						INVOICE TOTAL:	1,334.75
56569	07/02/15	01	S&P/DUGAN LAFO SG1302	32536303		07/21/15	845.48
						INVOICE TOTAL:	845.48
56575	07/07/15	01	CD/HANNAFORD FARMS SG0330	01556303		07/21/15	316.00
						INVOICE TOTAL:	316.00
56576	07/07/15	01	CD/MEADOWRIDGE VILLAS SG0627	01556303		07/21/15	175.00
						INVOICE TOTAL:	175.00
56577	07/07/15	01	CD/PRAIRIE GLEN UNIT 1 SG0734	01556303		07/21/15	175.00
						INVOICE TOTAL:	175.00
56578	07/07/15	01	CD/COLLEGE CORNER SG0922	01556303		07/21/15	696.00
						INVOICE TOTAL:	696.00
56579	07/07/15	01	W&S/SR TO MALLARD WM SG1009	50716303		07/21/15	5,874.00
						INVOICE TOTAL:	5,874.00
56580	07/07/15	01	CD/AMRCN HEARTLAND BK SG1209	01556303		07/21/15	996.50
						INVOICE TOTAL:	996.50
56581	07/07/15	01	W&S/FAYS LN WM IMPROV SG1309	50716303		07/21/15	1,249.00
						INVOICE TOTAL:	1,249.00

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E0544	ENGINEERING ENTERPRISES, INC.						
56582	07/07/15	01	S&P/SG DRAINAGE DIST#1 SG1313	01536303		07/21/15	190.00
						INVOICE TOTAL:	190.00
56583	07/07/15	01	W&S/US30 UTILITIES FOR IDOT	50596303		07/21/15	335.50
		02	SG1315	** COMMENT **			
						INVOICE TOTAL:	335.50
56584	07/07/15	01	CD/SENIOR LIVING CNTR SG1402	01556303		07/21/15	694.50
						INVOICE TOTAL:	694.50
56585	07/07/15	02	CD/PRAIRIE PNT ASS LVG SG1413	01556303		07/21/15	190.00
						INVOICE TOTAL:	190.00
56586	07/07/15	01	CD/CALVARY CHRC PKG LOT SG1416	01556303		07/21/15	190.00
						INVOICE TOTAL:	190.00
56587	07/07/15	01	W&S/SR TO PBURY WM SG1418	50716303		07/21/15	39.50
						INVOICE TOTAL:	39.50
56588	07/07/15	01	CD/KIMBALL HILL (SR) PNCHLST	01556303		07/21/15	7,178.00
		02	SG1422	** COMMENT **			
						INVOICE TOTAL:	7,178.00
56589	07/07/15	01	S&P/2015 MFT PROGRAM SG1423	35506303		07/21/15	859.50
						INVOICE TOTAL:	859.50
56590	07/07/15	01	S&P/2015 LOCAL RD PROG	35536303		07/21/15	1,040.70
		02	SG1423/A	** COMMENT **			
						INVOICE TOTAL:	1,040.70
56591	07/07/15	01	S&P/VOSG GNRL ROW PRMT SG1500	01536303		07/21/15	1,386.00
		02	CD/VOSG GENERAL SG1500	32556303			31.25
		03	CD/VOSG GENERAL SG1500	01556303			125.00
						INVOICE TOTAL:	1,542.25

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E0544	ENGINEERING ENTERPRISES, INC.						
56592	07/07/15	01	S&P/DENNY RD LAFO SG1501	35536303		07/21/15	1,400.00
						INVOICE TOTAL:	1,400.00
56593	07/07/15	01	W&S/QUEENS GATE & TUDOR CT	50726303		07/21/15	3,563.00
		02	SAN SWR SG1503	** COMMENT **			
						INVOICE TOTAL:	3,563.00
56594	07/07/15	01	S&P/BWT UNIT7&8 & SDWLKS	35536303		07/21/15	569.21
		02	SG1508	** COMMENT **			
						INVOICE TOTAL:	569.21
56595	07/07/15	01	S&P/CAMP DEAN RD IMPROV SG1510	01536303		07/21/15	1,471.00
						INVOICE TOTAL:	1,471.00
56596	07/07/15	01	CD/769 HEARTLAND DR SG1511	01556303		07/21/15	1,130.50
						INVOICE TOTAL:	1,130.50
IDOT 9	06/18/15	01	S&P/DUGAN RD LAFO SG1302	32536303		07/21/15	2,493.36
						INVOICE TOTAL:	2,493.36
						VENDOR TOTAL:	55,123.15
F0013	WRIGHT EXPRESS FSC						
41438558	06/30/15	01	W&S/GASOLINE - JUNE 15	50596601		07/21/15	1,554.40
		02	CD/GASOLINE - JUNE 15	01556601			104.82
		03	FIN/GASOLINE - JUNE 15	01566601			22.14
		04	W&S/GASOLINE - JUNE 15	50506601			22.14
						INVOICE TOTAL:	1,703.50
41438684	06/30/15	01	S&P/GAS - JUNE 15	01536601		07/21/15	1,452.49
						INVOICE TOTAL:	1,452.49
441438134	06/30/15	01	POL/GASOLINE - JUNE 15	01516601		07/21/15	1,856.46
						INVOICE TOTAL:	1,856.46
						VENDOR TOTAL:	5,012.45

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F0608	FOX METRO WATER RECLAMATION						
2015701	07/01/15	01	CD/ WATER INSPECTION - JUNE	01556309		07/21/15	80.00
		02	1125 WOODRIDGE #A, 1125	** COMMENT **			
		03	WOODRIDGE #B, 645 RIDGEVIEW	** COMMENT **			
		04	LN, 701 RIDGEVIEW LN	** COMMENT **			
						INVOICE TOTAL:	80.00
						VENDOR TOTAL:	80.00
G0739	GENEVA CONSTRUCTION COMPANY						
PAY EST 5	06/08/15	01	S&P/DUGAN/GRANART REALIGNMENT	35537008		07/21/15	725,535.09
		02	S&P/LESS RETAINAGE	35537008			-72,553.51
						INVOICE TOTAL:	652,981.58
						VENDOR TOTAL:	652,981.58
G0741	GRAINGER						
9778878612	06/29/15	01	W&S/48" CEILING FAN - WELL 10	50606611		07/21/15	230.18
						INVOICE TOTAL:	230.18
						VENDOR TOTAL:	230.18
H8025	HOMEFIELD ENERGY						
103905815061	06/30/15	02	S&P/ELECTRICITY-0309004108	01536511		07/21/15	2,047.31
		03	5/6-6/3	** COMMENT **			
						INVOICE TOTAL:	2,047.31
103905815071	07/09/15	01	ELECTRICITY 0309004108 6/4-7/6	01536511		07/21/15	2,034.48
						INVOICE TOTAL:	2,034.48
						VENDOR TOTAL:	4,081.79
I0147	ILLINOIS SECTION AWWA						
200018222	07/13/15	01	W&S/SMART METER GRID - DR	50596208		07/21/15	48.00
						INVOICE TOTAL:	48.00

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I0147	ILLINOIS SECTION AWWA						
20018208	07/10/15	01	W&S/SMART METER GRID - BM	50596208		07/21/15	32.00
						INVOICE TOTAL:	32.00
						VENDOR TOTAL:	80.00
I0907	ILLINOIS CITY/CNTY MGMT ASSOC						
2015-2014	07/08/15	01	ADM/ILCMA DUES - BE 2015-2016	01506208		07/21/15	328.08
						INVOICE TOTAL:	328.08
						VENDOR TOTAL:	328.08
I0908	ICMA						
2015-2016	07/08/15	01	ADM/MEMBERSHIP - BE 7//15-6/16	01506208		07/21/15	1,286.77
						INVOICE TOTAL:	1,286.77
						VENDOR TOTAL:	1,286.77
I0950	ILLINOIS EPA						
2015-2016	06/26/15	01	S&P/ANNL NPDES PERMI FEE 15/16	01536309		07/21/15	1,000.00
						INVOICE TOTAL:	1,000.00
						VENDOR TOTAL:	1,000.00
I0959	INTERGOVERNMENTAL RISK						
BRADM	07/13/15	01	W&S/CDL SUPERVISOR REASONABLE	50596208		07/21/15	10.00
						INVOICE TOTAL:	10.00
GEOFFP	07/13/15	01	S&P/CDL SUPERVISOR REASONABLE	01536208		07/21/15	10.00
						INVOICE TOTAL:	10.00
						VENDOR TOTAL:	20.00
K0017	KONICA MINOLTA PREMIER FINANCE						
281697458	06/26/15	01	ADM/COPIER LEASE 07/15 47.9%	01506402		07/21/15	127.02

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K0017	KONICA MINOLTA PREMIER FINANCE						
281697458	06/26/15	02	UB/COPIER LEASE 07/15 16%	50506402		07/21/15	42.43
		03	POL/COPIER LEASE 07/15 36.1%	01516402			95.73
		04	S&P/COPIER LEASE 07/15 15%	01536402			39.78
		05	BM/COPIER LEASE 07/15 2.0%	01546402			5.30
		06	CD/COPIER LEASE 07/15 70%	01556402			185.62
		07	W&S/COPIER LEASE 07/15 13%	50596402			34.47
						INVOICE TOTAL:	530.35
						VENDOR TOTAL:	530.35
K1106	KANE COUNTY RECORDER						
2015033016	06/25/15	01	CD/RESLN FINAL PLAT STTLRS	01556309		07/21/15	47.00
		02	RIDGE COMMERCIAL	** COMMENT **			
						INVOICE TOTAL:	47.00
2015K027679	06/01/15	01	CD/WEED LIEN RELEASE 1149 DORR	01556309		07/21/15	47.00
						INVOICE TOTAL:	47.00
2015K028665	06/01/15	01	CD/GRANART RENAME PORTN ORD	01556309		07/21/15	47.00
						INVOICE TOTAL:	47.00
2015K029587	06/09/15	01	CD/ORDNANCE ANNEXING WIEDNER	01556309		07/21/15	72.00
						INVOICE TOTAL:	72.00
2015K029588	06/09/15	01	CD/ORDINANCE ANNX AGRMNT WIEDN	01556309		07/21/15	63.00
						INVOICE TOTAL:	63.00
2015K033014	06/25/15	01	CD/RESLN FINAL PLAT SETTLERS	01556309		07/21/15	47.00
		02	RIDGE NW1A&B	** COMMENT **			
						INVOICE TOTAL:	47.00
2015K033015	06/25/15	01	CD/FINAL PLAT STTLRS RIDGE	01556309		07/21/15	85.00
		02	NW1A&B	** COMMENT **			
						INVOICE TOTAL:	85.00

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K1106	KANE COUNTY RECORDER						
2015K033017	06/25/15	01	CD/FINAL PLAT STTLRS RIDGE	01556309		07/21/15	81.00
		02	COMMERCIAL	** COMMENT **			
						INVOICE TOTAL:	81.00
2015K033018	06/25/15	01	CD/RSLN AGRMNT DEDICATION &	01556309		07/21/15	49.00
		02	USE ROW SETTLERS RIDGE	** COMMENT **			
						INVOICE TOTAL:	49.00
2015K033998	06/30/15	01	CD/TIF2 ORDINANCE DESIGNATION	33556309		07/21/15	51.00
						INVOICE TOTAL:	51.00
2015K033999	06/30/15	01	CD/TIF2 ORDINANCE APPROVING	33556309		07/21/15	53.00
						INVOICE TOTAL:	53.00
2015K034000	06/30/15	01	CD/ TIF2 ADOPTING TIF2	33556309		07/21/15	52.00
						INVOICE TOTAL:	52.00
2015K034001	06/30/15	01	W&S/EASEMENT SUGAR LANE - RATO	50506309		07/21/15	55.00
						INVOICE TOTAL:	55.00
2015K034002	06/30/15	01	CD/WEED LIEN LOT 30 SG RSRCH	01556309		07/21/15	47.00
						INVOICE TOTAL:	47.00
2015K034003	06/30/15	01	CD/WEED LIEN LOT 29 SG RSRCH	01556309		07/21/15	47.00
						INVOICE TOTAL:	47.00
						VENDOR TOTAL:	843.00
L1208	LAWSON PRODUCTS INC						
9303356860	06/17/15	01	W&S/VEHICLE MAINT SUPPLIES	50596617		07/21/15	334.88
		02	S&P/VEHICLE MAINT SUPPLIES	01536617			334.88
						INVOICE TOTAL:	669.76
						VENDOR TOTAL:	669.76

M0009 METRO WEST COG

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M0009	METRO WEST COG						
2291	07/01/15	01	BOARD/LEGISLATIVE BBQ, SM,	01576208		07/21/15	90.00
		02	DP, BE	** COMMENT **			
						INVOICE TOTAL:	90.00
						VENDOR TOTAL:	90.00
M0024	MCHENRY ANALYTICAL WATER						
1503453	07/07/15	01	W&S/WATER SAMPLES - COLIFORM	50606311		07/21/15	218.50
						INVOICE TOTAL:	218.50
317920	06/26/15	01	W&S/WATER SMPLS - IRON,	50606311		07/21/15	90.00
		02	FLOURIDE	** COMMENT **			
						INVOICE TOTAL:	90.00
						VENDOR TOTAL:	308.50
M1316	MID AMERICAN WATER						
095213A-1	06/02/15	01	W&S/HYDRANT GREASE PTS	50606603		07/21/15	1,834.00
						INVOICE TOTAL:	1,834.00
095214A	06/15/15	01	W&S/HYDRANT PARTS, MAIN	50606603		07/21/15	5,595.00
		02	REPAIR KIT	** COMMENT **			
						INVOICE TOTAL:	5,595.00
095231A	06/18/15	01	W&S/HYDRANT PARTS	50606603		07/21/15	512.00
						INVOICE TOTAL:	512.00
114377A	06/12/15	01	W&S/WATER STOPPER	50606603		07/21/15	462.00
						INVOICE TOTAL:	462.00
						VENDOR TOTAL:	8,403.00
M1371	MICKEY, WILSON, WEILER,						
53502	07/01/15	01	ADM/LEGAL SERVICE - JUNE 15	01506301		07/21/15	500.00
						INVOICE TOTAL:	500.00

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M1371	MICKEY, WILSON, WEILER,						
53503	07/01/15	01	CD/LEGAL SERVICES - JUNE 15	01556301		07/21/15	930.00
						INVOICE TOTAL:	930.00
53504	07/01/15	01	CD/LEGAL SERVICES - JUNE 15	01556301		07/21/15	592.50
		02	S&P/LEGAL SERVICES - JUNE 15	01556301			82.50
						INVOICE TOTAL:	675.00
53505	07/01/15	01	POL/LEGAL SERVICES - JUNE 15	01516301		07/21/15	1,290.00
						INVOICE TOTAL:	1,290.00
53506	07/01/15	01	CD/LEGAL SERVICES - JUNE 15	01556301		07/21/15	330.00
						INVOICE TOTAL:	330.00
53507	07/01/15	01	POL/LEGAL SERVICES - JUNE 15	01516301		07/21/15	570.00
		02	W&S/LEGAL SERVICES - JUNE 15	01536301			7.50
		03	CD/LEGAL SERVICES - JUNE 15	01536301			7.50
						INVOICE TOTAL:	585.00
53508	07/01/15	01	CD/LEGAL SERVICES - JUNE 15	01556301		07/21/15	27,177.70
						INVOICE TOTAL:	27,177.70
						VENDOR TOTAL:	31,487.70
M1380	MENARDS - YORKVILLE						
13343	06/15/15	01	W&S/SIGN MATERIALS	01536610		07/21/15	30.81
						INVOICE TOTAL:	30.81
						VENDOR TOTAL:	30.81
N1414	NORTH EAST MULTI-REGIONAL						
198472	06/30/15	01	POL/INTERVIEWS AND	01516208		07/21/15	400.00
		02	INTERROGATIONS - DURHAM	** COMMENT **			
						INVOICE TOTAL:	400.00
						VENDOR TOTAL:	400.00

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VILLAGE OF SUGAR GROVE
DETAIL BOARD REPORT

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INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

N1415	NICOR GAS						
062915	06/01/15	01	S/96-87-29-3490 4 LS8	50656510		07/21/15	26.80
		02	5/29-6/29	** COMMENT **			
						INVOICE TOTAL:	26.80
						VENDOR TOTAL:	26.80
O0005	ORKIN INC.						
103791454	07/02/15	01	BM/VH MONTHLY SERVICE	01546406		07/21/15	69.52
						INVOICE TOTAL:	69.52
103791455	07/02/15	01	BM/MONTHLY SERVICE 50%	50596406		07/21/15	52.55
		02	W&S/MONTHLY SERVICE 50%	01546406			52.54
						INVOICE TOTAL:	105.09
						VENDOR TOTAL:	174.61
P0500	VICTOR E. PUSCAS, JR.						
125	06/24/15	01	POL/PRESIDE OVER VEHICLE	01516301		07/21/15	350.00
		02	SEIZURE/IMPOUNDMENT	** COMMENT **			
						INVOICE TOTAL:	350.00
						VENDOR TOTAL:	350.00
P1618	PESSINA TREE SERVICE						
2139	06/16/15	01	S&P/TREE REMOVAL AT 264 SNOW	01536405		07/21/15	1,700.00
						INVOICE TOTAL:	1,700.00
						VENDOR TOTAL:	1,700.00
P1636	POMP'S TIRE SERVICE, INC						
330056323	06/12/15	01	W&S/ TIRES PATCH TRAILER	01536403		07/21/15	149.68
						INVOICE TOTAL:	149.68
						VENDOR TOTAL:	149.68
R0023	RT REPAIRS						

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INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
R0023	RT REPAIRS						
10537	06/23/15	01	S&P/TRUCK REPAIRS TRK#9	01536407		07/21/15	3,103.61
						INVOICE TOTAL:	3,103.61
						VENDOR TOTAL:	3,103.61
R1848	R & R ELECTRICAL CONTRACTORS,						
6239	07/06/15	01	S&P/TEST CONTACT FOR STREET	01536403		07/21/15	120.00
		02	LIGHT	** COMMENT **			
						INVOICE TOTAL:	120.00
						VENDOR TOTAL:	120.00
R1891	RUSSO POWER EQUIPMENT						
2326059	03/15/15	01	S&P/LAWN MOWER PARTS	01536612		03/15/15	114.77
						INVOICE TOTAL:	114.77
						VENDOR TOTAL:	114.77
S0047	SMITH AMUNDSEN LLC						
470483	07/02/15	01	POL/LEGAL SERVICES JUNE15	01516301		07/21/15	1,100.00
						INVOICE TOTAL:	1,100.00
470804	07/06/15	01	POL/LEGAL SERVICES JUNE15	01516301		07/21/15	398.03
						INVOICE TOTAL:	398.03
470805	07/06/15	01	POL/LEGAL SERVICES JUNE15	01516301		07/21/15	220.00
						INVOICE TOTAL:	220.00
470807	07/06/15	01	POL/LEGAL SERVICES JUNE15	01516301		07/21/15	3,360.00
						INVOICE TOTAL:	3,360.00
470808	07/06/15	01	POL/LEGAL SERVICES JUNE15	01516301		07/21/15	300.00
						INVOICE TOTAL:	300.00
						VENDOR TOTAL:	5,378.03

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VILLAGE OF SUGAR GROVE
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INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

S1887	SUBURBAN TREE CONSORTIUM						
0271704-IN	04/22/15	01	S&P/WILSON NURSERIES 0271704	01536606		07/21/15	6,700.00
						INVOICE TOTAL:	6,700.00
0271819-IN	04/22/15	01	S&P/WILSON NURSERIES - 0271819	01536606		07/21/15	6,765.00
						INVOICE TOTAL:	6,765.00
405	06/08/15	01	S&P/PUGSLEY & LAHAIE - 405	01536606		07/21/15	7,860.00
						INVOICE TOTAL:	7,860.00
						VENDOR TOTAL:	21,325.00
S1895	SIGNS NOW						
15133	06/05/15	01	W&S/MAGNETIC DOOR LOGO	01536407		07/21/15	74.00
						INVOICE TOTAL:	74.00
						VENDOR TOTAL:	74.00
S1954	STEINER ELECTRIC						
5050856.001	06/26/15	01	S&P/GNRTR RPR - KHOLER GM16113	01546403		07/21/15	434.59
						INVOICE TOTAL:	434.59
5091277.001	07/07/15	01	S&P/STREET LIGHT PARTS	01536610		07/21/15	759.30
						INVOICE TOTAL:	759.30
5091277.002	07/07/15	01	S&P/STREET LIGHT PARTS	01536610		07/21/15	374.13
						INVOICE TOTAL:	374.13
5091277.003	07/07/15	01	S&P/STREET LIGHT PARTS	01536610		07/21/15	12.14
						INVOICE TOTAL:	12.14
						VENDOR TOTAL:	1,580.16
S8043	SUGAR GROVE ACE						
693/1	06/09/15	01	BM/DRILL BIT	01546611		07/21/15	5.99
						INVOICE TOTAL:	5.99

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VILLAGE OF SUGAR GROVE
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INVOICES DUE ON/BEFORE 07/21/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

S8043	SUGAR GROVE ACE						
696/1	06/10/15	01	W&S/WELL 10 REPAIR SUPPLIES	50606611		07/21/15	32.45
						INVOICE TOTAL:	32.45
715/1	06/15/15	01	S&P/SIGN SUPPLIES	01536610		07/21/15	22.24
						INVOICE TOTAL:	22.24
716/1	06/15/15	01	BM/CAULK, GLUE	01546611		07/21/15	7.97
						INVOICE TOTAL:	7.97
746/1	06/25/15	01	S&P/PAINT SUPPLIES FOR SIGN	01536610		07/21/15	20.93
						INVOICE TOTAL:	20.93
747/1	06/25/15	01	BM/STAIN REMOVER, PAINTBRUSHES	01546611		07/21/15	7.97
						INVOICE TOTAL:	7.97
						VENDOR TOTAL:	97.55
S8046	SOURCE ONE OFFICE PRODUCTS						
519491	06/25/15	01	CD/PAPER	01556613		07/21/15	9.50
		02	W&S/PAPER	50596613			9.50
		03	UB/PAPER SHEET PROTECTORS	50506504			47.28
						INVOICE TOTAL:	66.28
519495	06/25/15	01	S&P/PAPERCLIPS	01536613		07/21/15	2.78
		02	W&S/PAPERCLIPS	50596613			2.80
		03	CD/PAPERCLIPS	01556613			2.80
						INVOICE TOTAL:	8.38
						VENDOR TOTAL:	74.66
T0001	TROTTER & ASSOCIATES, INC.						
11268	06/29/15	01	CD/SETTLERS RIDGE SUB-ENG	35556303		07/21/15	10,988.48
		02	VSG013A 6/1/15-6/28/15	** COMMENT **			
						INVOICE TOTAL:	10,988.48
						VENDOR TOTAL:	10,988.48

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VILLAGE OF SUGAR GROVE
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INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
T0001586 LIGHTHOUSE CUSTOM BUILDERS							
20141355	07/15/15	01	CD/REF ESCROW FOR 20141355	01002359		07/21/15	5,000.00
		02	947 REDBUD LN, LOT 108 HF2	** COMMENT **			
						INVOICE TOTAL:	5,000.00
						VENDOR TOTAL:	5,000.00
T0009 TERRA CARE ENTERPRISES INC.							
4994	07/09/15	01	CD/MOW 470 HEARTLAND DR	01556309		07/21/15	360.15
		02	CD/MOW 480 HEARTLAND DR	01556309			360.15
						INVOICE TOTAL:	720.30
						VENDOR TOTAL:	720.30
T0012 THIRD MILLENNIUM							
18361	06/30/15	01	W&S/PRINTING & MAILING	50506309		07/21/15	753.80
		02	UTILITY BILLS - 07/15	** COMMENT **			
						INVOICE TOTAL:	753.80
						VENDOR TOTAL:	753.80
T0013 TRAFFIC ANALYSIS & DESIGN INC							
10883	05/31/15	01	S&P/ENGR SERVCS THRU 05/30/15	35536303		07/21/15	885.50
		02	S&P/IDOT 9-98940 5/1-5/31 15	35536303			49,313.29
		03	S&P/KIMLEY HORN - 6882048	35536303			7,475.00
		04	4/30/15	** COMMENT **			
		05	S&P/KIMLEY HORN - 6758729	35536303			11,500.00
		06	5/31/15	** COMMENT **			
						INVOICE TOTAL:	69,173.79
10918	06/30/15	01	S&P/ENGR SERVICES THRU	35536303		07/21/15	509.50
		02	6/30/15 - GRANART	** COMMENT **			
		03	S&P/IDOT -10-99302 6/1-6/30	35536303			39,303.46
						INVOICE TOTAL:	39,812.96
						VENDOR TOTAL:	108,986.75

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VILLAGE OF SUGAR GROVE
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T2023	TESKA ASSOCIATES, INC.						
5993	07/13/15	01	CD/TIF#2 SUG 14-154	33556309		07/21/15	75.00
						INVOICE TOTAL:	75.00
						VENDOR TOTAL:	75.00
T8041	TRANSUNION RISK AND						
07012015	07/01/15	01	POL/TLOXP CAHRGES 6/1-30/15	01516309		07/21/15	110.00
						INVOICE TOTAL:	110.00
						VENDOR TOTAL:	110.00
V1610	VILLAGE OF SUGAR GROVE						
VARIOUS	07/17/15	01	FIN/7/10/15 PAYROLL WIRE FEE	01566910		07/21/15	155.00
		02	REIMBURSEMENT	** COMMENT **			
						INVOICE TOTAL:	155.00
						VENDOR TOTAL:	155.00
V2231	VERIZON WIRELESS						
9748512326	07/06/15	01	PD/ACCT#64200991-0001 6/7-7/6	01516502		07/21/15	267.86
		02	S&P/ACCT#64200991-0001 6/7-7/6	01536502			115.72
		03	BM/ACCT#64200991-0001 6/7-7/6	01546502			36.00
		04	CD/ACCT#64200991-0001 6/7-7/6	01556502			59.79
		05	FIN/ACCT#64200991-0001 6/7-7/6	01566502			38.65
		06	BD/ACCT#64200991-0001 6/7-7/6	01576502			59.79
		07	W&S/ACCT#64200991-0001 6/7-7/6	50506502			0.20
		08	PW/ACCT#64200991-0001 6/7-7/6	50596502			293.30
		09	PD/MOBILE BROADBAND CARDS	01516502			380.10
						INVOICE TOTAL:	1,251.41
						VENDOR TOTAL:	1,251.41
W0011	WASCO LAWN & POWER INC						
191041	06/24/15	01	S&P/MOWER PARTS	01536612		07/21/15	42.95

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VILLAGE OF SUGAR GROVE
DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 07/21/2015

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

W0011	WASCO LAWN & POWER INC						
191041	06/24/15	02	W&S/MOWER BLADES	50596612		07/21/15	35.92
		03	W&S/SHIPPING	50596501			10.75
						INVOICE TOTAL:	89.62
						VENDOR TOTAL:	89.62
W2310	WATER PRODUCTS COMPANY						
258665	06/25/15	01	W&S/HYDRANT PARTS	50606603		07/21/15	576.00
						INVOICE TOTAL:	576.00
						VENDOR TOTAL:	576.00
W2315	WASTE MANAGEMENT						
3481583-2011-2	07/01/15	01	ADM/REFUSE COLLECTION- JUNE	57506513		07/21/15	65,448.32
		02	2015	** COMMENT **			
						INVOICE TOTAL:	65,448.32
						VENDOR TOTAL:	65,448.32
Y2515	YORKVILLE NAPA AUTO PARTS						
109888	06/24/15	01	W&S/VEHICLE MAINT SUPPLIES	50596617		07/21/15	106.56
		02	S&P/VEHICLE MAINT SUPPLIES	01536617			106.56
						INVOICE TOTAL:	213.12
96094	01/16/15	01	W&S/BATTERY - WELL 7 GENERATOR	50606612		07/21/15	29.66
						INVOICE TOTAL:	29.66
96363	01/20/15	01	W&S/VHCL MAIN SUPPLIES TRK 208	50596617		07/21/15	81.94
						INVOICE TOTAL:	81.94
97579	02/05/15	01	W&S/VEHICLE MAINT SUPPLIES	50596617		07/21/15	57.41
		02	S&P/VEHICLE MAINT SUPPLIES	01536617			57.40
						INVOICE TOTAL:	114.81
98542	02/17/15	05	CD/2006 DAKOTA PARTS	01556407		07/21/15	122.02
						INVOICE TOTAL:	122.02
						VENDOR TOTAL:	561.55
						TOTAL ALL INVOICES:	1,073,314.56

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VILLAGE OF SUGAR GROVE
DETAIL BOARD REPORT

MANUAL CHECKS ISSUED 07/03/2015 THRU 07/17/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	CHECK #	CHECK DATE	ITEM AMT
M8020			MILES CHEVROLET				
071015	07/13/15	01	POL/2015 CHEVY TAHOE	30517006	047713	07/13/15	34,210.00
						INVOICE TOTAL:	34,210.00
						VENDOR TOTAL:	34,210.00
						TOTAL ALL INVOICES:	34,210.00

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: PAT CHAMBERLIN, FINANCE DIRECTOR
SUBJECT: MONTHLY TREASURER'S REPORT
AGENDA: JULY 21, 2015 REGULAR BOARD MEETING
DATE: JULY 13, 2015

ISSUE

Should the Village Board approve the June 2015 monthly Treasurer's report.

DISCUSSION

The Summarized Revenue & Expense Reports are attached (pages 1 - 10). At June 30, 2015 we are through 2 month of the year (16.7%).

The General Fund revenues and expenditures are at 27.8% and 15.8%, respectively. The main reason for the revenues being higher than budgeted is the timing of receipt of property taxes. The main reason for the expenditures being lower than budgeted is many expenditures are attributable to the prior fiscal year, for which journal entries have already been made. The following expenditures have budget or actual amounts over \$5,000 and are higher than budget by 10% or more:

		<u>Budget</u>	<u>Actual</u>	<u>% Spent</u>	
01-51-6209	Uniform Allowance	11,130	4,000	36.0%	A
01-51-6309	Other Professional Svc.	12,053	4,766	39.6%	B
01-53-6105	Salaries – Seasonal	9,880	2,900	29.4%	C
01-53-6603	Specialized Supplies	5,500	2,192	39.9%	D
01-55-6104	Salaries – Part-Time	5,175	1,789	34.6%	E
01-55-6301	Legal Services	56,400	28,947	51.4%	F
01-56-6307	I.S. Services	7,171	5,577	77.8%	G
01-57-6208	Training & Membership	7,849	3,700	47.2%	H

A Pol – This is due to the timing of payments for uniform allowance. This is a budgeted item and account will not exceed budget.

B Pol – The timing of payments made for 2 budgeted items attribute for this account being over budget for the accounting period. The account will continue to be monitored and is not expected to be over budget for the fiscal year.

- C Str – This is a budgeted item and is due to the timing of the seasonal help for property maintenance. This account is not expected to exceed fiscal year budget.
- D Str – This is due to Mosquito Abatement applications which is a seasonal purchase. This account is not expected to exceed fiscal year budget.
- E CD – This is due to the increase in permit inspections. This expense is offset by permit fee revenues.
- F CD – This account is over budget due to on-going development litigation. The account will continue to be monitored.
- G Fin – This is due to the timing of payment for the Village's financial software package. This is a budgeted item and the account is expected to remain under budget for the fiscal year.
- H Board– This is due to timing of payment for Metro West Membership dues. This is a budgeted item and the account will not exceed budget for the fiscal year.

Please note engineering invoices are paid approximately 2 months after services are provided. Thus, engineering services accounts in the General Fund, Infrastructure Fund, and Waterworks and Sewerage Fund will reflect a 2 month lag.

The General Capital Projects Fund revenues are at 14.3% and expenditures are at 2.3%. The expenditures are low due to projects not starting yet this year.

The Industrial TIF #1 Fund revenues are at 40.6% and expenditures are at 0.0%. The main reason for the revenues being higher than budgeted is the timing of receipt of property taxes; expenditures are low due to projects not starting yet this year.

The Industrial TIF #2 Fund expenditures are at 0.6%. The expenditures are low due to projects not starting yet this year.

The Infrastructure Capital Projects Fund revenues are at 2.6% and expenditures are 6.2%. The expenditures are low due to expenditures being attributable to the prior fiscal year, for which journal entries have already been made.

The Debt Service Fund revenues are at 16.7% and the expenditures are at 8.0%. The expenditures are low due to the timing of debt payments throughout the year.

The Sugar Grove SSA #10 Fund revenues are at 57.2% and expenditures are at 0.0%. Revenues are higher than budget due to receipt of property taxes; expenditures are low due to projects not starting yet this year.

The Waterworks and Sewerage Fund operating revenues and operating expenses are at 16.3% and 20.1%, respectively. The capital revenues and expenses are at 14.1% and 7.7%, respectively. The main reason for the expenses being high is the timing of debt payments throughout the year. The following expenses have budget or actual amounts over \$5,000 and are higher than budget by 10% or more:

		<u>Budget</u>	<u>Actual</u>	<u>% Spent</u>	
50-50-6307	I.S Services	10,311	5,577	54.1%	I

50-50-8002	Debt – Principal	664,342	332,761	50.1%	J
50-50-8003	Debt – Interest	142,245	51,857	36.5%	K
50-71-8003	Debt – Interest	93,625	47,313	50.6%	L

- I Adm – This is due to the timing of payment for the Village’s financial software package. This is a budgeted item and the account is expected to remain under budget for the fiscal year.
- J Adm – This is high due to the timing of debt payments throughout the year and will not exceed budget.
- K Adm – This is high due to the timing of debt payments throughout the year and will not exceed budget.
- L Water Ops. – This is high due to the timing of debt payments throughout the year and will not exceed budget.

The Refuse Fund revenues and expenses are at 16.4% and 8.1%, respectively. The expenses are below expectations due to the timing of payments being made to Waste Management.

Staff projected and included 50 residential and 3 commercial permits in the fiscal year 2015 – 2016 Budget approved by the Village Board, which we will track throughout the fiscal year and report on. As of July 13, 2015, 5 of the residential, 1 of the commercial permits have been issued. The following accounts will be included in each Treasurer’s Report to reflect the revenues from building activity:

		<u>Budget</u>	<u>Actual</u>	<u>% Earned</u>
01-00-3310	Building Permits	75,525	22,535	29.9%
01-00-3320	Cert of Occupancy Fees	5,300	400	7.6%
01-00-3330	Plan Review Fees	5,645	1,126	20.0%
01-00-3340	Reinspection Fees	3,472	765	22.1%
01-00-3350	Transition Fees	0	4,746	100.0%
01-00-3740	Zoning and Filing Fees	16,000	1,800	11.3%
01-00-3760	Review and Dev. Fees	109,420	16,239	14.9%
30-00-3850	Improvement Donations	120,456	13,452	11.2%
30-00-3851	Emerg Warn Device Fee	300	0	0.0%
30-00-3852	Life Safety-Police	3,458	200	5.8%
30-00-3853	Life Safety-Streets	3,458	360	10.5%
30-00-3856	Commercial Fee	0	0	0.0%
35-00-3854	Traffic Pre-emption Donate	0	0	0.0%
35-00-3855	Road Impact Fee	194,720	27,789	14.3%
50-00-3310	Meter Reinspections	728	0	0.0%
50-00-3670	Meter Sales	28,925	3,027	10.5%
50-01-3651	Water Tap-On Fees	178,310	21,656	12.2%
50-01-3652	Sewer Tap-On Fees	21,683	2,699	12.5%
50-01-3791	Fire Suppr Tap-On Fee	8,702	0	0.0%

COST

There are no direct costs associated with the monthly Treasurer's report.

RECOMMENDATION

That the Board approve the June 2015 monthly Treasurer's reports.

VILLAGE OF SUGAR GROVE
 SUMMARIZED REVENUE & EXPENSE REPORT

FOR FUND: GENERAL FUND
 FOR 2 PERIODS ENDING JUNE 30, 2015

DEPARTMENT DESCRIPTION	JUNE BUDGET	JUNE ACTUAL	% VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
REVENUES	888,176.20	974,087.39	9.6	4,794,999.00	1,331,949.04	(72.2)
TOTAL REVENUES	888,176.20	974,087.39	9.6	4,794,999.00	1,331,949.04	(72.2)
EXPENSES						
INFORMATION TECHNOLOGY	2,474.34	1,395.50	43.6	29,692.00	1,440.50	95.1
ADMINISTRATION	28,064.65	21,534.53	23.2	336,775.00	51,556.17	84.6
POLICE	189,052.17	169,491.69	10.3	2,268,625.00	409,095.46	81.9
PUBLIC WORKS- STREET DIVISION	105,596.00	61,804.46	41.4	1,267,150.00	129,215.28	89.8
BUILDING MAINTENANCE	13,879.64	15,657.44	(12.8)	166,555.00	28,528.70	82.8
COMMUNITY DEVELOPMENT	49,217.10	71,516.77	(45.3)	590,604.00	114,996.72	80.5
FINANCE	12,699.76	15,911.24	(25.2)	152,396.00	30,640.02	79.8
BOARD AND COMMISSIONS	6,989.74	664.82	90.4	83,876.00	6,527.37	92.2
TOTAL EXPENSES	407,973.40	357,976.45	12.2	4,895,673.00	772,000.22	84.2
TOTAL FUND REVENUES	888,176.20	974,087.39	9.6	4,794,999.00	1,331,949.04	(72.2)
TOTAL FUND EXPENSES	407,973.40	357,976.45	12.2	4,895,673.00	772,000.22	84.2
SURPLUS (DEFICIT)	480,202.80	616,110.94	28.3	(100,674.00)	559,948.82	(656.2)

FOR FUND: GENERAL CAPITAL PROJECTS FUND
 FOR 2 PERIODS ENDING JUNE 30, 2015

DEPARTMENT DESCRIPTION	JUNE		JUNE ACTUAL	VARI- ANCE	FISCAL YEAR BUDGET	FISCAL		VARI- ANCE
	BUDGET	ACTUAL				YEAR-TO-DATE ACTUAL	%	
REVENUES								
	36,036.85	35,231.83		(2.2)	432,442.00	61,744.90		(85.7)
TOTAL REVENUES	36,036.85	35,231.83		(2.2)	432,442.00	61,744.90		(85.7)
EXPENSES								
ADMINISTRATION	47,433.34	505.48		98.9	569,200.00	1,015.70		99.8
POLICE	17,751.85	9,135.17		48.5	213,022.00	18,270.34		91.4
PUBLIC WORKS STREETS	5,833.34	0.00		100.0	70,000.00	0.00		100.0
BUILDING MAINTENANCE	0.00	0.00		0.0	0.00	0.00		0.0
COMMUNITY DEVELOPMENT	0.00	0.00		0.0	0.00	0.00		0.0
FINANCE	0.00	0.00		0.0	0.00	0.00		0.0
TOTAL EXPENSES	71,018.53	9,640.65		86.4	852,222.00	19,286.04		97.7
TOTAL FUND REVENUES	36,036.85	35,231.83		(2.2)	432,442.00	61,744.90		(85.7)
TOTAL FUND EXPENSES	71,018.53	9,640.65		86.4	852,222.00	19,286.04		97.7
SURPLUS (DEFICIT)	(34,981.68)	25,591.18		(173.1)	(419,780.00)	42,458.86		(110.1)

DEPARTMENT DESCRIPTION	JUNE		JUNE 30, 2015		FISCAL YEAR		VARI-ANCE
	BUDGET	ACTUAL	ACTUAL	BUDGET	ACTUAL	BUDGET	
REVENUES							
TOTAL REVENUES	27,158.00	28,241.68	3.9	68,835.00	27,901.16	(59.4)	
EXPENSES							
PUBLIC WORKS STREETS	0.00	0.00	0.0	0.00	0.00	0.0	
COMMUNITY DEVELOPMENT	22.92	0.00	100.0	275.00	0.00	100.0	
TOTAL EXPENSES	22.92	0.00	100.0	275.00	0.00	100.0	
TOTAL FUND REVENUES	27,158.00	28,241.68	3.9	68,835.00	27,901.16	(59.4)	
TOTAL FUND EXPENSES	22.92	0.00	100.0	275.00	0.00	100.0	
SURPLUS (DEFICIT)	27,135.08	28,241.68	4.0	68,560.00	27,901.16	(59.3)	

FOR FUND: INDUSTRIAL TIF #2 FUND
 FOR 2 PERIODS ENDING JUNE 30, 2015

DEPARTMENT DESCRIPTION	JUNE		FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARIANCE
	BUDGET	ACTUAL			
EXPENSES					
COMMUNITY DEVELOPMENT	4,022.94	270.00	48,275.00	270.00	99.4
TOTAL EXPENSES	4,022.94	270.00	48,275.00	270.00	99.4

FOR FUND: INFRASTRUCTURE CAP PROJ FUND
 FOR 2 PERIODS ENDING JUNE 30, 2015

DEPARTMENT DESCRIPTION	JUNE		JUNE		%		FISCAL		%	
	BUDGET	ACTUAL	ACTUAL	VARI- ANCE	BUDGET	VARI- ANCE	YEAR- BUDGET	YEAR- ACTUAL	YEAR- BUDGET	VARI- ANCE
REVENUES										
TOTAL REVENUES	535,224.87	74,755.58	74,755.58	(86.0)	6,422,698.00	162,032.61	162,032.61			(97.4)
EXPENSES										
MOTOR FUEL TAX	19,544.09	451.30	451.30	97.6	234,529.00	451.30	451.30			99.8
STREETS DIVISION	465,627.34	316,235.66	316,235.66	32.0	5,587,528.00	356,921.24	356,921.24			93.6
BUILDING & ZONING	0.00	0.00	0.00	0.0	0.00	0.00	0.00			0.0
TOTAL EXPENSES	485,171.43	316,686.96	316,686.96	34.7	5,822,057.00	357,372.54	357,372.54			93.8
TOTAL FUND REVENUES	535,224.87	74,755.58	74,755.58	(86.0)	6,422,698.00	162,032.61	162,032.61			(97.4)
TOTAL FUND EXPENSES	485,171.43	316,686.96	316,686.96	34.7	5,822,057.00	357,372.54	357,372.54			93.8
SURPLUS (DEFICIT)	50,053.44	(241,931.38)	(241,931.38)	(583.3)	600,641.00	(195,339.93)	(195,339.93)			(132.5)

VILLAGE OF SUGAR GROVE
 SUMMARIZED REVENUE & EXPENSE REPORT

DEPARTMENT DESCRIPTION	JUNE 30, 2015		FISCAL YEAR BUDGET	FISCAL YEAR ACTUAL	% VARIANCE
	JUNE BUDGET	JUNE ACTUAL			
REVENUES	75,915.26	75,862.82	910,983.00	151,721.76	(83.3)
TOTAL REVENUES	75,915.26	75,862.82	910,983.00	151,721.76	(83.3)
EXPENSES					
ADMINISTRATION	75,944.01	72,831.25	911,328.00	72,831.25	92.0
TOTAL EXPENSES	75,944.01	72,831.25	911,328.00	72,831.25	92.0
TOTAL FUND REVENUES	75,915.26	75,862.82	910,983.00	151,721.76	(83.3)
TOTAL FUND EXPENSES	75,944.01	72,831.25	911,328.00	72,831.25	92.0
SURPLUS (DEFICIT)	(28.75)	3,031.57	(345.00)	78,890.51	(2966.8)

VILLAGE OF SUGAR GROVE
 SUMMARIZED REVENUE & EXPENSE REPORT

FOR FUND: SUGAR GROVE CENTER SSA #10
 FOR 2 PERIODS ENDING JUNE 30, 2015

DEPARTMENT DESCRIPTION	JUNE		%	FISCAL		%
	BUDGET	ACTUAL		YEAR BUDGET	YEAR-TO-DATE ACTUAL	
REVENUES						
REVENUES	1,926.67	13,148.55	582.4	23,120.00	13,216.53	(42.8)
TOTAL REVENUES	1,926.67	13,148.55	582.4	23,120.00	13,216.53	(42.8)
EXPENSES						
COMMUNITY DEVELOPMENT	1,916.67	0.00	100.0	23,000.00	0.00	100.0
TOTAL EXPENSES	1,916.67	0.00	100.0	23,000.00	0.00	100.0
TOTAL FUND REVENUES	1,926.67	13,148.55	582.4	23,120.00	13,216.53	(42.8)
TOTAL FUND EXPENSES	1,916.67	0.00	100.0	23,000.00	0.00	100.0
SURPLUS (DEFICIT)	10.00	13,148.55	1385.5	120.00	13,216.53	913.7

FOR FUND: WATERWORKS & SEWERAGE FUND
 FOR 2 PERIODS ENDING JUNE 30, 2015

DEPARTMENT DESCRIPTION	JUNE		JUNE		2015		FISCAL		VARI- ANCE
	BUDGET	ACTUAL	ACTUAL	BUDGET	YEAR- BUDGET	TO-DATE ACTUAL	YEAR- BUDGET	ACTUAL	
REVENUES									
OPERATING REVENUES	277,655.85	278,951.05	278,951.05	278,951.05	0.4	3,331,870.00	3,331,870.00	542,277.18	(83.7)
CAPITAL REVENUES	33,244.68	30,234.42	30,234.42	30,234.42	(9.0)	398,936.00	398,936.00	56,060.96	(85.9)
TOTAL REVENUES	310,900.53	309,185.47	309,185.47	309,185.47	(0.5)	3,730,806.00	3,730,806.00	598,338.14	(83.9)
EXPENSES									
INFORMATION TECHNOLOGY									
ADMINISTRATION	2,474.43	1,175.49	1,175.49	1,175.49	52.4	29,693.00	29,693.00	1,220.48	95.8
PW ADMINISTRATION	138,264.83	107,354.16	107,354.16	107,354.16	22.3	1,659,177.00	1,659,177.00	517,009.53	68.8
WATER OPERATIONS	76,290.53	54,969.71	54,969.71	54,969.71	27.9	915,485.00	915,485.00	133,057.07	85.4
SEWER OPERATIONS	50,962.72	23,003.53	23,003.53	23,003.53	54.8	611,552.00	611,552.00	23,093.35	96.2
WATER CAPITAL	12,003.46	849.76	849.76	849.76	92.9	144,041.00	144,041.00	933.28	99.3
SEWER CAPITAL	326,968.77	213,585.80	213,585.80	213,585.80	34.6	3,923,625.00	3,923,625.00	308,998.31	92.1
TOTAL EXPENSES	8,333.34	1,500.00	1,500.00	1,500.00	82.0	100,000.00	100,000.00	1,500.00	98.5
TOTAL FUND REVENUES	615,298.08	402,438.45	402,438.45	402,438.45	34.5	7,383,573.00	7,383,573.00	985,812.02	86.6
TOTAL FUND EXPENSES	310,900.53	309,185.47	309,185.47	309,185.47	(0.5)	3,730,806.00	3,730,806.00	598,338.14	(83.9)
SURPLUS (DEFICIT)	615,298.08	402,438.45	402,438.45	402,438.45	34.5	7,383,573.00	7,383,573.00	985,812.02	86.6
	(304,397.55)	(93,252.98)	(93,252.98)	(93,252.98)	(69.3)	(3,652,767.00)	(3,652,767.00)	(387,473.88)	(89.3)

VILLAGE OF SUGAR GROVE
 SUMMARIZED REVENUE & EXPENSE REPORT

FOR FUND: REFUSE FUND
 FOR 2 PERIODS ENDING

JUNE 30, 2015

DEPARTMENT DESCRIPTION	JUNE		JUNE ACTUAL	VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	VARI- ANCE	%
	BUDGET	ACTUAL						
REVENUES								
	72,578.18	72,327.03		(0.3)	870,938.00	142,629.02	(83.6)	
TOTAL REVENUES	72,578.18	72,327.03		(0.3)	870,938.00	142,629.02	(83.6)	
EXPENSES								
ADMINISTRATION	74,285.51	68,719.70		7.4	891,426.00	72,141.03	91.9	
TOTAL EXPENSES	74,285.51	68,719.70		7.4	891,426.00	72,141.03	91.9	
TOTAL FUND REVENUES	72,578.18	72,327.03		(0.3)	870,938.00	142,629.02	(83.6)	
TOTAL FUND EXPENSES	74,285.51	68,719.70		7.4	891,426.00	72,141.03	91.9	
SURPLUS (DEFICIT)	(1,707.33)	3,607.33		(311.2)	(20,488.00)	70,487.99	(444.0)	

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: WALTER MAGDZIARZ, COMMUNITY DEVELOPMENT DIRECTOR
SUBJECT: ORDINANCE: AUTHORIZING AN INTERGOVERNMENTAL AGREEMENT WITH VILLAGE OF NORTH AURORA (BOUNDARY LINE AGREEMENT)
AGENDA: JULY 21, 2015 VILLAGE BOARD REGULAR MEETING CONSENT AGENDA
DATE: JULY 17, 2015

ISSUE

Should the Village Board approve an Ordinance authorizing execution of the Intergovernmental Agreement with the Village of North Aurora to renew the current boundary line agreement.

DISCUSSION

The COTW discussed this item at its July 7, 2015 meeting and supported renewing the boundary line agreement.

The current intergovernmental agreement is set to expire in July 2020. The staff in North Aurora and Sugar Grove have determined that there is no reason to change the terms or alter the boundary. In the absence of any development interest or pressure along the boundary corridor in either community, now would be an appropriate time to extend the life of the agreement.

The boundary agreement is useful in that it permits the parties to perform necessary long range land use planning and capital improvement planning with a high degree of certainty as to where their respective future boundaries will be located. The agreement prevents neighboring municipalities from being used as negotiation pawns by land owners and developers.

Staff recommends the agreement be extended for a 20 year period, the maximum allowed under Illinois law.

ATTACHMENTS

The boundary line agreement and the map are attached as exhibits to the Ordinance authorizing the Intergovernmental Agreement and are all attached for your review and information.

COSTS

There are nominal attorney's fees associated with drafting the boundary agreement which will be split with the Village of North Aurora.

RECOMMENDATION

Staff recommends the Village Board approve the Ordinance Authorizing an Intergovernmental Agreement Between the Village of Sugar Grove and the Village of North Aurora (Boundary Line Agreement).

JURISDICTIONAL BOUNDARY LINE AGREEMENT BETWEEN
THE VILLAGE OF SUGAR GROVE
AND
THE VILLAGE OF NORTH AURORA

This Agreement is made the _____ day of _____, 2015, between the Village of Sugar Grove, a municipal corporation located in Kane County, Illinois (hereinafter referred to as “Sugar Grove”) and the Village of North Aurora, a municipal corporation located in Kane County, Illinois, (hereinafter referred to as “North Aurora”) and both Villages collectively referred to as the “Communities”.

WHEREAS, North Aurora is the nearest municipality lying northwesterly of Sugar Grove, and

WHEREAS, Unincorporated Territory is within one and one-half miles of the boundaries of Sugar Grove and North Aurora; and

WHEREAS, both Communities have adopted Official Comprehensive Plans; and

WHEREAS, the Communities’ location within the Chicago/West Suburban high technology corridor and their location adjacent to limited access roadways carrying a high traffic volume create the likelihood of continued aggressive land development in the Unincorporated Territory lying between the Communities; and

WHEREAS, Sugar Grove and North Aurora recognize that development of the Unincorporated Territory will be accompanied by significantly higher demands for transportation services, governmental police, power services, utility services and other municipal services, and the financial commitments necessary to meet such services; and

WHEREAS, Sugar Grove and North Aurora recognize that development of land in the Unincorporated Territory creates problems to open space preservation, flood control, population density and ecological and economic impacts; and

WHEREAS, Sugar Grove and North Aurora and their respective citizens will be vitally affected by such problems and any attempt to solve them while providing for the welfare, prosperity and enjoyment of the citizens of such communities will be aided by mutual action and intergovernmental cooperation; and

WHEREAS, Sugar Grove and North Aurora are “corporate authorities” as described in 65 ILCS Section 5/11-12-9 are “units of local government” as defined by Article VII, Section 10 of the Constitution of the State of Illinois; and

WHEREAS, Sugar Grove and North Aurora recognize the need and desirability to provide for logical municipal boundaries and areas of municipal authority between their respective municipalities in

order to plan effectively and efficiently for the growth and potential development between their communities and the conservation of the available resources for all of their respective citizens; and

WHEREAS, in examining and shaping their future development, Sugar Grove and North Aurora acknowledge that such planning should be free from the influence of both developer's blandishments and developer's efforts to play one community against the other; and

WHEREAS, Sugar Grove and North Aurora have authorized, by Ordinances duly considered and passed, the execution of the Agreement as an exercise of their powers under 65 ILCS Section 5/11-12-9 and as an exercise of their intergovernmental authority under the Constitution of the State of Illinois; and

WHEREAS, the Corporation authorities of Sugar Grove and North Aurora have given consideration to the natural flow of storm water, drainage and other practical considerations and where possible, included all of any single tract having common ownership within the jurisdiction of one corporation authority, and have specifically received approval for the division of the land owned by Thomas Alexander.

NOW THEREFORE, in consideration of the mutual promises contained herein and upon the further consideration of the Recitals set forth, it is agreed between Sugar Grove and North Aurora as follows:

1. The Recitals set forth above are deemed a part of the terms of this Agreement and the consideration given therefore.
2. A jurisdictional boundary line between Sugar Grove and North Aurora for municipal government planning, zoning, annexation, subdivision control, and municipal purposes shall be as follows:

A boundary agreement line, along and across that part of the Northeast Quarter or Section 2, Township 38, North, Range 7 East of the Third Principal Meridian, and across part of the Southeast Quarter of Section 35, Township 39 North, Range 7 East of the Third Principal Meridian, described as follows: Beginning at the Southeast corner of said Northeast Quarter; thence Northerly, along the East line said Northeast Quarter 1874.4 feet to a point that is 11.60 chains South of the South line of said Southeast Quarter, said point being on the Southerly line of property described in Document No.98K019384; then North 85 degrees 30 minutes West, along said Southerly line to the centerline of Lake Run Drainage Ditch: thence Northwesterly and Northerly, along said centerline being the Southwesterly and Westerly line of said property, to the North line of said Southeast Quarter and the point of termination of said boundary agreement line, all in Sugar Grove and Blackberry Townships, Kane County, Illinois.

Such jurisdictional boundary line is further described on the map which is attached as Exhibit A and is fully incorporated herein. Each municipality shall be deemed to have

- jurisdiction of the land lying on its side of the boundary line described herein.
3. Unless otherwise agreed in writing by both municipalities, neither municipality shall annex territory which lies within the jurisdiction of the other municipality, as established by the jurisdictional boundary line.
 4. Sugar Grove and North Aurora shall cooperate in the future with reference to plans for the development of the Unincorporated Territory in reference to roadways, storm water control and provisions for other public services. Toward this end, the communities shall share information with one another in reference to proposed developments within the Unincorporated Territory.
 5. Each Village agrees to actively oppose any attempt by a land owner to effectuate an involuntary annexation to its respective municipality if such annexation would have the effect of annexing land within one Village's jurisdiction to the other Village.
 6. This Agreement shall not be construed so as to limit or adversely affect the right of either Village to file a statutory objection to proposed rezoning within one and one-half mile of its corporate limits.
 7. In the event that either Village's subdivision control authority cannot be exercised on its side of the jurisdictional boundary line because such Village is not located within one and one-half miles of such development, and if the other Village is not located within one and one-half miles of proposed development and if the other Village is located within one and one-half miles of such development then, in those events, each Village hereby transfers its subdivision control authority to the other Village pursuant to Section 10, Article VII of the 1970 Constitution of the State of Illinois, so the Village's subdivision control can be effectuated by the municipality on whose side of the jurisdictional boundary line the subdivision is located.
 8. Neither municipality shall object to the other municipality's request for an amendment of its Facilities Planning Area in respect to land located on the requesting municipality's side of the jurisdictional boundary line.
 9. The respective municipal clerks shall certify to the adoption of this Agreement, file such certified copy of the Agreement with the Kane County Recorder's Office, and make the same available in their respective municipal offices.
 10. The term of this Agreement shall be for twenty (20) years from the date of its execution

and may be renewed or extended in writing by the parties as authorized by law.

11. If any provision of this Agreement shall be declared invalid for any reason, such invalidation shall not affect other provisions of this Agreement which can be given effect without the invalid provision and to this end the provisions of this Agreement are deemed severable.

12. This Agreement shall be construed in accordance with the laws of the State of Illinois.

IN WITNESS WHEREOF, the Village of Sugar Grove has caused its corporate seal to be affixed hereto and has caused its name to be signed to this Agreement by its Village President and attested by its Village Clerk, pursuant to Village of Sugar Grove Ordinance No. 2015-0721A on this 21st day of July, 2015.

VILLAGE OF SUGAR GROVE, ILLINOIS

ATTEST:

BY: _____
P. Sean Michels, Village President

Cynthia L. Galbreath, Village Clerk

IN WITNESS WHEREOF, the Village of North Aurora has caused its corporate seal to be affixed hereto and has caused its name to be signed to this Agreement by its Village President and attested by its Village Clerk, pursuant to Village of North Aurora Ordinance No. _____ on this _____ day of _____, 2015.

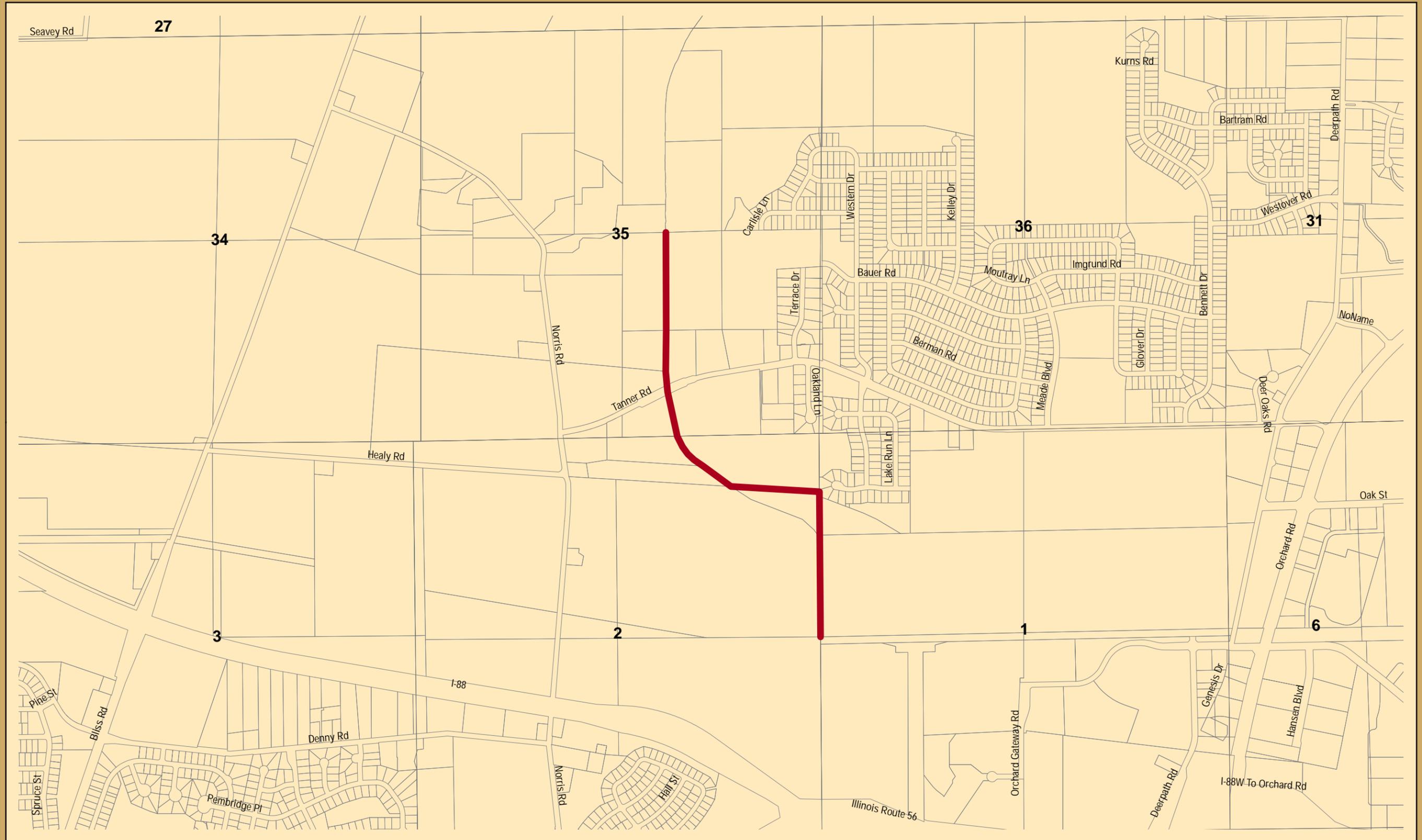
VILLAGE OF NORTH AURORA, ILLINOIS

ATTEST:

BY: _____
Dale Berman, Village President

Lori Murray, Village Clerk

Sugar Grove - North Aurora Boundary Line





**VILLAGE OF SUGAR GROVE
KANE COUNTY, ILLINOIS**

ORDINANCE NO. 2015-0721A

**AN ORDINANCE
AUTHORIZING EXECUTION OF AN INTERGOVERNMENTAL AGREEMENT
BETWEEN THE VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS AND THE VILLAGE OF
NORTH AURORA, KANE COUNTY, ILLINOIS
(BOUNDARY LINE AGREEMENT)**

Adopted by the
Board of Trustees and President
of the Village of Sugar Grove
this 21st day of July, 2015

Published in Pamphlet Form
by authority of the Board of Trustees of the
Village of Sugar Grove, Kane County, Illinois
this 21st day of July, 2015

ORDINANCE NO. 2015-0721A

**AN ORDINANCE AUTHORIZING EXECUTION OF AN INTERGOVERNMENTAL AGREEMENT
BETWEEN THE VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS AND THE VILLAGE OF
NORTH AURORA, KANE COUNTY, ILLINOIS
(BOUNDARY LINE AGREEMENT)**

BE IT ORDAINED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

WHEREAS, the Village of Sugar Grove is not a home rule municipality within Article VII, Section 6A of the Illinois Constitution and, pursuant to the powers granted to it under 65 ILCS 5/1-1 *et seq.*; and,

WHEREAS, the Constitution of the State of Illinois 1970, Article VII, Local Government, Section 10, provides for intergovernmental cooperation in and authorizes units of local government to obtain or share services to exercise, combine or transfer powers or functions in any manner not proscribed by law or ordinance, and authorized units of local government to use their credit, revenues and other resources to pay costs related to intergovernmental activities; and

WHEREAS, the Intergovernmental Cooperation Act provides for the joint exercise of powers, privileges or authority by units of government and provides for intergovernmental contracts; and

WHEREAS, Section 11-12-9 of the Municipal Code (65 ILCS 5/11-12-9) provides for the adoption of agreements establishing the boundaries for jurisdiction between municipalities in accordance with the provisions stated therein.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

SECTION ONE: AUTHORIZATION TO EXECUTE AGREEMENT

The Village President and Village Clerk be, and they are, hereby authorized and directed to execute the Intergovernmental Agreement attached hereto as Exhibit A, and made a part hereof by this reference. The Village Clerk is also hereby directed to cause said Agreement to be recorded in the County Recorders Office.

SECTION TWO: GENERAL PROVISIONS

REPEALER: All ordinances or portions thereof in conflict with this ordinance are hereby repealed.

SEVERABILITY: Should any provision of this Ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and effect the same as if the invalid provision had not been a part of this Ordinance.

EFFECTIVE DATE: This Ordinance shall be in full force and effect on and after its approval, passage and publication in pamphlet form as provided by law.

PASSED AND APPROVED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, this 21st day of July, 2015.

P. Sean Michels
President of the Board of Trustees of the
Village of Sugar Grove, Kane County, Illinois

ATTEST:

Cynthia L. Galbreath
Clerk, Village of Sugar Grove

	Aye	Nay	Absent	Abstain
Trustee Kevin Geary	___	___	___	___
Trustee Sean Herron	___	___	___	___
Trustee Mari Johnson	___	___	___	___
Trustee David Paluch	___	___	___	___
Trustee Rick Montalto	___	___	___	___
Trustee Ted Koch	___	___	___	___
President P. Sean Michels	___	___	___	___

EXHIBIT A

Intergovernmental Agreement

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: WALTER MAGDZIARZ, COMMUNITY DEVELOPMENT DIRECTOR
SUBJECT: ORDINANCE: ADOPTING 2015 AFFORDABLE HOUSING PLAN
AGENDA: JULY 21, 2015 VILLAGE BOARD REGULAR MEETING CONSENT AGENDA
DATE: JULY 17, 2015

ISSUE

Shall the Village Board approve an Affordable Housing Plan in accordance with the Affordable Housing Planning and Appeal Act (Public Act 93-0595).

DISCUSSION

The Committee of the Whole discussed the draft Affordable Housing Plan at its July 7, 2015 meeting and recommended the Ordinance be drafted for approval.

The Illinois General Assembly passed the Affordable Housing Planning and Appeal Act in 2003 to address the lack of moderately-priced housing that exists in many communities across the State.

According to the December 2013 Local Government Exemption Report prepared by the Illinois Housing Development Authority (IHDA) the Village has less than the mandated minimum 10% of the community's housing stock being defined as affordable. Consequently, the Village must prepare a plan expressing how it will achieve the goal of 10% of its housing stock being defined as affordable.

The Village last adopted an Affordable Housing Plan in 2005, the last time the percentage of the housing stock defined as affordable was below the 10% goal. "Affordable" is defined by the Act as the availability of the local housing stock available at an amount that would be affordable to (1) homebuyers at 80% of the regional median household income, and (2) renters at 60% of the regional median household income. The 2010 US Census is the source for income and housing data used in the calculations to determine affordability.

According to the 2010 Census, there are 2,974 occupied year-round dwelling units in Sugar Grove and of these 68, or 2.3% are, by definition, affordable. In order to exempt the Village from the full operation of the Act, **229 additional** affordable housing units would need to be created in the community following the date of the Exemption Report. With 60 affordable units currently under construction (PIRHL senior apartments), the Village will have 128 units, equal to 4.3% of the occupied housing stock and short of the 297 needed to satisfy the regulations of the Act..

The Plan includes four required elements: affordable housing unit analysis, affordable housing goals, potential locations, and affordable housing incentives. With respect to the incentives, the Plan will continue to identify the following possible incentives:

1. Consideration of the granting of special use permits, zoning variations, PUD designation, or lot size variation.
2. Utilization of conservation design and clustered housing concepts to lower infrastructure costs of subdivision engineering and to maximize environmental protection while simultaneously reducing overall costs associated with linear feet of utilities and square footage of streets.
3. Utilization of mixed-use buildings and developments to provide affordable housing units to take advantage of density and proximity to services to reduce housing costs.
4. Utilization of accessory housing opportunities in appropriate locations throughout the community.
5. Implementation of Aging in Place concepts to insure afford-able/accessible and continuing housing availability for seniors and other disabled persons, thus allowing them to remain in their homes instead of forcing sales due to the need to move to assisted living facilities.
6. Consideration of TIF districts for appropriate areas.
7. Assistance in developing certain aspects of subdivision engineering, including flood control, street layout or traffic signals.
8. Assistance in identifying areas of the Village suitable for affordable housing developments.
9. Availability of Village staff for meetings with developers considering affordable housing developments within the Village.
10. Subsidized or reduced cost building permits or inspection fees.

With respect to location, the Plan refers to renovation and rehabilitation of older existing housing units in selected neighborhoods, and consistency with the Comprehensive Plan for new residential development.

The Plan recognizes there is no silver bullet solution and permits the Village to achieve the 10% goal by any number of means. (IHDA does not dictate how a community may achieve its fair share of affordable housing, unless it fails to adopt an Affordable Housing Plan). The Village Board is under no obligation to apply these incentives for every new residential development it is considering. Nor does an entire housing development need to provide affordable housing units. The Plan provides the Village Board with complete discretion in the application of these actions.

ATTACHMENTS

- Ordinance adopting the 2015 Affordable Housing Plan, with the Affordable Housing Plan attached as Exhibit A..

COST

There are no costs associated with this decision.

RECOMMENDATION

That the Village Board approve the Ordinance adopting the 2015 Affordable Housing Plan.



**VILLAGE OF SUGAR GROVE
KANE COUNTY, ILLINOIS**

ORDINANCE NO. 2015-0721B

**AN ORDINANCE ADOPTING THE
2015 SUGAR GROVE AFFORDABLE HOUSING PLAN**

Adopted by the
Board of Trustees and President
of the Village of Sugar Grove
this 21st day of July, 2015

Published in Pamphlet Form
by authority of the Board of Trustees of the
Village of Sugar Grove, Kane County, Illinois,
this 21st day of July, 2015

ORDINANCE NO. 2015-0721B
AN ORDINANCE ADOPTING THE
2015 SUGAR GROVE AFFORDABLE HOUSING PLAN

BE IT ORDAINED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

WHEREAS, the Village of Sugar Grove is not a home rule municipality within Article VII, Section 6A of the Illinois Constitution and, pursuant to the powers granted to it under 65 ILCS 5/1-1 *et seq.*; and,

WHEREAS, the State of Illinois passed Public Act 93-0505 (the “Act”) relating to Affordable Housing in the State of Illinois and mandating all municipalities throughout the State to strive to achieve certain affordable housing goals; and,

WHEREAS, in compliance with the Act, the Village approved an Affordable Housing Plan on April 6, 2004 by Ordinance 2004-0406 and forwarded the Plan to the Illinois Housing Development Authority (IHDA) on June 1, 2004; and,

WHEREAS, subsequent to approval the approval of the Plan, a list of non-exempt municipalities was published on August 11, 2004 and the Village of Sugar Grove was determined to be non-exempt from the provisions of the Act, at which time the Village revised its Plan in accordance with the Act; and,

WHEREAS, subsequent to the approval of the revised plan IHDA published the 2013 Report on Statewide Local Government Affordability in which the Village of Sugar Grove was determined to be non-exempt from the provisions of the Act and was notified by IHDA on January 7, 2014 that that our Plan needed to be revised in compliance with the Act; and,

WHEREAS, the Village Board finds that it is in its best interests to reserve certain powers unto itself by passage of the 2015 Affordable Housing Plan in accordance with said Act, subject to automatic termination or suspension as set forth herein.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

SECTION ONE:

- A. The 2015 Sugar Grove Affordable Housing Plan, attached hereto as Exhibit A, is hereby adopted by the Village of Sugar Grove.
- B. Any amendment to the State Affordable Housing Planning and Appeal Act (310 ILCS 67/1 *et seq.*) that becomes effective after the passage of this Ordinance lessening or relieving the Village of the requirement of affordable housing shall be incorporated into this Ordinance by reference and shall be effective immediately and any and all stated goals in the Village plan shall be reduced accordingly. However, any amendment that increases the required goals for affordable housing shall not be incorporated into this Ordinance by reference without formal action by the corporate authorities of the Village.

- C. If the Illinois Supreme Court declares all or part of the State Affordable Housing Planning and Appeal Act (310 ILCS 67/1 *et seq.*) unconstitutional but upholds the constitutionality of the remainder of the Act or does not address the remainder of the Act, then the remainder of the Act as adopted by this Ordinance shall remain in full force and effect; however, all or that part of this Ordinance relating to all or the part of the Act found unconstitutional shall be deemed repealed without further action by the corporate authorities of the Village.
- D. If the Illinois Housing Authority shall determine that the Village of Sugar Grove is exempt from the provisions of 310 ILCS 67/1 pursuant to 310 ILCS 67/20 then the attached Plan shall be automatically suspended in operation during all such times as the Village is determined to be exempt. If subsequent to such exempt finding, the Village is later found to no longer be exempt, the Plan's suspension shall be removed and the Plan shall be in full force and effect thereafter, until any such exemption is re-established.

SECTION TWO: GENERAL PROVISIONS

REPEALER: All ordinances or portions thereof in conflict with this ordinance are hereby repealed.

SEVERABILITY: Should any provision of this Ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and effect the same as if the invalid provision had not been a part of this Ordinance.

EFFECTIVE DATE: This Ordinance shall be in full force and effect on and after its approval, passage and publication in pamphlet form as provided by law.

PASSED AND APPROVED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, this 21st day of July, 2015.

P. Sean Michels, President of the Board of Trustees
of the Village of Sugar Grove,
Kane County, Illinois

ATTEST: _____
Cynthia L. Galbreath, Clerk, Village of Sugar Grove

	Aye	Nay	Absent	Abstain
Trustee Kevin Geary	___	___	___	___
Trustee Sean Herron	___	___	___	___
Trustee Mari Johnson	___	___	___	___
Trustee David Paluch	___	___	___	___
Trustee Ron Montalto	___	___	___	___
Trustee Ted Koch	___	___	___	___

EXHIBIT A

(Report attached)

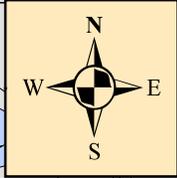
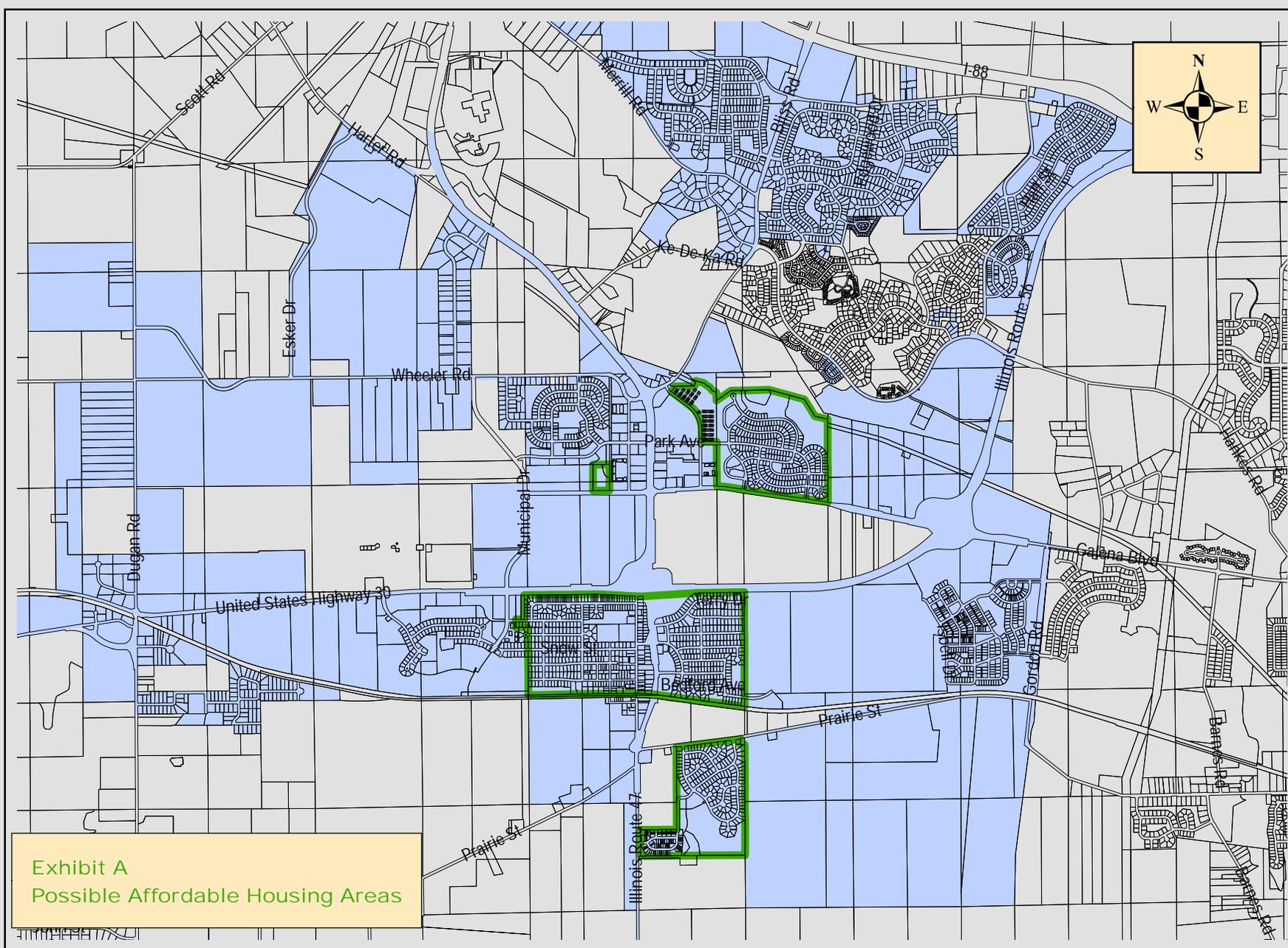


Exhibit A
Possible Affordable Housing Areas



**2015
Affordable Housing Plan**

Introduction

WELCOME to the Village of Sugar Grove Affordable Housing Plan. Sugar Grove has long focused on maintaining sustainable development of housing that meets a wide range of needs, including attracting a diverse citizenry. The efforts of the Village government and residents have been very successful in assuring that Sugar Grove can share its resources with, and be strengthened by, many unique individuals with a wide range of economic resources.

In 2003, the Illinois Legislature and Governor passed Public Act 93-0595, the Affordable Housing Planning and Appeal Act (Affordable Housing Act), a statute aimed at recognizing those municipalities who have undertaken to provide affordable housing for their residents, as well as provide certain mechanisms by which additional affordable housing can be developed in areas where it is needed. Under this Act, certain municipalities which maintain a large amount of affordable housing can be deemed exempt. Exempt municipalities are *not* required to take any action to be considered in compliance with the Act; non-exempt municipalities are required to develop an Affordable Housing Plan and submit the plan to the Illinois Housing Development Authority.

The Village of Sugar Grove, by virtue of its extensive efforts, maintains a sufficient stock of affordable housing that it should be considered exempt from the provisions of the Act. Nonetheless, in keeping with the longstanding tradition of encouraging affordable housing within the Village, in 2004, the Village was among the first municipalities in Illinois to develop and submit an Affordable Housing Plan which was promulgated to show the Village's continuing dedication to diversity.

In December 2013 the Village of Sugar Grove was determined by the Illinois Housing Development Authority to be considered a non-exempt community under the regulations of the Act. As a result of this determination, the Village of Sugar Grove was required to adopt an affordable housing plan.

In order to comply with the requirements of the Act, the Village of Sugar Grove hereby adopts the following components of an Affordable Housing Plan.



1. Affordable Housing Unit Analysis

For a municipality to be Exempt under the Affordable Housing Act, at least 10% of the total year-round housing units must be affordable. According to the December 2013 Local Government Exemption Report produced by IHDA there are a total of 68 affordable housing units within the Village of Sugar Grove. With a total of 2,974 occupied housing units within the Village this equates to 2.3% of the community's housing stock being defined as affordable. In order to exempt the Village from the operation of the Act, 229 additional affordable housing units would need to be created in the Village following the date of the Exemption Report. With 60 units presently under construction in 2015, the Village will have 128 units, equal to 4.3% of the occupied housing stock.



2. Affordable Housing Goal

Pursuant to the Affordable Housing Act, the Village has set a goal for creating or maintaining a sufficient and recommendable stock of affordable housing. That goal is for the creation or maintenance of at least 10% of the total housing units in the Village as affordable housing under the terms and conditions of the Affordable Housing Act. According to the calculations of the IHDA as described above, as there are currently 2,974 housing units in the Village of Sugar Grove, the Village goal would be to have at least 297 housing units be considered to be affordable houses, or such other number as shall be necessary to constitute 10% of the total available housing units in the Village.



3. Identification of Lands Suitable for Affordable Housing

The Village of Sugar Grove has employed its staff to develop a cohesive system of land zoning and planning designed to allow for a wide array of land uses, including construction of affordable housing. This system has been expressed through the Village's zoning map and Comprehensive Plan.

The primary areas suitable for development of affordable housing are existing structures within the Village that are suitable for rehabilitation into affordable housing. The Village

has identified more than 650 of the nearly 2,974 housing units in the Village that should be considered to be affordable housing. The Village will strive to insure that said areas (and all areas contained in Exhibit A) do not become ripe for teardown/infill developments, but instead shall strive to be preserved in their existing traditional designs and densities. Additionally, should these areas not be considered to contain affordable housing, the Village shall strive to convert these areas to affordable housing. Doing so shall insure a continuing stock of affordable housing in the Village. Beyond those structures which already exist as affordable housing, the Village remains open to conversations with developers who are committed to continuing to develop affordable housing of all appropriate forms, in appropriate areas, within the Village.

There are currently no publicly or semi-publicly owned structures within the Village that are suitable for housing of any form, including affordable housing.



4. Affordable Housing Incentives

The Village's longstanding policy of encouraging the development and construction of a wide range of housing, including extensive affordable housing, has thus far proved to be very successful in attracting developers and home-buyers. From time to time, the Village may offer certain incentives for the purpose of attracting additional affordable units, should that prove to be in the best interests of Village residents. The offering of incentives shall be solely within the judgment and discretion of the Village of Sugar Grove, its officers and staff. The listing of any incentive herein does not guarantee its availability to any individual or developer.

However, the Village *may*, in its sole discretion, provide any or all of the following incentives:

1. Consideration of the granting of special use permits, zoning variations, PUD designation or lot size variation.
2. Utilization of conservation design and clustered housing concepts to lower infrastructure costs of subdivision engineering and to maximize environmental protection while simultaneously reducing overall costs associated with linear feet of utilities and square footage of streets.
3. Utilization of mixed-use building development concepts wherein residential dwelling units are included in the same building as retail and office uses.
4. Utilization of accessory housing opportunities in appropriate locations throughout the community.

5. Implementation of aging in place concepts to insure affordable/accessible and continuing housing availability for seniors and other disabled persons, thus allowing them to remain in their homes instead of forcing sales due to the need to move to assisted living facilities.
6. Consideration of TIF districts for appropriate areas.
7. Assistance in developing certain aspects of subdivision engineering, including flood control, street layout or traffic signals.
8. Assistance in identifying areas of the Village suitable for affordable housing developments.
9. Availability of Village staff for meetings with developers considering affordable housing developments within the Village.
10. Subsidized or reduced cost building permits or inspection fees.



5. Amendment & Repeal of Plan

The Village reserves to amend or repeal any or all portions of this plan. Any such amendment or repeal shall be effective and shall apply to any current or proposed plan (regardless of whether said plan is in the pre-planning, planning, or implementation phase of such development). No developer shall be entitled to rely on any provision of this plan, as the actual granting of any incentive hereunder is purely discretionary and shall require further approval and action by the Village Board.

Exhibit A

(map attached)

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: ANTHONY SPECIALE, DIRECTOR OF PUBLIC WORKS
BRAD MERKEL, PUBLIC UTILITIES SUPERVISOR
SUBJECT: RESOLUTION: APPROVING CONSTRUCTION CONTRACT FOR
SANITARY SEWER PROJECT ON QUEENSGATE CIRCLE
AGENDA: JULY 21, 2015 REGULAR BOARD MEETING
DATE: JULY 16, 2015

ISSUE

Should the Village award a construction contract with Stark & Sons Trenching to repair or relocate a displaced section of the sanitary sewer along Queensgate Circle.

DISCUSSION

On December 31, 2014, a sanitary sewer back up was reported at 740 Queensgate Circle. Staff responded to the call and jetted the 8" line that contained the backup. Staff also noted that it was an unusual spot for a backup and scheduled the line for televising to determine the cause. The line was televised on January 19, 2015 and a large sag was discovered about 250' from the manhole at Tudor Court. This is directly under the spillway and bridge on Queensgate Circle. Staff determined that the area was susceptible to backups due to the sag and a solution was needed.

Staff worked with EEI to develop a concept plan to re-route the 8" line and abandon the section containing the sag. The engineer's estimate for construction is \$44,485.00. The Fiscal Year 2015-16 Budget included funds to for this project. Staff contacted three local companies for proposals. The following is a summary of the results:

<u>Company</u>	<u>Price</u>
H. Linden & Sons	\$202,613.00
J&S Construction	\$146,318.00
Stark & Son Trenching	\$93,825.00

Stark & Sons Trenching submitted the lowest responsive responsible proposal of \$93,825.00. Staff recommends waiving the bid process and accepting the lowest proposal from Stark & Sons Trenching.

Based on the probability of future backups or pipe failure and the condition of the current pipe, Staff recommends we proceed with this project.

COST

The proposed cost to complete construction is \$93,825.00. The Fiscal Year 15-16 Sewer Capital Budget, account number 50-72-7012: Sanitary Sewer System Improvements contains \$80,000.00 for this project.

RECOMMENDATION

The Village Board waives the bid process and approves **Resolution #20150721PW1** authorizing an agreement with Stark & Sons Trenching in the amount of \$93,825.00 for the Construction Services for the Queensgate Sanitary Sewer Improvements.



Engineering Enterprises, Inc.

July 17, 2015

Mr. Anthony Speciale
Director of Public Works
Village of Sugar Grove
601 Heartland Drive
Sugar Grove, IL 60554

**Re: Queens Gate Sanitary Sewer Improvements
Village of Sugar Grove
Kane County, Illinois**

Dear Mr. Speciale:

EEI solicited bids from several contractors on behalf of the Village for this project. Bids from three contractors were received, opened and tabulated for work to be done on the above referenced project on July 17, 2015. A tabulation of the bids is attached for your information and record.

We recommend the acceptance of the bid and approval of award be made to the low bidder, Stark and Son Trenching, Inc., 45W826 Rohrsen Road, Hampshire, IL 60140, in the amount of **\$93,825.00**.

If you have any questions or need additional information, please call.

Respectfully submitted,

ENGINEERING ENTERPRISES, INC.

A handwritten signature in black ink that reads 'Michele L. Piotrowski'.

Michele L. Piotrowski, P.E., LEED AP
Project Manager

MLP/tnp

Enclosure

pc: Mr. Brent Eichelberger, Village Administrator
Mr. Walter Magdziarz, Community Development Director
Mr. Brad Merkel, Utilities Supervisor

G:\Public\SUGARGRO\2015\SG1503 Queens Gate and Tudor Court Sanitary Sewer Improvements\Docs\Contract Docs\Speciale01-
ContractAwardRecommendation.doc

BID SUMMARY QUEENS GATE SANITARY SEWER IMPROVEMENTS VILLAGE OF SUGAR GROVE				
BID TABULATION BIDS RECEIVED 07/17/15	STARK & SON TRENCHING, INC. 45W826 Rohrsen Road Hampshire, IL 60140	J&S CONSTRUCTION P.O. Box 760 Oswego, IL 60543	H. LINDEN & SONS SEWER 722 E. South Street Plano, IL 60545	Engineers Estimate 52 Wheeler Road Sugar Grove, IL 60554
TOTAL BID	\$93,825.00	\$146,318.00	\$202,613.00	\$44,485.00
BID BOND	N/A	N/A	N/A	N/A
SIGNED BID	X	X	X	X



RESOLUTION NO. 20150721PW1

VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS

RESOLUTION AUTHORIZING EXECUTION OF AN AGREEMENT WITH STRAK & SONS TRENCHING FOR THE QUEENSGATE CIRCLE SANITARY SEWER IMPROVEMENTS

WHEREAS, the Village of Sugar Grove Board of Trustees find that it is in the best interest of the Village to engage the services of Stark & Sons Trenching 45W826 Rohrsen Road, Hampshire IL 60140 to provide construction services for Queensgate Circle sanitary sewer improvements, and to execute the attached agreement;

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

That attached hereto and incorporated herein by reference as Exhibit A is an agreement between Stark & Sons Trenching and the Village of Sugar for construction services for the Queensgate Circle sanitary sewer improvements. The President and Clerk are hereby authorized to execute said agreement on behalf of the Village and to take such further actions as are necessary to fulfill the terms of said agreement.

Passed by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, at a regular meeting thereof held on the 21st day of July, 2015.

P. Sean Michels, President of the Board
of Trustees of the Village of Sugar Grove,
Kane County, Illinois

ATTEST: _____
Cynthia Galbreath, Village Clerk,
Village of Sugar Grove

	Aye	Nay	Absent	Abstain
Trustee Kevin M. Geary	_____	_____	_____	_____
Trustee Sean Herron	_____	_____	_____	_____
Trustee Mari Johnson	_____	_____	_____	_____
Trustee Ted Koch	_____	_____	_____	_____
Trustee Rick Montalto	_____	_____	_____	_____
Trustee David Paluch	_____	_____	_____	_____

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: ANTHONY SPECIALE, DIRECTOR OF PUBLIC WORKS
GEOFF PAYTON, STREETS & PROPERTIES SUPERVISOR
SUBJECT: RESOLUTION: APPROVING PURCHASE OF REPLACEMENT ONE
TON DUMP TRUCK
AGENDA: JULY 21, 2015 REGULAR BOARD MEETING
DATE: JULY 15, 2015

ISSUE

Should the Village Board approve the purchase of a replacement One Ton Dump Truck.

DISCUSSION

The Fiscal Year 2015-16 Budget included funds to purchase replacement One Ton Dump Truck equipped with a snow plow and a v-box spreader. The 2000 One Ton currently in service will be traded in on the replacement. The replacement One Ton will be utilized for landscaping, asphalt repairs, snow removal at facilities and various other daily tasks. Staff recommends that the dump be purchased this fiscal year as scheduled. Staff requested proposals for the replacement dump truck from nine local dealerships. The proposals were due July 13, 2015 at 11:00 AM. However; due to a clerical error, proposals were accepted until July 14, 2015 at 11:00 AM as directed by the Village Attorney. Four dealerships submitted proposals. Below is a comparison of the proposals received as seen attached tabulation sheet (prices listed are final prices including trade in and all discounts applied):

<u>Dealership</u>	<u>Price</u>
Bob Jass Chevrolet	\$67,640.00
Coffman Truck Sales	\$66,074.39
Ron Westphal Chevrolet	\$69,140.95
Vaessen Bros. Chevrolet	\$65,278.38

Vaessen Brothers Chevrolet submitted the lowest responsive responsible proposal of \$65,278.38. Staff recommends waiving the bid process and accepting the lowest proposal from Vaessen Brothers Chevrolet.

COST

The cost of the replacement One Ton Dump Truck including Municipal Plates, Village logo, emergency lighting and snow removal equipment is \$65,278.38. The Streets

Capital Fund, account number 30-53-7006: Automotive Equipment has \$70,000.00 budgeted to purchase the replacement One Ton Dump Truck.

RECOMMENDATION

The Village Board waive the competitive bid process and approve **Resolution # 20150721PW2** authorizing purchase of the replacement One Ton Dump Truck in the not to exceed amount of \$65,278.38 from Vaessen Brothers Chevrolet.



RESOLUTION NO. 20150721PW2

VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS

RESOLUTION AUTHORIZING PURCHASE OF A REPLACEMENT ONE TON DUMP TRUCK FROM VAESSEN BROTHERS CHEVROLET.

WHEREAS, the Village of Sugar Grove Board of Trustees find that it is in the best interest of the Village to engage the services of Vaessen Brothers Chevrolet for purchase of a 2015 One Ton Dump Truck, and to execute an agreement;

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

An agreement between Vaessen Brothers Chevrolet and the Village of Sugar Grove for the purchase of a 2015 One Ton Dump Truck. The Director of Public Works is hereby authorized to execute said agreement on behalf of the Village and to take such further actions as are necessary to fulfill the terms of said agreement.

Passed by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, at a regular meeting thereof held on the 21st day of July, 2015.

P. Sean Michels
President of the Board of Trustees
of the Village of Sugar Grove, Kane
County, Illinois

ATTEST: _____
Cynthia L. Galbreath
Clerk, Village of Sugar Grove

	Aye	Nay	Absent	Abstain
Trustee Kevin M. Geary	_____	_____	_____	_____
Trustee Sean Herron	_____	_____	_____	_____
Trustee Mari Johnson	_____	_____	_____	_____
Trustee Ted Koch	_____	_____	_____	_____
Trustee Rick Montalto	_____	_____	_____	_____
Trustee David Paluch	_____	_____	_____	_____

2015 One Ton Dump Bids

Date: 7/13/15 & 7/14/15	Opened by: BM	Witnessed by: GCP
Company	Specifications Met	Bid Amount
7/13/15 - Bob Jass Chevrolet	Yes	\$67,640.00
7/13/15 - Coffman Truck Sales	Yes	\$66,074.39
7/14/15 - Ron Westphal Chevrolet	Yes	\$69,140.95
7/14/15 - Vaessen Brothers Chevrolet	Yes	\$65,278.38

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: ANTHONY SPECIALE, DIRECTOR OF PUBLIC WORKS
GEOFF PAYTON, STREETS & PROPERTIES SUPERVISOR
SUBJECT: RESOLUTION: DEMOLITION OF STRUCTURE ON VILLAGE
PROPERTY
AGENDA: JULY 21, 2015 REGULAR BOARD MEETING
DATE: JULY 15, 2015

ISSUE

Should the Village Board approve the demolition of the structure located at 43W220 US Highway 30.

DISCUSSION

The structure located at 43W220 US Highway 30 was acquired by the Village as a result of a land swap stemming from construction of the Municipal Drive and Galena Boulevard extensions. The structure has been steadily deteriorating over the last few years and suffered a foundation failure last spring. This spring, an asbestos survey and mitigation project was completed on the structure. Due to growing safety concerns, Staff is recommending demolition of the structure and restoration of the site. The Fiscal Year 2015-16 Budget included funds to for this project. Staff contacted four local companies for proposals. Three companies responded. The following is a summary of the results:

<u>Company</u>	<u>Price</u>
G Snow Excavating	\$22,700.00
Midwest Dirt Works	\$24,400.00
J&S Construction	\$26,500.00

G Snow Excavating submitted the lowest responsive responsible proposal of \$22,700.00. Staff recommends waiving the bid process and accepting the lowest proposal from G Snow Excavating.

COST

The cost of the cost of the demolition including site restoration is \$22,700.00. The TIF #2 Fund, account number 33-55-7003: Building Improvements has \$40,000.00 budgeted for demolition of the structure.

RECOMMENDATION

The Village Board waive the competitive bid process and approves **Resolution #20150721PW3** authorizing an agreement with G Snow Excavating for demolition of the structure located at 43W220 US Highway 30.

G.SNOW & SONS

107 PAUL ST. UNIT D

ELBURN, IL 60119

PH 630-365-0988

FAX 630-365-9855

PROPOSAL

Date	Proposal
7/15/2015	2092

Name / Address
VILLAGE OF SUGAR GROVE 601 HEARTLAND DRIVE SUGAR GROVE, IL 60554

P.O. No.	Terms	Project
43W220 US 30	30 Days	DEMOLITION

Description	Qty	Rate	Total
SQ FT DEMO HOUSE,HAUL OFF SITE,DEMO FOUNDATION,HAUL OFF SITE	1,300		0.00
CAP WELL			0.00
PUMP SEPTIC TANK AND CAVE IN.			0.00
SF OF BASEMENT TO FILL IN WITH CLAY,BLACK IN WITH PULVERIZED TOPSOIL, SEED AND BLANKET	1,300		0.00
WE PAY PREVAILING WAGE			0.00
PRICE FOR ALL ABOVE ITEMS LISTED		22,700.00	22,700.00
EXCLUDES- WET,FROST,ASBESTOS,BED ROCK,PERMITS,CONCRETE,CONTAMINATED SOIL,TESTING SOIL,HAULING,BONDS,			Total \$22,700.00

Print name _____

Signature _____

Title _____

Date _____ CUSTOMER HAS 3 DAYS TO TERMINATE PROPOSAL AFTER SIGNING. RATES A GOOD FOR 30 DAYS.2% ADED TO INVOICE 60 DAYS PAST DUE.PAST DUE ACCOUNTS LIABLE FOR ALL LEGAL AND COLLECTION FEES.



RESOLUTION NO. 20150721PW3

VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS

RESOLUTION AUTHORIZING AGREEMENT WITH G SNOW EXCAVATING FOR THEDEMOLITION OF THE STRUCTURE AT 43W220 US HIGHWAY 30.

WHEREAS, the Village of Sugar Grove Board of Trustees find that it is in the best interest of the Village to engage the services of G Snow Excavating for demolition of the structure at 43W220 US Highway 30, and to execute an agreement;

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

An agreement between G Snow Excavating and the Village of Sugar Grove for demolition of the structure at 43W220 US Highway 30. The Director of Public Works is hereby authorized to execute said agreement on behalf of the Village and to take such further actions as are necessary to fulfill the terms of said agreement.

Passed by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, at a regular meeting thereof held on the 21st day of July, 2015.

P. Sean Michels, President of the Board of Trustees
of the Village of Sugar Grove, Kane
County, Illinois

ATTEST: _____
Cynthia Galbreath, Clerk, Village of Sugar Grove

	Aye	Nay	Absent	Abstain
Trustee Kevin M. Geary	_____	_____	_____	_____
Trustee Sean Herron	_____	_____	_____	_____
Trustee Mari Johnson	_____	_____	_____	_____
Trustee Ted Koch	_____	_____	_____	_____
Trustee Rick Montalto	_____	_____	_____	_____
Trustee David Paluch	_____	_____	_____	_____

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: WALTER MAGDZIARZ, COMMUNITY DEVELOPMENT DIRECTOR
SUBJECT: ORDINANCE: AMENDING SECTION 11-5-2-B OF THE ZONING
ORDINANCE (NONCONFORMING STRUCTURES)
AGENDA: JULY 21, 2015 VILLAGE BOARD REGULAR MEETING
CONSENT AGENDA
DATE: JULY 17, 2015

ISSUE

Shall the Village Board amend the zoning regulations pertaining to nonconforming structures to permit owners of such structures to make improvements to the structures.

DISCUSSION

The Committee of the Whole discussed this item at its last meeting on July 7, 2015 and agreed to place this item on the Consent Agenda.

The Village Zoning Ordinance includes regulations pertaining to the alteration and repair of non-conforming structures. In the course of administering and enforcing the zoning regulations it has come to staff's attention that the regulations are overly aggressive and may not be consistent with neighborhood preservation goals of the Village since they may have the effect of discouraging property owners from making physical improvements to non-conforming structures.

One of the fundamental functions of a Zoning Ordinance is establishing the rules and regulations for the eventual removal of non-conforming lots, structures, and uses of structures and land. Some communities will provide amortization schedules for various non-conforming structures and actively seek their removal. Often removal of nonconforming structures has other neighborhood preservation and development intentions beyond simple compliance with the zoning district standards.

In communities that have structures that pre-date WWI or WWII removing nonconforming structures is actively pursued since these structures often are poorly situated on lots relative to property lines or the right-of-way. With extremely few exceptions, these conditions do not generally exist in Sugar Grove and the Zoning Ordinance does not call for the removal of non-conforming structures, except in the case of damage or destruction. In the absence of an established policy and active program of removing non-conforming structures prohibiting the affected owners from making normal and typical modifications of their structures seems inconsistent with the policy of encouraging property owners to make improvements to their property, including building additions and the like.

Nonconforming structures arise from structures being constructed in the wrong location or the Village establishing or amending zoning district bulk regulations that are inconsistent with existing structures in the district. In either instance, the Zoning Ordinance provides instructions on how to maintain these nonconforming structures by alteration and repair, damage or destruction, and relocation. The proposed amendment concerns itself only with alteration of the structure.

Currently, nonconforming structures cannot be enlarged or expanded if the expansion happens to be associated with a nonconforming feature of the structure. To illustrate, both examples in Figure 1 and Figure 2 are currently prohibited. The proposed amendment will permit building expansions such as that illustrated in Figure 1 to occur. The example in Figure 2 will remain prohibited since it increases the degree of non-conformity.

The proposed amendment simply permits the affected property owner to make alterations of the nonconforming structure only as long as the change does not increase the degree of the existing non-conformity. For example, if the nonconforming building does not provide the required setback or exceeds the maximum height or lot coverage the property owner will be permitted to provide a building addition as long as the addition does not further reduce the nonconforming setback, or increase the nonconforming height or lot coverage. The proposed amendment does not authorize the creation of any new non-conformity on the property.

While the owner of a nonconforming structure may seek relief via the zoning variation process, this process is onerous for homeowners and business owners, and the burden of proving a hardship (required for zoning variations) is difficult. The proposed amendment will permit the vast majority of instances in the Village to avoid this process in order to proceed with desired property improvements.

The Plan Commission was very supportive of the proposed change. Several Commissioners had personal experience with this exact situation in previous communities in which they lived and understood the burden it places on the property owner. The Community Development Department is aware of a recent instance of second story additions that would have benefitted from this change, and the building addition at 769 Heartland, but for the rear yard and lot coverage variances, could have proceeded with a building permit if this approach to altering non-conforming structures was present in the Zoning Ordinance.

ATTACHMENTS

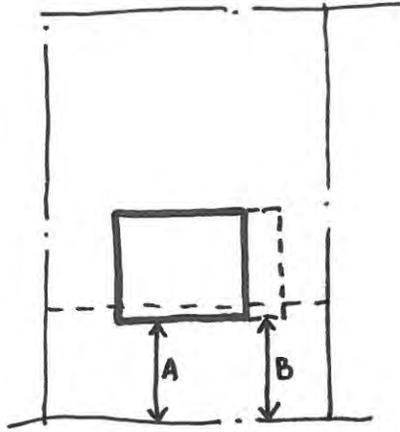
1. Figure 1 and Figure 2, for illustrative purposes only
2. Plan Commission Recommendation PC15-06
3. Adoption Ordinance 2015-0721_

COST

The only direct cost to date is publication of the public hearing.

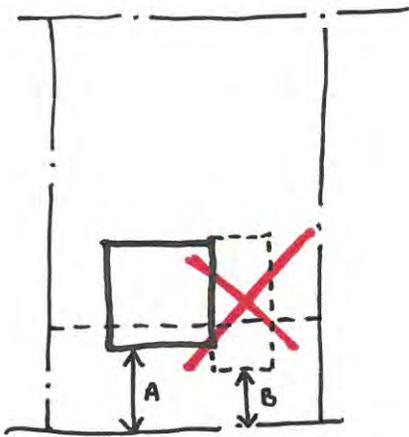
RECOMMENDATION

That the Village Board approve Ordinance 2015-072C Amending Title 11 of the Village Code (Non-Conforming Structures).



WHERE $A=B$

FIGURE 1. PERMITTED EXPANSION OF NONCONFORMING STRUCTURE.



WHERE $A \neq B$

FIGURE 2. PROHIBITED EXPANSION OF NONCONFORMING STRUCTURE.



**VILLAGE OF SUGAR GROVE
KANE COUNTY, ILLINOIS**

ORDINANCE NO. 2015-0721C

**AN ORDINANCE AMENDING TITLE 11 (ZONING ORDINANCE) OF THE VILLAGE CODE
(NON-CONFORMING STRUCTURES)**

Adopted by the
Board of Trustees and President of the
Village of Sugar Grove this
21st day of July, 2015

Published in Pamphlet Form
by authority of the Board of Trustees of the
Village of Sugar Grove, Kane County, Illinois
this 21st day of July, 2015

ORDINANCE NO. 2015-0721C

**AN ORDINANCE AMENDING TITLE 11 (ZONING ORDINANCE) OF THE VILLAGE CODE
(NON-CONFORMING STRUCTURES)**

WHEREAS, the Village of Sugar Grove is not a home rule municipality within Article VII, Section 6A of the Illinois Constitution and, pursuant to the powers granted to it under 65 ILCS 5/1-1 *et seq.*; and,

WHEREAS, the Village of Sugar Grove currently maintains zoning restrictions on the use of land within the Village; and,

WHEREAS, the Village finds that such restrictions provide for the safety and well-being of Village inhabitants and benefit the public welfare, safety and morals; and,

WHEREAS, the Village seeks to continue to promote these interests, and seeks to amend the Village Code to more fully protect and preserve the safety and well being of such inhabitants; and,

WHEREAS, after due notice the Plan Commission held a public hearing concerning the proposed amendment and no objectors were present and recommended in their Recommendation PC15-06 that the Village Board approve the requested Zoning Ordinance amendment.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

SECTION ONE: Ordinance Sections Amended

That Section 11-5-2-B of Title 11 of the Village Code of Ordinances be, and it is, hereby amended to be and to read as follows:

B. Nonconforming Buildings or Structures: A lawfully existing, nonconforming building or structure which does not contain any nonconforming use, but does not comply with the applicable lot size requirements or building bulk regulations in the district in which it is located, may be continued except as otherwise permitted by this chapter-and shall be subject to the following regulations:

1. Enlargement, Repair or Alteration:

- a. Any nonconforming building or structure may ~~not~~ be enlarged, maintained, repaired, remodeled or structurally altered, provided, however, that no such enlargement, maintenance, repair, remodeling or structural alteration shall either create any additional nonconformity or increase the degree of the existing non-conformity of all or any part of such building or structure. Damaged or destroyed buildings or structures shall be subject to the restrictions contained in subsection B2 of this section.

- b. A building that contains a nonconforming residential use may be altered to increase the livability of the building, provided no structural alteration occurs that would increase the number of dwelling units.
 - c. Nothing in this title shall be deemed to prevent the strengthening or restoring to a safe condition of a building or other structure (other than a damaged or destroyed building or other structure subject to the provisions of subsection B2 of this section) in accordance with the order of a public official who is charged with protecting the public safety and who declares such building or other structure to be unsafe and orders its restoration to a safe condition.
2. Damage or Destruction:
- a. In the event that a nonconforming building or structure or use of land is damaged or destroyed to the extent that the cost of restoration exceeds fifty percent (50%) or more of the replacement value of such building, structure or use, no repairs or reconstruction will be allowed to take place unless such restoration or reconstruction brings the building, structure or use into conformance with all applicable regulations of the district in which it is located.
 - b. If such damage or destruction does not exceed fifty percent (50%) of the market value of the building, structure or use, repairs shall be completed within eighteen (18) months of the date of the damage or destruction, unless extended by the village board. Building restoration shall be made to conform to all the provisions of the district in which the building, structure or use is located.
3. Relocation of Buildings or Structures: No nonconforming building, structure or use shall be moved in whole, or in part, to any other location on the same or any other zoning lot, unless every portion of such building or structure, and the use thereof, conforms to all of the regulations of the district in which it is to be located. (Ord. 2002-01-15B, 1-15-2002)

SECTION TWO: GENERAL PROVISIONS

REPEALER: All ordinances or portions thereof in conflict with this ordinance are hereby repealed.

SEVERABILITY: Should any provision of this Ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and effect the same as if the invalid provision had not been a part of this Ordinance.

EFFECTIVE DATE: This Ordinance shall be in full force and effect on and after its approval, passage and publication in pamphlet form as provided by law.

PASSED AND APPROVED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, this 21st day of July, 2015.

P. Sean Michels,
President of the Board of Trustees of the
Village of Sugar Grove, Kane County, Illinois

ATTEST: _____
Cynthia L. Galbreath
Clerk, Village of Sugar Grove

	Aye	Nay	Absent	Abstain
Trustee Mari Johnson	___	___	___	___
Trustee Sean Herron	___	___	___	___
Trustee David Paluch	___	___	___	___
Trustee Rick Montalto	___	___	___	___
Trustee Kevin Geary	___	___	___	___
Trustee Ted Koch	___	___	___	___

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: WALTER MAGDZIARZ, COMMUNITY DEVELOPMENT DIRECTOR
MIKE FERENCAK, VILLAGE PLANNER
SUBJECT: DISCUSSION: REQUESTS FOR PRELIMINARY PUD AND FINAL PUD
FOR EXPANSION OF THE MULTI-TENANT BUILDING AT 769 N.
HEARTLAND DRIVE
AGENDA: JULY 21, 2015 COMMITTEE OF THE WHOLE MEETING
DATE: JULY 17, 2015

ISSUE

Should the Village Board consider requests for Preliminary PUD and Final PUD for expansion of the multi-tenant building at 769 N. Heartland Drive

DISCUSSION

On May 26, 2015, the Village Board authorized issuing an “at-risk foundation permit” to begin construction on this site. At this time, no foundation permit has been issued because the applicant is still working to provide the necessary structural information in order to issue such a permit.

On June 16, 2015, the Village Board approved the concurrent review of Preliminary PUD and Final PUD for this single lot.

The applicant and property owner, Monterey Enterprises, LLC, would like to expand the building and parking lot at 769 N. Heartland Drive, Lot 10 of Sugar Grove Research Park. The existing building is approximately 15,000 square feet and consists of six tenant spaces. The proposed addition would be the same size as the existing building. .

The existing building and parking lot were constructed in 2003 without any variances and the site is was not developed as a PUD. Zoning requirements for the site changed in 2010, with the expiration of the annexation agreement for Sugar Grove Research Park.

Though the zoning requirements changed, the existing building complies with the current building setback requirements, but does not comply with current building material requirements. The existing parking lot does not comply with current pavement setback requirements. The existing site complies with current lot coverage and parking requirements, but does not comply with current landscaping requirements. Lighting and signage on the site may not be in conformance with some current requirements.

While it would be possible to build a smaller building and parking lot addition satisfying all current zoning requirements, the applicant chose to proceed with the proposed plan. The Planned Unit Development (PUD) approach permits the building addition and site improvements including building materials and pavement setbacks to occur in a more cohesive manner on the property.

On June 24, 2015, the Plan Commission recommended the Preliminary PUD and Final PUD be approved subject to conditions as originally recommended by staff.

The plans have been revised since the Plan Commission meeting and are attached. While many conditions of approval have been addressed, several remain to be resolved. Staff continues to work with the applicant to resolve the remaining items in order to present a draft ordinance to the Village Board for the August 4, 2015 meeting.

ATTACHMENTS

- Plan Commission Recommendation PC15-04
- Plan Set including:
 - a. Architectural Site Plan dated May 1, 2015
 - b. Trash Enclosure Elevation Plan dated May 1, 2015
 - c. Building Floor Plan dated May 1, 2015
 - d. Building Elevation Plan dated May 1, 2015
 - e. Landscape Plan dated July 6, 2015 (2 sheets)
 - f. Site Lighting Plan dated July 10, 2015
 - g. Engineering Plans dated May 28, 2015 (11 sheets)

COSTS

All costs associated with the review of this proposal will be paid for by the applicant.

RECOMMENDATION

That the Board direct staff to place the Preliminary PUD and Final PUD requests on a regular meeting agenda for approval.

VILLAGE PRESIDENT

P. Sean Michels

VILLAGE ADMINISTRATOR

Brent M. Eichelberger

VILLAGE CLERK

Cynthia Galbreath



COMMUNITY DEVELOPMENT DEPARTMENT

VILLAGE TRUSTEES

Robert Bohler

Kevin Geary

Sean Herron

Mari Johnson

Rick Montalto

David Paluch

R E C O M M E N D A T I O N
PC15-04

TO: Village President and Board of Trustees

FROM: Plan Commission

DATE: Meeting of June 24, 2015

CASE FILE: 15-010 769 N. Heartland Drive PUD

PROPOSAL

The property owner is requesting both a Preliminary Planned Unit Development and a Final Planned Unit Development for a single lot. The existing nonconforming multi-tenant warehouse building and parking lot on Lot 10 of Sugar Grove Research Park is proposed to be expanded with multiple deviations from the zoning requirements.

GENERAL INFORMATION

MEETING DATE: June 24, 2015

PROJECT NAME: 769 N. Heartland Drive PUD

APPLICANT: Monterey Enterprises, LLC

LOCATION: 769 N. Heartland Drive

PARCEL NUMBER(S): 14-08-253-003

PARCEL SIZE: 2.25 acres

CURRENT ZONING: M-1 Limited Manufacturing District

CONTIGUOUS ZONING: NORTH: (across Heartland Drive) B-3 Regional Business District

SOUTH: M-1 Limited Manufacturing District

EAST: M-1 Limited Manufacturing District

WEST: (across Heartland Drive) B-3 Regional Business District and M-1 Limited Manufacturing District

CURRENT LAND USE: Multi-tenant warehouse building

CONTIGUOUS LAND USE: NORTH: (across Heartland Drive) Open / Vacant

SOUTH: Open / Vacant
EAST: American Heartland Bank
WEST: (across Heartland Drive) Open / Vacant, Multi-tenant warehouse building

LAND USE PLAN DESIGNATION: Business Park

CHARACTER OF AREA

The site is one lot within Sugar Grove Research Park, primarily an industrial warehouse subdivision. The lots north of this site (also within Sugar Grove Research Park) are zoned for commercial development. Areas east and west of this northern portion of Sugar Grove Research Park are unincorporated farmed agricultural land.

BACKGROUND & HISTORY

The subject property is Lot 10 of Sugar Grove Research Park. Sugar Grove Research Park was annexed and zoned March 19, 1990. The annexation agreement from the same date specified that the Village's zoning ordinance in effect at the time continue to be used for the length of the agreement. The agreement lasted 20 years. When the annexation agreement expired March 19, 2010 so did the application of the 1990 zoning ordinance. The current zoning ordinance now applies to the subdivision. The subdivision is not in a Planned Unit Development (PUD).

The current building and site improvements on Lot 10 were constructed in 2003 with no Plan Commission or Village Board review (by building permit only). The property was not reviewed by the Plan Commission or Village Board since it is not located in a PUD, nor were variances identified as being needed under the 1990 zoning ordinance.

Both the building permit plans from 2003 and a later concept plan from 2006 show a building addition in approximately the same location as the building addition currently proposed. The property owner had no guarantees of being able to build such an addition, either under the zoning prior to 2010 or since. Building permit plans only permit work to be done at the time (not future work). And the concept plan was not reviewed to any significant extent before the applicant decided not to pursue the expansion in 2006-2007.

Since the current zoning ordinance is generally more restrictive than the zoning ordinance from 1990, the proposed building and site improvements would require many variances as detailed in the Evaluation section below. It would be possible under current zoning to build both a building and parking lot addition (smaller than that proposed) that would not require any variances. However, with this being the only subdivision in the Village where the zoning requirements have changed significantly in recent years and with this site having been partially built in the manner it was, the applicant decided to proceed with the development as proposed.

The development could be accommodated under either multiple variance requests or a single PUD request (with multiple deviations). Staff reviewed both options in consultation with the Village Attorney

and the applicant, and it was determined that the PUD request is the best approach in the case. The PUD request can allow for the construction of the addition in a manner somewhat more consistent with the existing building.

On May 26, 2015, the Village Board authorized issuing an "at-risk foundation permit" to begin construction to begin on this site. At this time, the permit has not yet been issued. On June 16, 2015, the Village Board approved the concurrent (as opposed to consecutive) review of Preliminary and Final Planned Unit Development review for this site.

COMPREHENSIVE PLAN RECOMMENDATIONS

The Comprehensive Plan designates the site as "Business Park". Contiguous properties to the east, south, and west are designated "Business Park". Contiguous property to the north is designated "Corridor Commercial". The proposed use of the building addition is covered under case file 15-011.

EVALUATION & DISCUSSION

Generally, this development is required to conform to the Village of Sugar Grove Zoning Ordinance, including the requirements of the M-1 Limited Manufacturing District. The following evaluation is based on the Zoning and Subdivision Ordinance requirements, Comprehensive Plan guidelines, and the staff reviews.

When a site is partially developed and a significant addition is proposed typical policy is to bring the entire site into conformance with the zoning and subdivision ordinances.

As of the June 24, 2015 Plan Commission meeting, the plans were not revised to address staff comments.

1. Land Use / General – The land use as an industrial warehouse building is a permitted use in the M-1 Limited Manufacturing District.

2. Existing Conditions – There are no existing trees, power lines, historical structures, etc. that would be impacted by the development. There is no existing wetland or floodplain. The existing building and parking lot would be modified where the new additions are proposed.

3. Lots, Easements & Buildings – Lot 10 meets and exceeds minimum lot size and lot width requirements and this will not change with the plan.

The lot coverage table needs to be provided in the Geometric Plan in the format requested previously by staff. Also, the existing pavement and concrete square footage is not provided in the Geometric Plan.

The existing development easily meets the current maximum lot coverage requirement of 75%. However, the proposed lot coverage is 79.37%. A deviation is requested by the applicant. Changes to the plan discussed below may reduce the lot coverage, but a deviation will likely still be requested.

The Village Engineer has requested a Plat of Easement so the water main valves can be included in a Village utility and drainage easement.

The building height is approximately 26 feet and meets the maximum height requirement.

4. Building Setbacks – The existing building meets and exceeds the current building setback requirements.

The proposed addition meets the required minimum building setback of 40 feet along the front (Heartland Drive) at 40.03 feet. However, the proposed addition does not meet the required minimum building setback of 50 feet at the rear of the building at 38.80 feet. A deviation is requested by the applicant.

The 20' front building setback line should be removed from the plan. The 40' front building setback line should be extended across the entire property. The 5' building setback line along the east property line should be corrected to 25'.

5. Parking / Islands / Loading / Drive Aisles – The parking table needs to be provided in the format requested previously by staff. The parking space figures listed in the Geometric Plan are inaccurate.

There are 54 existing parking spaces (including 3 handicap accessible). The existing building requires 48 parking spaces based on existing uses (39) and an assumption of 50% office / 50% warehouse for the two vacant tenant spaces (9). The current parking requirement is met in the existing parking lot.

The proposed addition would require 44 parking spaces for the proposed use (gymnasium).

With the parking lot addition, the plan shows 93 total parking spaces (including 5 handicap accessible). The parking requirement is 92 parking spaces (including 4 handicap accessible). The parking requirement is met.

Although the site has some existing parking islands and more parking islands are included in the parking lot addition, an additional 4 required islands are not shown in the plan. Staff recommends adding one more island in the row of parking closest to the street. Even if that island is added, a deviation is still requested by the applicant.

A single 12' x 60' loading space is not included in the plan. A deviation is requested by the applicant.

The drive aisle at the front of the building is a minimum of 24 feet in width, meeting the requirement for a two-way drive aisle. However, much of the drive aisle (west of the double-loaded parking spaces) is serving very few parking spaces northwest of the building. This portion of the drive aisle should be reduced in width to 16 feet with 60 degree parking spaces and be signed for one-way traffic heading east to decrease the impervious lot coverage.

The new portion of the drive aisle at the rear of the building is a minimum of 17 feet in width and needs to be signed for one-way traffic heading west.

A curb and green space (2 to 3 feet) should be added between the southwest corner of the building and the first parking space so that the pavement is not directly next to the building. Similarly, such an area should be added between the trash enclosure and adjacent parking space. This improves the aesthetics and prevents car door damage.

The curb next to the east end of the parallel parking shall be revised to remove unnecessary pavement.

6. Pavement Setbacks – The existing pavement meets the current pavement setback requirement along the east property line, but not along the front (Heartland Drive) and rear property lines.

The proposed pavement addition does not meet the required minimum pavement setback of 30 feet along Heartland Drive at zero (0) feet. A deviation is requested by the applicant. The proposed pavement addition does not meet the required minimum pavement setback of 15 feet along the rear property line at 5 feet. A deviation is requested by the applicant. The proposed pavement setbacks do not allow for sufficient room to plant the required landscaping, but are similar to the existing pavement setbacks on this site.

The 5' pavement setback line along the east property line should be corrected to 10'.

7. Sidewalk / Path Access – A public sidewalk along Heartland Drive is not included in the plan. A sidewalk is required by the zoning ordinance. The policy of waiving sidewalks for M-1 zoned properties in Sugar Grove Research Park and other industrial parks has been continued by staff. But formally, a deviation is requested by the applicant.

There is a building sidewalk shown at the front of the building. This sidewalk will need to be widened to 7 feet where next to parking spaces to accommodate car overhang.

8. Street Access / Traffic Study – Vehicular access to the site would be provided from the existing driveway and a new driveway along Heartland Drive. The new driveway would not align with the driveway across the street and would be located at the large curve of Heartland Drive.

9. Landscaping – The plan needs to be revised to show the existing landscaping so that all deviations can be accounted for.

Parkway Trees – It is known that the Heartland Drive right-of-way next to this site does not have any parkway trees and therefore the parkway tree requirement is not met. Fifteen (15) parkway trees shall be added to the landscape plan.

Buffer Trees and Shrubs – It is known that there are zero (0) existing buffer trees and shrubs in all three sides and therefore the existing requirements are not met currently. The proposed buffer trees and shrubs are discussed below.

Along the Heartland Drive front property line: The length is 641'. The requirement is 21 shade trees and 128 shrubs. The plan shows 2 shade trees, 3 ornamental trees, and 12 shrubs. A

deviation is requested by the applicant. All proposed trees and shrubs are shown in the one area of the front yard without a 0' pavement setback. This area is about 300 feet in length and is able to accommodate 10 trees and 60 shrubs. The plan should be revised to address, but a deviation will still be needed for the remainder of the front buffer.

Along the south rear property line: The length is 440'. The requirement is 11 shade trees and 66 shrubs. The plan shows 5 shade trees and 0 shrubs. A deviation is requested by the applicant, but may be avoided. The pavement setback on this side is 5'. This is wide enough to plant all required trees and shrubs. The plan should be revised to show all 11 trees and 66 shrubs.

Along the east side property line: The length is 247'. The requirement is 6 shade trees and 37 shrubs. The plan shows 0 shade trees and 0 shrubs. A deviation is requested by the applicant. This yard is a major Nicor utility easement and an argument could be made for not landscaping this yard.

Parking Island Trees – It is known that there is at least one shade tree in an island on the site currently and the parking island tree requirement is not met. There are eleven (11) parking islands (or ends of parking rows) on the plan requiring 11 trees. The plan shows 2 shade trees, 3 ornamental trees, and 19 shrubs. A deviation is requested by the applicant. The ornamental trees should be revised to shade trees and more shade trees can be added on the plan (including the existing one). The plan can be improved, but a deviation will still be needed at least for the island where the existing ground sign is located.

Foundation Plantings – It is known there are 7 trees next to the front foundation of the building. The number of existing shrubs is unknown and needs to be provided. The 400' of building frontage along Heartland Drive requires 20 ornamental trees and 120 shrubs in an 8' wide area. The plan shows 2 ornamental trees and 39 shrubs by the addition. The foundation planting area is not 8' wide as required given the site design. A deviation is requested by the applicant from the quantity and width requirements. No additional landscaping can be added in the foundation area given the site design.

Trash Enclosure / Transformer Plantings – A new trash enclosure and transformer are proposed. Five (5) deciduous shrubs are shown next to one side of the trash enclosure. The plan should be revised to show one 6' evergreen every 5 feet on either side of the combined enclosure and transformer area.

Groundcover is shown as "Lawn" throughout the site and should be revised to read "Sod". There are no larger areas where "Seed" would be more appropriate.

Also, there are "5 GSJ" identified on the plan that are not listed in the tables on both sheets.

10. Architecture – The existing building does not meet building material requirements for the M-1 District which requires 100% of facades facing a public right-of-way and 50% of other facades to be constructed of masonry, brick, stone, decorative concrete block, architectural steel and glass, or precast panels. Less than 50% of the front elevation is split face block, with the remainder being metal siding. Nearly all of the west elevation and the entire rear elevation are metal siding.

The Building Elevation Plan shows the proposed addition to match the existing building materials and colors. A deviation is requested by the applicant.

Roof-top and wall-mounted equipment (HVAC units, flues, meters, etc.) are not shown on the plan and need to be added. Existing roof-top equipment is visible from the rear of the building. All existing and proposed roof-top equipment needs to be screened. Once wall-mounted equipment locations are provided, proper screening will need to be determined.

11. Signage – There is an existing ground sign on site that includes six tenant panels. No ground sign is proposed. Existing unused tenant panels will need to be removed.

There is an existing channel letter wall sign for the dentist. A comprehensive plan for wall signs has not been submitted at this time. Staff will provide direction to the applicant on preparing a comprehensive wall sign plan for the building that conforms to Section 11-14 of the Zoning Ordinance. A sign plan will need to be submitted.

12. Lighting – The photometric plan needs to be revised to show the existing lighting so that a complete review can be provided.

There are several existing pole-mounted lights around the existing parking lot. Information needs to be provided on these (height, color, type of light, etc.). The parking lot lighting will need to match across the site.

There are several existing wall-mounted lights on the building. Information needs to be provided on these (mounting height, color, type of light, etc.). The wall-mounted lighting will need to match across the building. In addition, it is known that the existing wall packs are not shielded to prevent horizontal light. The existing lights will need to be shielded at a minimum.

The plan proposes pulse-start metal halide pole-mount lighting and metal halide wall-mount lighting. The ordinance requires pulse-start metal halide lighting.

The plan shows the foot candles at the property line and maximum foot candles exceeding requirements. The plan should be revised to one lamp per pole and the foot candle requirements shall be met.

The plan needs to be revised to include an elevation detail for the poles. The detail should show the foundation, base, pole, and rectangular style lamp housing. It should be labeled for height and color.

13. Trash – The existing trash enclosure would be removed. A new vinyl fence trash enclosure is proposed at the rear of the building. This will need to be revised to masonry matching the building to be in compliance with Section 11-4-7-K of the Zoning Ordinance.

14. Engineering – EEI reviewed the plans and their review letter is attached. At this time, the plans have not been revised to address the comments.

15. Water supply – The plan shows both the existing 2" domestic service and a new 2" domestic service

at the front of the building connecting to the 12" main along Heartland Drive. The plan also shows both an existing 6" fire service and a new 6" fire service at the rear of the building also connecting to the 12" main along Heartland Drive. This configuration will need to be reviewed by the Building Division, EEI, and the Fire District. Normally, there would be one domestic service and one fire service for one building.

16. Sanitary sewer – The plan shows sanitary sewer service provided from the existing portion of the building to the 18" sanitary main along Heartland Drive.

17. Stormwater management – The existing parking lot includes stormwater lines and existing building downspouts are connected to the lines. The plan shows additional stormwater lines would be installed in the parking lot addition, but does not show the downspouts tied into the lines. The plan will need to be revised. Sugar Grove Research Park includes shared retention ponds nearby.

18. Building / Fire / Police – The Building Division and Fire District comments are not available. However, they will be concerned with handicap accessibility and fire connections initially.

Staff provided a description of the proposed development. The Plan Commission had no further comment. The Plan Commission asked staff to ensure that the plans are revised to address the comments in this section and make any adjustments to the specific deviations as may result from plan revisions prior to Village Board review.

PUBLIC RESPONSE

After due notice, the Plan Commission held a public hearing to consider the proposed amendment. No objectors were present.

RECOMMENDATION

The Plan Commission recommends the Village Board approve the Preliminary PUD and Final PUD for an expansion of the multi-tenant building on Lot 10 of Sugar Grove Research Park (2.25 acres), pursuant to Section 11-11-6 of the Sugar Grove Zoning Ordinance, subject to the following conditions:

1. That the Preliminary PUD and Final PUD shall conform to:
 - a. the Building Floor Plan, titled "Sugar Grove Addition Floor Plan", prepared by Gleason Architects, P.C., Sheet A1, dated May 1, 2015
 - b. the Building Elevation Plan, titled "Sugar Grove Addition Exterior Elevations", prepared by Gleason Architects, P.C., Sheet A5, dated May 1, 2015
 - c. the Site Landscape Plan, titled "Multi-Tenant Office / Warehouse Expansion Landscape Plan", prepared by Gleason Architects, P.C. and Heller & Associates, LLC, Sheet L1.0 and L1.1, dated May 27, 2015
 - d. the Site Photometric Plan, titled "Sugar Grove – Parking Lot Lighting Layout",

prepared by Villa Lighting, Sheet 1 of 1, dated June 1, 2015

- e. the Site Engineering Plans, titled "Proposed Building 2 Expansion", prepared by DJA Civil Engineers & Surveyors, Sheets 1-8 of 8, dated May 28, 2015

except as such plans will be revised to address the reviews and conform to Village codes and ordinances and the conditions below.

2. That the following deviations from the Zoning Ordinance are hereby granted:
 - a. an increase of 4.37% in the maximum impervious lot coverage from a maximum of 75% to a maximum of 79.37%.
 - b. a reduction of 11.2 feet in the minimum rear (south) building setback from a minimum of 50 feet to a minimum of 38.8 feet.
 - c. a reduction of the parking island requirement to that shown on the plan.
 - d. a waiving of the requirement for one (1) 12' x 60' loading space.
 - e. a reduction of 30 feet in the minimum front (north) pavement setback from a minimum of 30 feet to a minimum of zero (0) feet.
 - f. a reduction of 10 feet in the minimum rear (south) pavement setback from a minimum of 15 feet to a minimum of 5 feet.
 - g. a waiving of the requirement to install a sidewalk in the right-of-way adjacent to the site.
 - h. a reduction of 19 shade trees and 116 shrubs in the front (north) yard landscape requirement from 21 shade trees and 128 shrubs to two (2) shade trees, three (3) ornamental trees, and 12 shrubs.
 - i. a reduction of six (6) shade trees and 66 shrubs in the rear (south) yard landscape requirement from 11 shade trees and 66 shrubs to five (5) shade trees and zero (0) shrubs.
 - j. a reduction of six (6) shade trees and 37 shrubs in the side (east) yard landscape requirement from six (6) shade trees and 37 shrubs to zero (0) shade trees and zero (0) shrubs.
 - k. a reduction of the parking island tree requirement to that shown on the plan.
 - l. a reduction of the foundation planting requirement from 20 ornamental trees and 120 shrubs to that shown on the plan.
 - m. a waiver of the building material requirements to allow the building materials for the addition to match the existing building.
3. That the plans are revised prior to Village Board review to address all items in blue in

the Evaluation section.



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ISSUED	DATE
FOR APPROVAL	
FOR PERMIT	
FOR BID	
FOR CONST.	

REVISIONS	DATE
1	
2	
3	

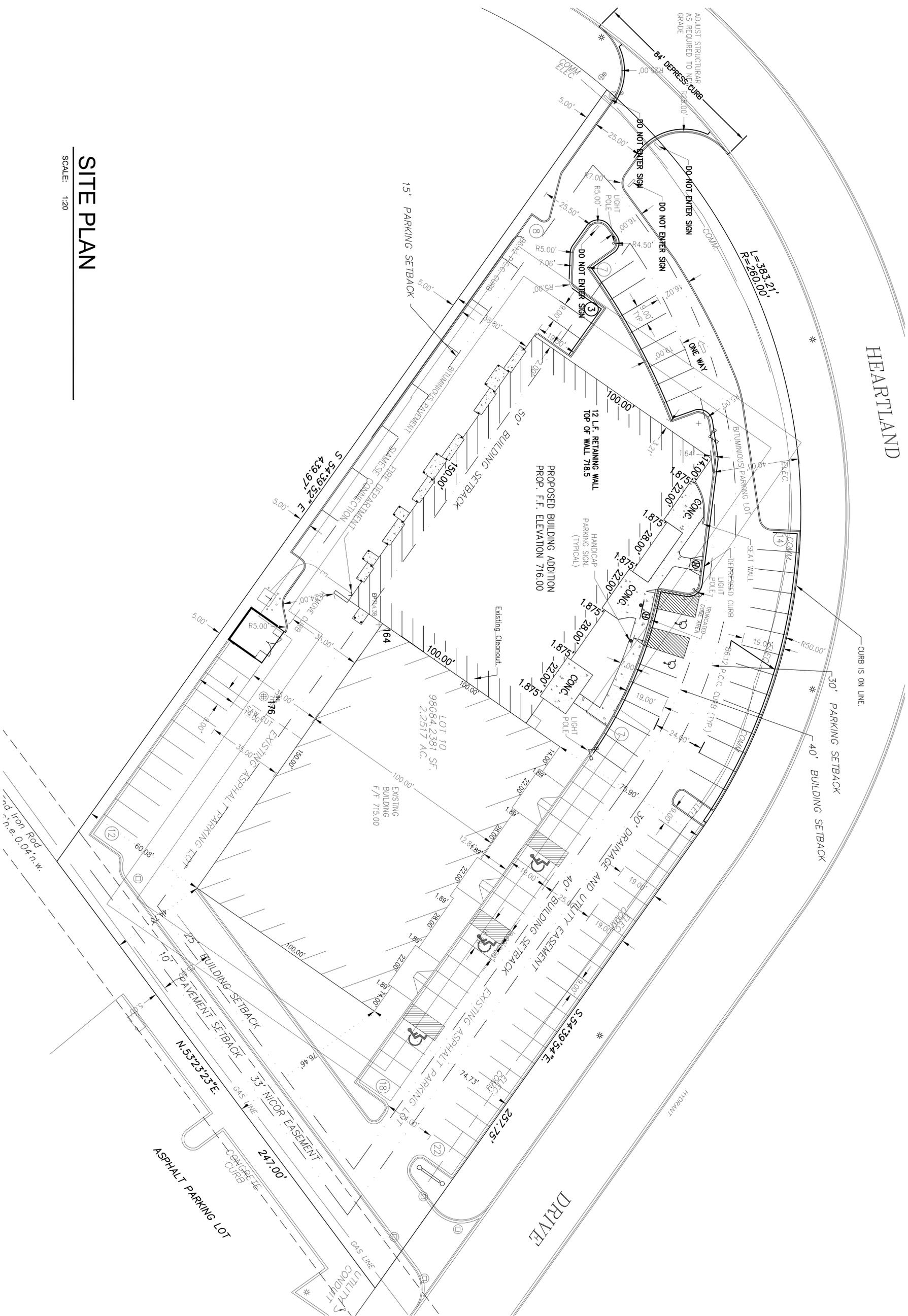
PROJECT:
Sugar Grove Addition
769 HEARTLAND DRIVE
Sugar Grove, IL 60154

CLIENT:
Monterey Enterprises

JOB NO. 15-010
DATE 05/07/15
FILE 0041
PLOT SCALE 1/4"
OWNER APPROVAL

SHEET TITLE
FINAL PLAN

SHEET NUMBER
A0



SITE PLAN

SCALE: 1:20



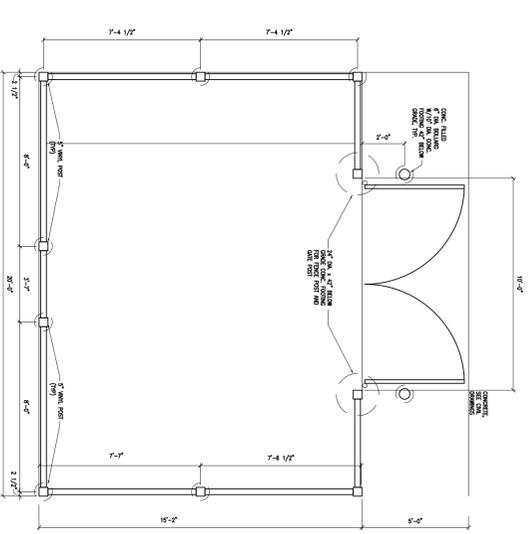
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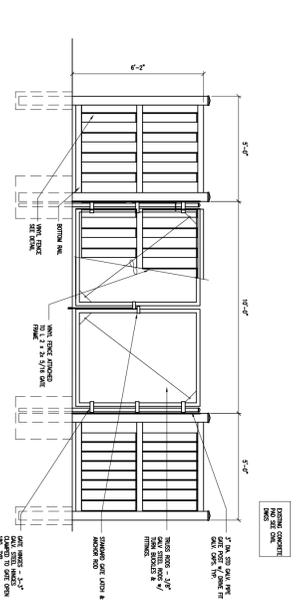
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FOR BID	
FOR CONST.	

REVISIONS	DATE
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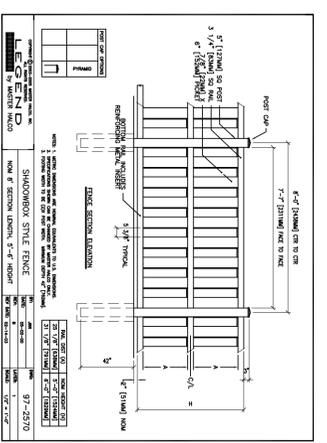
RECONFIGURED ENCLOSURE

SCALE: 1/4"=1'-0"



FENCE DETAIL

SCALE: 1/4"=1'-0"



FENCE DETAIL

SCALE: 1/4"=1'-0"

PROJECT:
Sugar Grove Addition
769 HEARTLAND DRIVE
Sugar Grove, IL 60554

CLIENT:
Monterey Enterprises

JOB NO. 15-010
DATE 05/01/15
FILE 0041
PLOT SCALE 1/4"

OWNER APPROVAL

Signature _____ Title _____

SHEET TITLE
FINAL PLAN

SHEET NUMBER
A0.1



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ISSUED	DATE
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FOR BID	
FOR CONSTR.	

REVISIONS	DATE
1	
2	
3	

PROJECT:
Sugar Grove Addition
769 HEARTLAND DRIVE
Sugar Grove, IL 60554

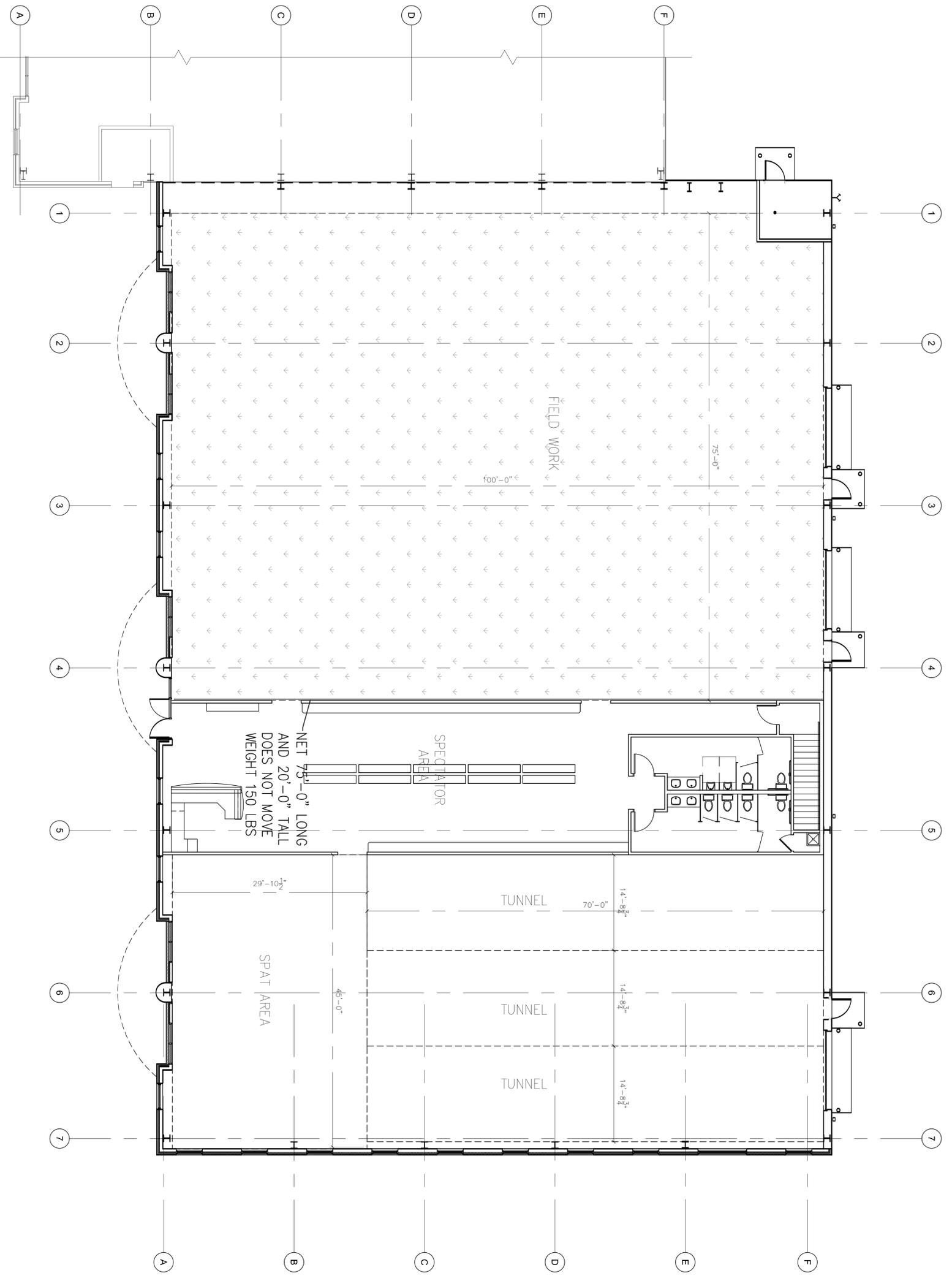
CLIENT:
Monterey Enterprises

JOB NO. 15-010
DATE 05/01/15
FILE 01441
PLOT SCALE 1:1

OWNER APPROVAL:

SHEET TITLE
FLOOR PLAN

SHEET NUMBER
A1



FLOOR PLAN
SCALE: 1/8"=1'-0"



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REVISIONS	DATE
1	
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ISSUED _____ DATE _____

FOR APPROVAL _____ DATE _____

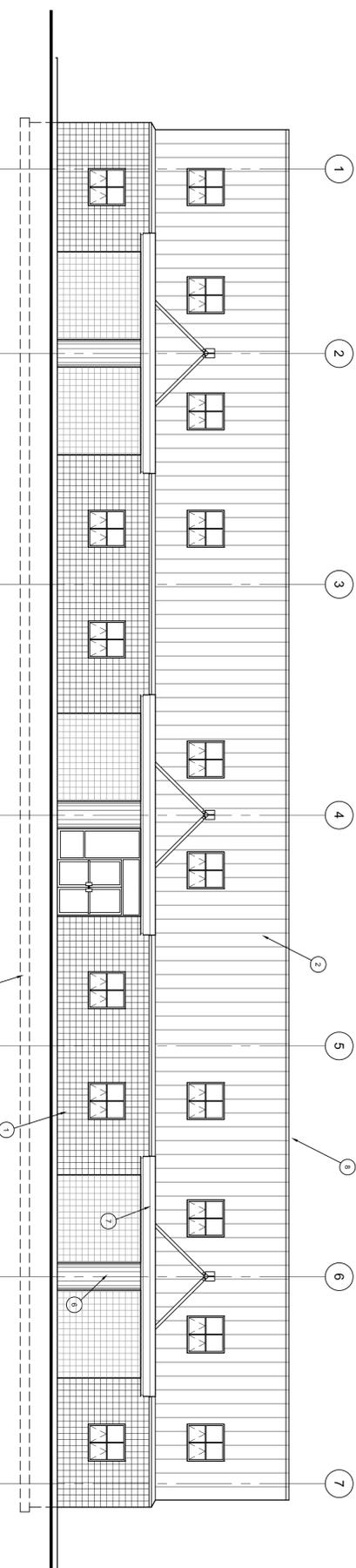
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FOR CONST. _____ DATE _____

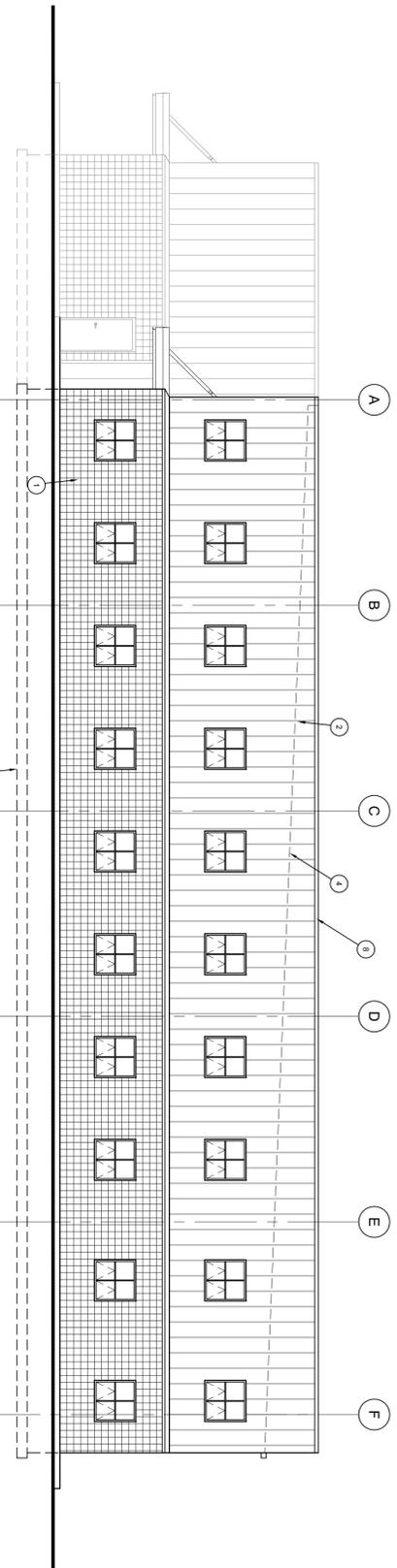
ELEVATION KEY NOTES

- 1 SPLIT FACE SCORED CMU BLOCK TO MATCH EXISTING BUILDING
- 2 METAL SILING WITH STUCCO FINISH COLOR TO MATCH EXISTING BUILDING
- 3 6x8 DOWN SPOUT PRE-FINISHED COLOR TO MATCH BUILDING
- 4 LINE OF ROOF BEYOND
- 5 STOREFRONT FRAMING WITH 1" INSULATED GLASS
- 6 CUSTOM COLUMN COVER TO MATCH EXISTING BUILDING
- 7 CANOPY TO MATCH EXISTING BUILDING
- 8 METAL COPING COLOR TO MATCH EXISTING BUILDING
- 9 6" PRE-FINISHED METAL GUTTER COLOR TO MATCH EXISTING BUILDING
- 10 METAL ROOFING
- 11 FOUNDATION & FOOTING TYPICAL
- 12 OVERHEAD DOOR WITH SAFETY GLASS WINDOWS



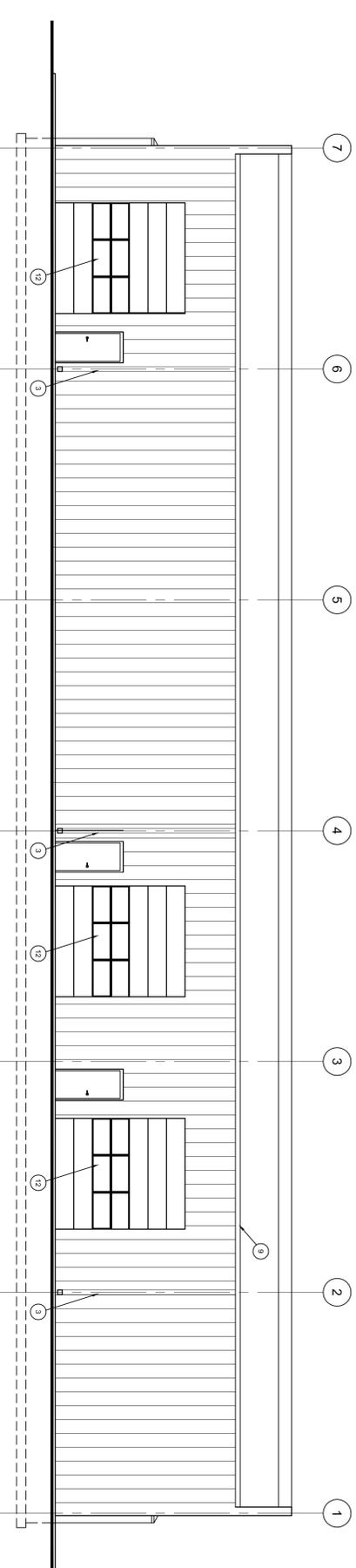
EAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

PROJECT:
Sugar Grove Addition
769 HEARTLAND DRIVE
Sugar Grove, IL 60154

CLIENT:
Monterey Enterprises

JOB NO. 15-010
DATE 05/01/15
FILE 06-46
PLOT SCALE 1/4"
OWNER APPROVAL _____

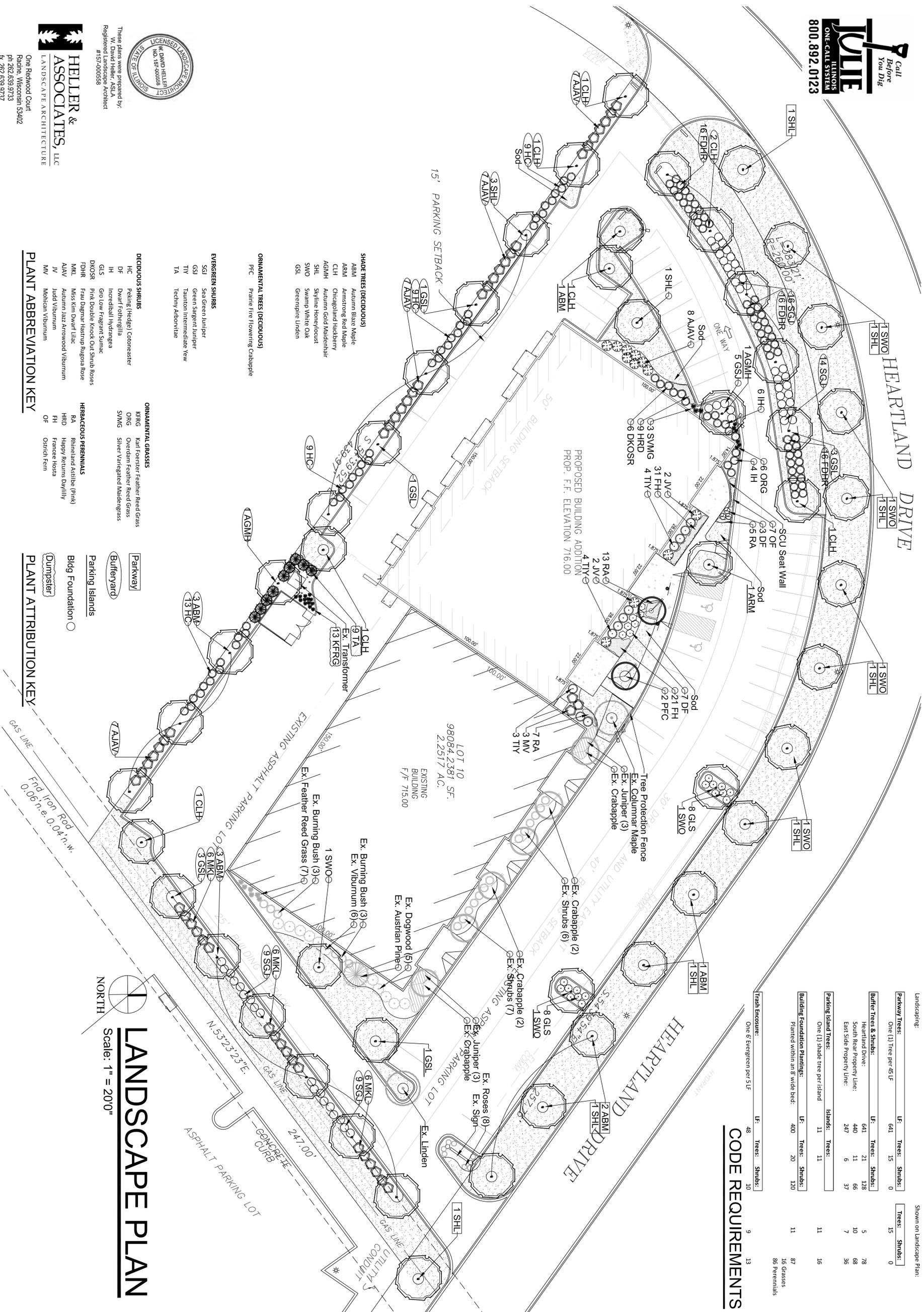
SHEET NUMBER
A5



These plans were prepared by:
W. David Heller, ASLA
Registered Landscape Architect
#157-000558



One Redwood Court
Racine, Wisconsin 53402
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- SHADE TREES (DECIDUOUS)**
- ABM Autumn Blaze Maple
 - ARM Armstrong Red Maple
 - CLH Chicago/Land Hardberry
 - AGMH Autumn Gold Mahonia
 - SHL Skyline Honeylocust
 - SWO Swamp White Oak
 - GSL Greenspire Linden

- ORNAMENTAL TREES (DECIDUOUS)**
- PFC Prairie Fire Flowering Crabapple

- EVERGREEN SHRUBS**
- SGI Sea Green Juniper
 - GSI Green Sargent Juniper
 - TYV Trautman Intermediate Yew
 - TA Techny Arborvitae

- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass
 - ORNG Overdam Feather Reed Grass
 - SVMG Silver Variegated Maiden Grass

- HERBACEOUS PERENNIALS**
- RA Rhineland Astilbe (pink)
 - HRD Happy Returns Daylily
 - FH France Hosta
 - OF Orlisch Fern

- DECIDUOUS SHRUBS**
- HC Peking (Hedge) Cotoneaster
 - DF Dwarf Forsythia
 - IH Incrediball Hydrangea
 - GIS Gro-Low Fragrant Sumac
 - DKOSR Pink Double Knock-Out Shrub Roses
 - FDHR Frau Dagmar Harstrup Rugosa Rose
 - MKL Miss Kim Dwarf Lilac
 - AAV Autumn Jazz Arrowwood Viburnum
 - JV Judd Viburnum
 - MV Mohican Viburnum

- PLANT ABBREVIATION KEY**
- Parkway
 - Bufferyard
 - Parking Islands
 - Bldg Foundation
 - Dumpster

- PLANT ATTRIBUTION KEY**
- Tree
 - Shrub
 - Grass
 - Perennial



LANDSCAPE PLAN

Scale: 1" = 200'

Landscaping:

Item	LF	Trees	Shrubs	Grasses	Perennials
Parkway Trees	641	15	0	15	0
One (1) Tree per 45 LF					
Buffer Trees & Shrubs:					
Heartland Drive:	641	21	125	5	78
South Rear Property Line:	440	11	66	10	68
East Side Property Line:	247	6	37	7	36
Parking Island Trees:					
One (1) shade tree per island	11	11	11	11	16
Building Foundation Plantings:					
Planted within an 8' wide bed:	400	20	120	11	87
Trash Enclosures:					
One 6 Evergreen per 5 LF	48	Trees: 20	Shrubs: 10	9	13

CODE REQUIREMENTS

ISSUED _____ DATE _____
FOR APPROVAL _____
FOR PERMIT _____
FOR BID _____
FOR CONST. _____

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PROJECT: Multi-Tenant Office / Warehouse Expansion
769 Heartland Drive
Sugar Grove, IL 60054

CLIENT: _____

JOB NO. 15-066
DATE 5/27/2015
FILE 07.06.15
PLOT SCALE 1/4" = 1'

OWNER APPROVAL _____

Signature _____ Date _____

SHEET TITLE
LANDSCAPE PLAN
(EXPANSION AREA)

SHEET NUMBER
L1.0

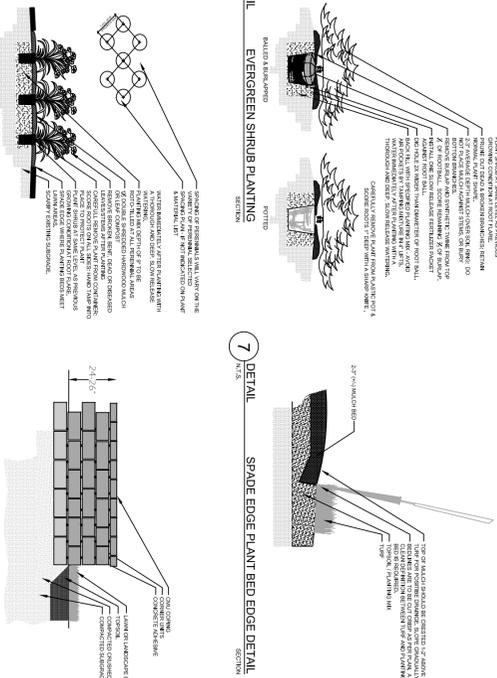


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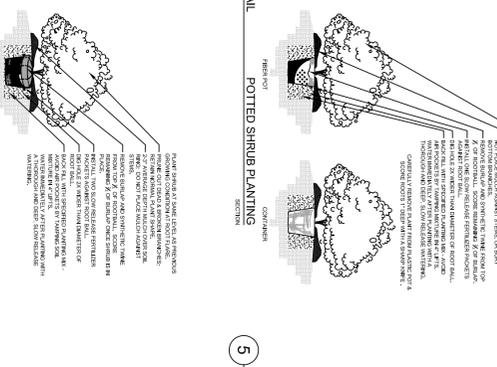
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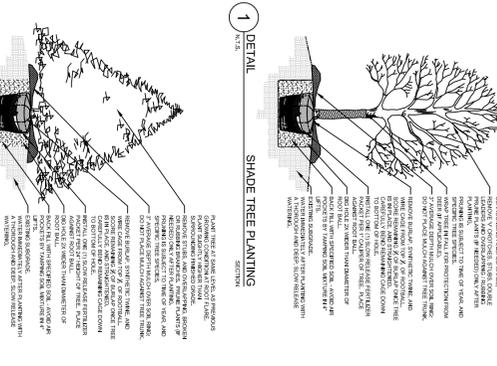
REVISIONS DATE



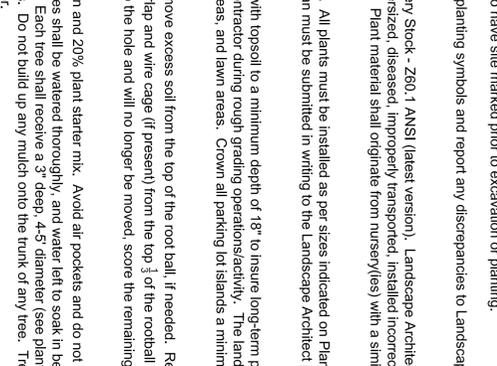
7 DETAIL SPADE EDGE PLANT BED EDGE DETAIL



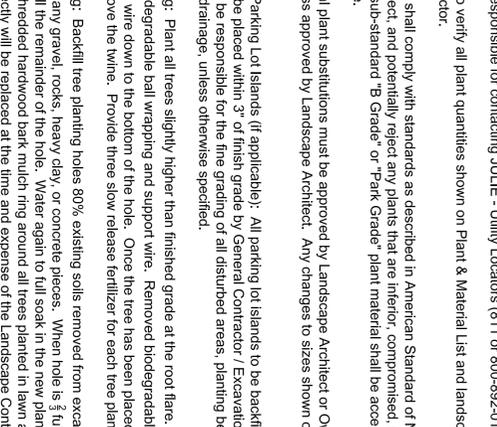
6 DETAIL GROUNDCOVER/PERENNIAL PLANTING



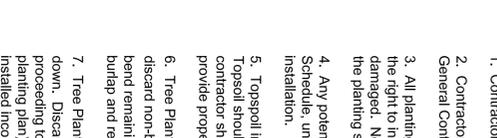
5 DETAIL EVERGREEN SHRUB PLANTING



4 DETAIL DECIDUOUS SHRUB PLANTING



3 DETAIL POTTED SHRUB PLANTING



2 DETAIL EVERGREEN TREE PLANTING

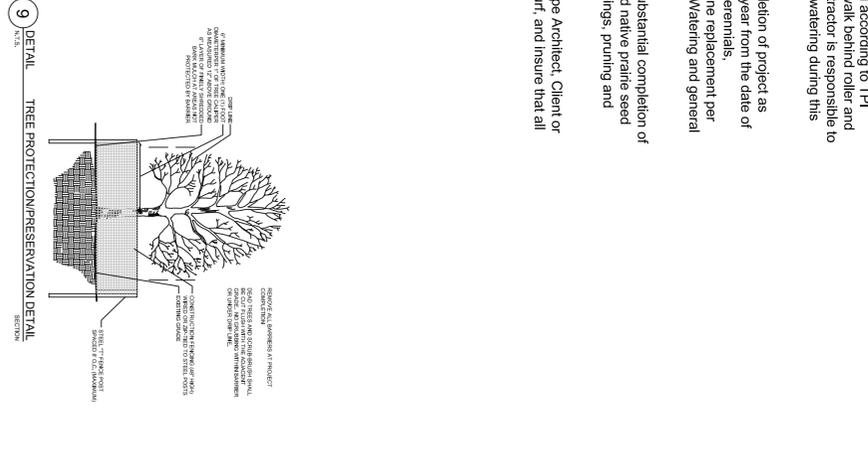


1 DETAIL SHADE TREE PLANTING

PLANTING & HARDSCAPE DETAILS

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME			
SHADE TREES (DECIDUOUS)															
ABW	2	Acer xfreemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5'	888	Straight central leader, full and even crown. Prune only after planting	30-40'								
AMW	9	Acer xfreemanii 'Amstoring'	Amstoring Red Maple	2.5'	888	Straight central leader, full and even crown. Prune only after planting	30-25'								
CEH	8	Chris ocellularis 'Chapelard'	Chapelard Red Maple	2.5'	888	Straight central leader, full and even crown. Prune only after planting	30-25'								
AGWH	2	Crataegus binniana 'Autumn Gold'	Autumn Gold Hawthorn	2.5'	888	Straight central leader, full and even crown. Prune only after planting	30-40'								
SHL	12	Quercus macrocarpa 'Stymie'	Stymie White Oak	2.5'	888	Straight central leader, full and even crown. Prune only after planting	30-40'								
SYO	6	Thuja occidentalis 'Smyrna'	Smyrna White Oak	2.5'	888	Straight central leader, full and even crown. Prune only after planting	30-40'								
GLL	9	Thuja occidentalis 'Greenspire'	Greenspire Linden	2.5'	888	Straight central leader, full and even crown. Prune only after planting	30-40'								
DECIDUOUS TREES (DECIDUOUS)															
PKC	2	Morus x nigra 'Prinzofier'	Prinzofier	6-7'H	888	Well balanced multi-stemmed tree with minimum four canes, and full appearance	20'								
ORNAMENTAL TREES (DECIDUOUS)															
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME
DECIDUOUS SHRUBS															
HC	40	Cornus alternifolia	Peeling (Hedge) Cornus	42"	888	Full, well rounded plant with moist rootball and healthy appearance	30-42"	69'							
DF	30	Fothergilla gardenii	Dwarf Fothergilla	24"	888	Full, well rounded plant with moist rootball and healthy appearance	30"	30'							
IH	30	Hydrangea arborescens 'Abercote'	Incredibly Hydrangea	48"	888	Full, well rounded plant, evenly shaped	48"	48'							
GLS	16	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	42"	888	Full, well rounded plant, evenly shaped	42"	48'							
OKOS	8	Rosa 'Double Knock Out (Pink)'	Pink Double Knock Out Shrub Rose	42"	888	Full, well rounded plant, evenly shaped	42"	48'							
FJHR	48	Rosa rugosa 'Fru Dagmar Hartup'	Fru Dagmar Hartup Rugosa Rose	42"	888	Full, well rounded plant, evenly shaped	42"	48'							
MKL	38	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	24"	888	Full, well rounded plant, evenly shaped	24"	60'							
AAV	36	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Viburnum	42"	888	Full, well rounded plant, evenly shaped	42"	60'							
JV	4	Viburnum yuandii	Judd Viburnum	42"	888	Full, well rounded plant with moist rootball and healthy appearance	60'	60'							
MV	3	Viburnum lantana 'Mehican'	Mehican Viburnum	42"	888	Full, well rounded plant with moist rootball and healthy appearance	60'	72"							
ORNAMENTAL GRASSES															
KRFG	13	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant	18"	18"							
ONG	6	Calamagrostis acutiflora 'Overdam'	Overdam Feather Reed Grass	#1	Cont.	Full, well rooted plant	18"	18"							
SWNG	3	Miscanthus sinensis 'Morning Light'	Silver Variegated Maidengrass	#1	Cont.	Full, well rooted plant	42"	42"							
HERBACEOUS PERENNIALS															
RA	25	Asiaticum arundinaceum 'Rhineland'	Rhineland Asiatic (Pink)	#1	Cont.	Full, well rooted plant, evenly shaped	18"	18"							
HBD	9	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped	18"	18"							
FH	52	Hosta fortunei 'Francee'	Francee Hosta	#1	Cont.	Full, well rooted plant, evenly shaped	24"	18"							
OF	7	Malicoides pernyi/Vanicca	Orchid Fern	#1	Cont.	Full, well rooted plant, evenly shaped	18"	18"							
PLANT MATERIAL PROPOSED															
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	SPECIFICATION / NOTES	PLANT SPACING	MATURE SPREAD							
LANDSCAPE MATERIALS															
LAWN	2500	Lawn Establishment Area / Grading Area													
SOD	2500	Sodded Areas (Identified on plan)													
PLANTING & HARDSCAPE SCHEDULE															
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	UNIT OF MEASURE	SPECIFICATION / NOTES											
SY	37	Fresh cut, weed free Bluegrass Blend Sod, Water immediately after installation	37												
FF	5	Belgian Highbled Stone, or approved equal	5												
U	1	Tree Protection Fence	1												
CY	7,255 SF	Shredded Hardwood Mulch (3" depth)	7,255 SF												
CY	23,005 SF	Soil Amendments (2" depth)	23,005 SF												
CY	142	Pulverized Topsoil (Lawn Area)	142												
CY	7,455 SF	Pulverized Topsoil (2" over bed areas)	7,455 SF												

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED	COMMON NAME	CONTAINER	SIZE	SPECIFICATION / NOTES	PLANT SPACING	MATURE SPREAD
DECIDUOUS SHRUBS								
HC	40	Cornus alternifolia	Peeling (Hedge) Cornus	42"	888	Full, well rounded plant with moist rootball and healthy appearance	30-42"	60'
DF	30	Fothergilla gardenii	Dwarf Fothergilla	24"	888	Full, well rounded plant with moist rootball and healthy appearance	30"	30'
IH	30	Hydrangea arborescens 'Abercote'	Incredibly Hydrangea	48"	888	Full, well rounded plant, evenly shaped	48"	48'
GLS	16	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	42"	888	Full, well rounded plant, evenly shaped	42"	48'
OKOS	8	Rosa 'Double Knock Out (Pink)'	Pink Double Knock Out Shrub Rose	42"	888	Full, well rounded plant, evenly shaped	42"	48'
FJHR	48	Rosa rugosa 'Fru Dagmar Hartup'	Fru Dagmar Hartup Rugosa Rose	42"	888	Full, well rounded plant, evenly shaped	42"	48'
MKL	38	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	24"	888	Full, well rounded plant, evenly shaped	24"	60'
AAV	36	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Viburnum	42"	888	Full, well rounded plant, evenly shaped	42"	60'
JV	4	Viburnum yuandii	Judd Viburnum	42"	888	Full, well rounded plant with moist rootball and healthy appearance	60'	60'
MV	3	Viburnum lantana 'Mehican'	Mehican Viburnum	42"	888	Full, well rounded plant with moist rootball and healthy appearance	60'	72"
ORNAMENTAL GRASSES								
KRFG	13	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant	18"	18"
ONG	6	Calamagrostis acutiflora 'Overdam'	Overdam Feather Reed Grass	#1	Cont.	Full, well rooted plant	18"	18"
SWNG	3	Miscanthus sinensis 'Morning Light'	Silver Variegated Maidengrass	#1	Cont.	Full, well rooted plant	42"	42"
HERBACEOUS PERENNIALS								
RA	25	Asiaticum arundinaceum 'Rhineland'	Rhineland Asiatic (Pink)	#1	Cont.	Full, well rooted plant, evenly shaped	18"	18"
HBD	9	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped	18"	18"
FH	52	Hosta fortunei 'Francee'	Francee Hosta	#1	Cont.	Full, well rooted plant, evenly shaped	24"	18"
OF	7	Malicoides pernyi/Vanicca	Orchid Fern	#1	Cont.	Full, well rooted plant, evenly shaped	18"	18"
PLANT MATERIAL PROPOSED								
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	SPECIFICATION / NOTES	PLANT SPACING	MATURE SPREAD
LANDSCAPE MATERIALS								
LAWN	2500	Lawn Establishment Area / Grading Area						
SOD	2500	Sodded Areas (Identified on plan)						



9 DETAIL TREE PROTECTION/PRESERVATION DETAIL

1. Contractor responsible for contacting JULE - Utility Locators (811 or 800-892-0123) to have site marked prior to excavation or planting.

2. Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.

3. All plantings shall comply with standards as described in American Standard of Nursery Stock - 260.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.

4. Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.

5. Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3' of finish grade by General Contractor / Excavation Contractor during rough grading operations/activities. The Landscape Contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.

6. Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball. If needed, Remove and discard non-biodegradable ball wrapping and support wire. Remove biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide three slow release fertilizer for each tree planted.

7. Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5" diameter (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.

8. Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50% mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) is 3/4 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.

9. Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.

10. Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.

11. Plant bed preparation: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Rotate-fill the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8-10":
 Per 100 SF of bed area:
 3/4 CY Peat Moss or Mushroom Compost
 1/2 CY Blended/Pulverized Topsoil
 2 pounds starter fertilizer
 1/4 CY composted manure

12. Lawn Installation: For all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones 1/2" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly and to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all stable applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.

13. Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.

14. The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, non-turf grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.

15. Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE GENERAL NOTES

HELLER & ASSOCIATES, LLC
 LANDSCAPE ARCHITECTURE

One Redwood Court
 Ridge, Wisconsin 53402
 PH: 262.638.9733
 FX: 262.638.9737
 dave@wvsheller.com

Call Before You Dig
1-800-4-A-TOOL
 ONE-CALL SYSTEM

These plans were prepared by:
 Registered Landscape Architect
 #157-000656

800.892.0123

TREE PROTECTION DETAIL

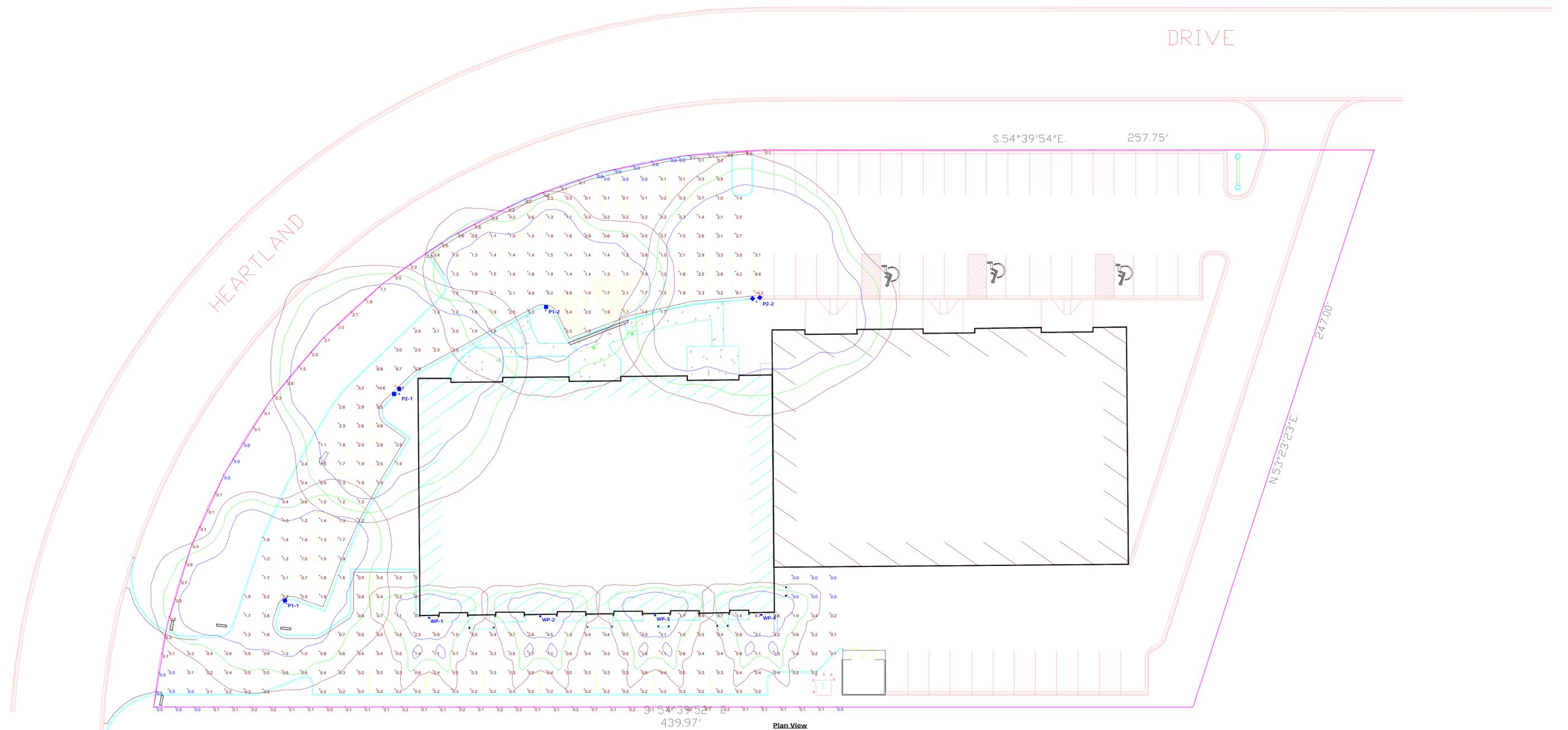
PROJECT: Multi-Tenant Office / Warehouse Expansion
 769 Heartland Drive
 Sugar Grove, IL 60054

CLIENT:

JOB NO. 15-066
 DATE 5/27/2015
 FILE 07.06.15
 PLOT SCALE: 1/4" = 1'-0"
 OWNER APPROVAL

Signature _____ Date _____

SHEET TITLE: LANDSCAPE DETAILS, NOTES & SCHEDULES
 SHEET NUMBER: L1.1



Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Parking Lot Light Levels	+	1.4 fc	14.3 fc	0.0 fc	N/A	N/A	0.1:1
Property Line Light Levels	+	0.3 fc	2.5 fc	0.0 fc	N/A	N/A	0.1:1

Luminaire Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	P1	2	VISIONAIRE LIGHTING	PST-2-T3-150-P-6-BOA6-XX SNTS-4S-11-20-9BC-343-S1-XX	Single Visionaire ParkingStar II Series 150w Pulse Start Metal Halide Area Unit w/Type 3 Distribution (20ft. Mounting Height)	(Qty.1) - 150w PSMH Lamp	1	14000	0.8	208
	P2	2	VISIONAIRE LIGHTING	PST-2-T3-150-P-6-BOA6-XX SNTS-4S-11-20-9BC-343-D9-XX	Double 90D Visionaire ParkingStar II Series 150w Pulse Start Metal Halide Area Unit w/Type 4 Distribution (20ft. Mounting Height)	(Qty.2) - 150w PSMH Lamp	1	14000	0.8	416
	WP	4	ELITE LIGHTING GROUP	OWP-SL-101-MH-100-MVOLT-XX	Elite OWP Series Die-Cast Slimline Series 100w Metal Halide Wallpack Unit (9ft. Fixture Mounting Height)	(Qty.1) - 100w MH Lamp	1	8600	0.65	100

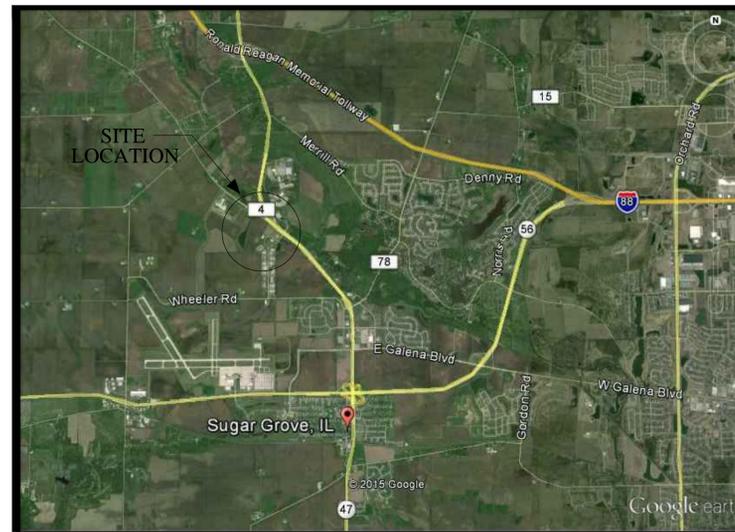
CIVIL ENGINEERING PLANS PROPOSED BUILDING 2 EXPANSION

769 HEARTLAND DRIVE SUGAR GROVE, ILLINOIS

LEGEND

EXISTING		PROPOSED
	CURB & GUTTER	
	WATER MAIN	
	SANITARY SEWER	
	STORM SEWER	
	STORM MANHOLE	
	SANITARY MANHOLE	
	CATCHBASIN	
	INLET	
	VALVE & VAULT	
	VALVE & BOX	
	BUFFALO BOX	
	FIRE HYDRANT	
	FLARED END SECTION	
	HANDICAPPED RAMP	
	SPOT ELEVATION	
	CONTOUR	
	DRAINAGE FLOW	
	CULVERT	
	CONCRETE MONUMENT	
	PARKING SPACE COUNT	
	SURVEY CONTROL POINT	
	ELECTRIC METER	
	ELECTRIC TRANSFORMER	
	LIGHT STANDARD	
	STREET LIGHT	
	TRAFFIC LIGHT	
	POWER POLE	
	SIGN	
	TREE	
	GAS METER	
	GAS VALVE	
	FENCE	
	BURIED UTILITY LINE	
	OVERHEAD UTILITY LINE	

FOR BURIED AND OVERHEAD UTILITIES:
E-ELECTRIC T-TELEPHONE C-COMMUNICATIONS G-GAS



NORTH

SITE LOCATION MAP
NO SCALE

CLIENT:
GLEASON ARCHITECTS, P.C.
HEARTLAND DRIVE, SUITE A
SUGAR GROVE, ILLINOIS

ENGINEER:
DJA CIVIL ENGINEERS & SURVEYORS
DAVE JOHNSON and ASSOCIATES, Ltd.
312 S. Hale Street Wheaton, IL 60187
ph. 630 752 8600 fax. 630 752 9556
www.DJAonline.net

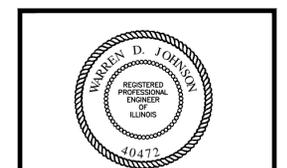
INDEX TO DRAWINGS

0. COVER SHEET
1. DEMOLITION PLAN
2. GEOMETRY PLAN
3. UTILITY PLAN
4. GRADING PLAN
5. EROSION CONTROL PLAN
6. EROSION CONTROL DETAILS
7. DETAILS
8. NOTES
9. FOX METRO DETAILS AND NOTES
10. FOX METRO DETAILS AND NOTES
11. FOX METRO DETAILS AND NOTES

WARNING
CALL JULIE TOLL FREE
1(800)892-0123
OPERATES 24 HOURS A
DAY 365 DAYS A YEAR



CALL
1(800)892-0123
48 HOURS BEFORE
YOU DIG

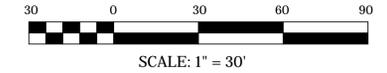


Warren D. Johnson, P.E.
IL. P.E. NO. 40472
Expires November 30, 2015

DATE: JULY 06, 2015

PROPOSED BUILDING 2 EXPANSION

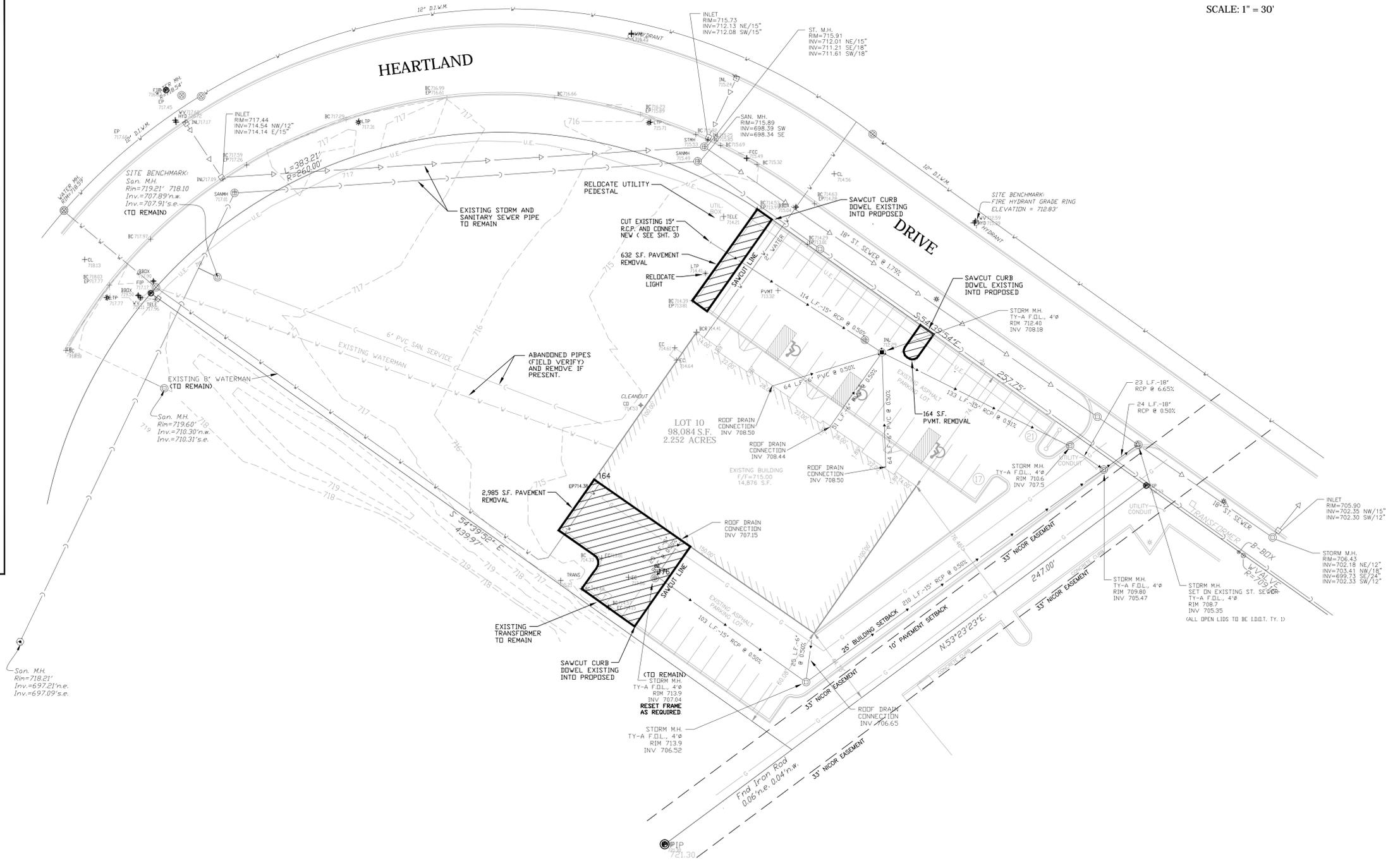
769 HEARTLAND DRIVE SUGAR GROVE, IL.



LEGEND

EXISTING		PROPOSED
	CURB & GUTTER	
	WATER MAIN	
	SANITARY SEWER	
	STORM SEWER	
	STORM MANHOLE	
	SANITARY MANHOLE	
	CATCHBASIN	
	INLET	
	VALVE & VAULT	
	VALVE & BOX	
	BUFFALO BOX	
	FIRE HYDRANT	
	FLARED END SECTION	
	HANDICAPPED RAMP	
	SPOT ELEVATION	
	CONTOUR	
	DRAINAGE FLOW	
	CULVERT	
	CONCRETE MONUMENT	
	PARKING SPACE COUNT	
	SURVEY CONTROL POINT	
	ELECTRIC METER	
	ELECTRIC TRANSFORMER	
	LIGHT STANDARD	
	STREET LIGHT	
	TRAFFIC LIGHT	
	POWER POLE	
	SIGN	
	TREE	
	GAS METER	
	GAS VALVE	
	FENCE	
	BURIED UTILITY LINE	
	OVERHEAD UTILITY LINE	

FOR BURIED AND OVERHEAD UTILITIES:
E-ELECTRIC T-TELEPHONE C-COMMUNICATIONS G-GAS



REVISIONS:			
DATE	BY	DESCRIPTION	

DRAWN BY:	D.J.	DATE:	05-28-15
CHECKED BY:	D.J.	DATE:	05-28-15
APPROVED BY:	D.J.	DATE:	05-28-15
FILE:			

DJA CIVIL ENGINEERS & SURVEYORS
 DAVE JOHNSON and ASSOCIATES, Ltd.
 312 S. Hale Street Wheaton, IL 60187
 ph. 630 752 8600 fax. 630 752 9556
 e-mail: DJA@DJAonline.net

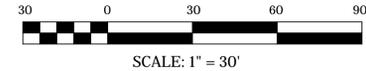
CLIENT: **GLEASON ARCHITECTS, P.C.**
HEARTLAND DRIVE, SUITE A
SUGAR GROVE, ILLINOIS

TITLE: **DEMOLITION PLAN**
BUILDING 2 EXPANSION
769 HEARTLAND DRIVE
SUGAR GROVE, ILLINOIS

SCALE: NONE
 DATE: 05-28-15
 JOB NO: 2481
 SHEET 1 OF 11

PROPOSED BUILDING 2 EXPANSION

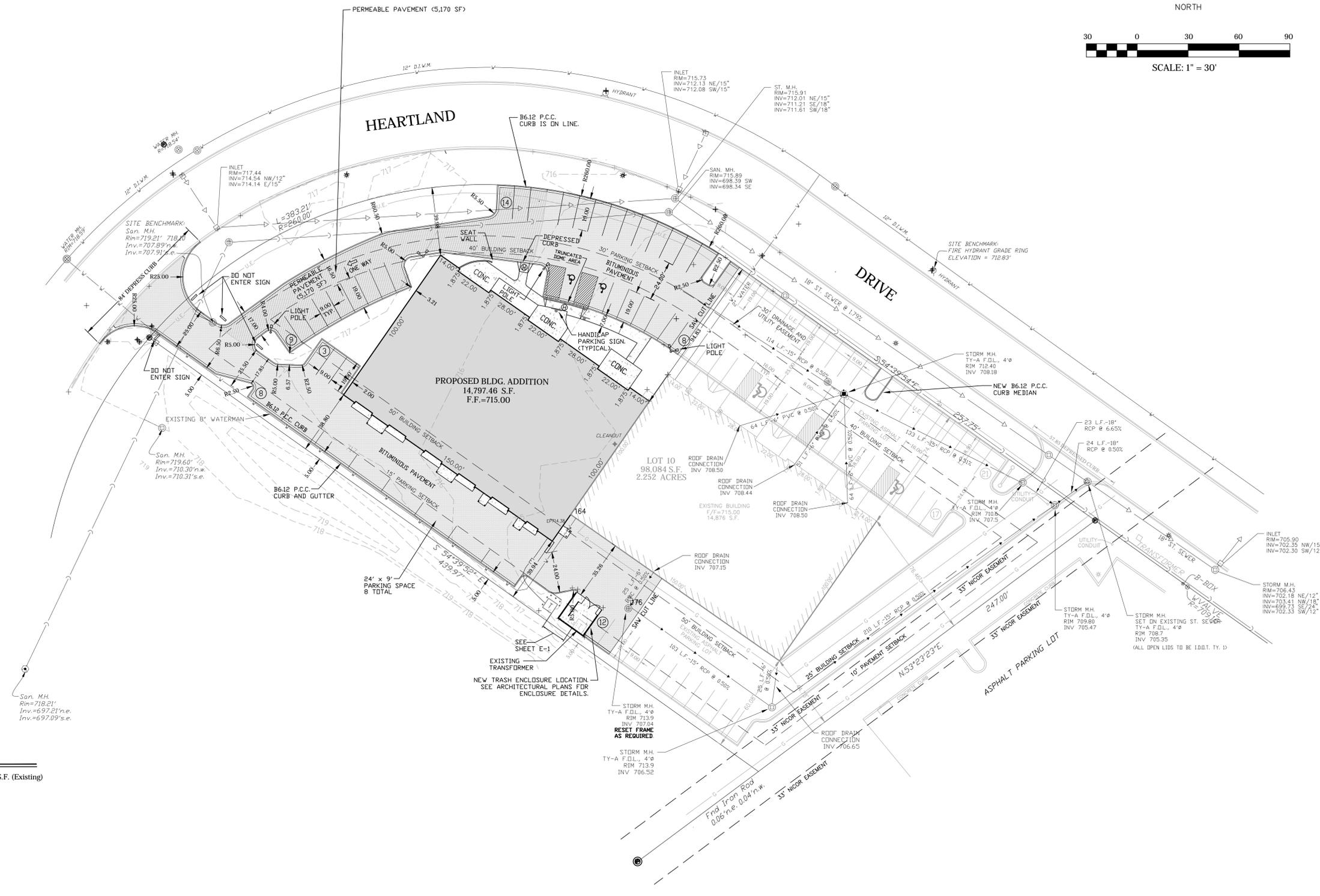
769 HEARTLAND DRIVE SUGAR GROVE, IL.



LEGEND

EXISTING		PROPOSED
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	WATER MAIN	
	SANITARY SEWER	
	STORM SEWER	
	STORM MANHOLE	
	SANITARY MANHOLE	
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	FENCE	
	BURIED UTILITY LINE	
	OVERHEAD UTILITY LINE	

FOR BURIED AND OVERHEAD UTILITIES:
E-ELECTRIC T-TELEPHONE C-COMMUNICATIONS G-GAS



DEVELOPMENT SITE DATA

Parcel Numbers of the subject property: 00-00-000-000	Square footage of site coverage with buildings: 14,797.46 S.F. (New Addition) 14,876 S.F. (Existing)
Current and proposed zoning: 3,617 S.F.	Square footage of pavement and concrete removal: 24,974 S.F.
Categories of proposed land use: Commercial	Square footage of new pavement and concrete: 3,617 S.F.
Size of Subject Property in square feet and acres 98,084 S.F. / 2.252 Acres	Number of existing parking spaces provided: 45 Parallel Spaces 3 Handicapped Space
Number of buildings: 1 (New Addition) / 1 (Existing)	Number of new parking spaces provided: 42 Parallel Spaces 2 Handicapped Space
	Number of total parking spaces: 87 Parallel Spaces 5 Handicapped Space

REVISIONS:					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DRAWN BY:	D.J.	DATE:	05-28-15
CHECKED BY:	D.J.	DATE:	05-28-15
APPROVED BY:	D.J.	DATE:	05-28-15
FILE:			

DJA CIVIL ENGINEERS & SURVEYORS
 DAVE JOHNSON and ASSOCIATES, Ltd.
 312 S. Hale Street Wheaton, IL 60187
 ph. 630 752 8600 fax. 630 752 9556
 e-mail: DJA@DJAonline.net

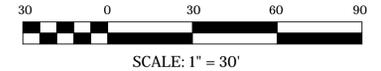
CLIENT: **GLEASON ARCHITECTS, P.C.**
 HEARTLAND DRIVE, SUITE A
 SUGAR GROVE, ILLINOIS

TITLE: **GEOMETRIC PLAN
 BUILDING 2 EXPANSION
 769 HEARTLAND DRIVE
 SUGAR GROVE, ILLINOIS**

SCALE: NONE
 DATE: 05-28-15
 JOB NO: 2481
 SHEET 2 of 11

PROPOSED BUILDING 2 EXPANSION

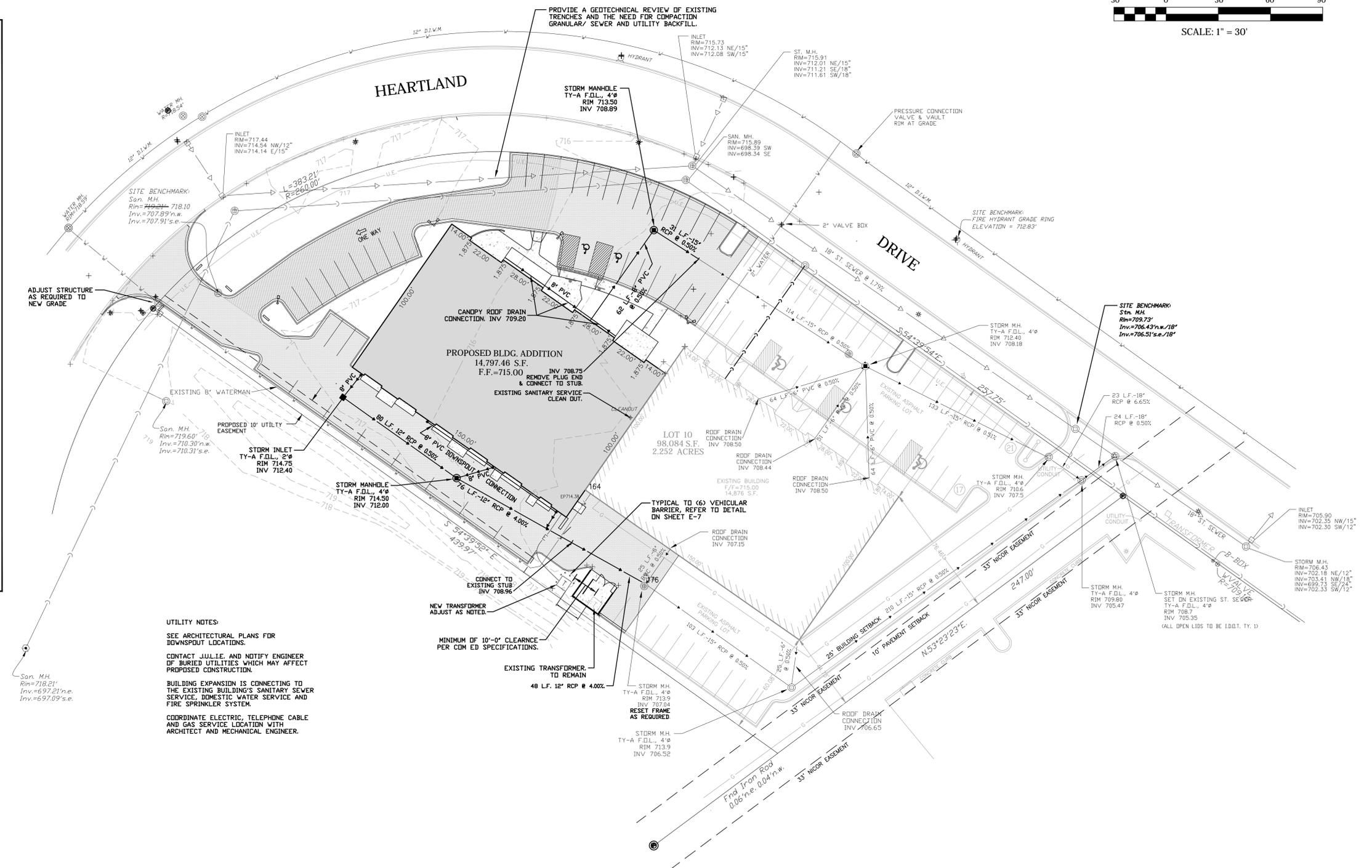
769 HEARTLAND DRIVE SUGAR GROVE, IL.



LEGEND

EXISTING		PROPOSED
	CURB & GUTTER	
	WATER MAIN	
	SANITARY SEWER	
	STORM SEWER	
	STORM MANHOLE	
	SANITARY MANHOLE	
	CATCHBASIN	
	INLET	
	VALVE & VAULT	
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	POWER POLE	
	SIGN	
	TREE	
	GAS METER	
	GAS VALVE	
	FENCE	
	BURIED UTILITY LINE	
	OVERHEAD UTILITY LINE	

FOR BURIED AND OVERHEAD UTILITIES:
E-ELECTRIC T-TELEPHONE C-COMMUNICATIONS G-GAS

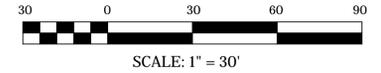


UTILITY NOTES:
SEE ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS.
CONTACT J.U.L.I.E. AND NOTIFY ENGINEER OF BURIED UTILITIES WHICH MAY AFFECT PROPOSED CONSTRUCTION.
BUILDING EXPANSION IS CONNECTING TO THE EXISTING BUILDING'S SANITARY SEWER SERVICE, DOMESTIC WATER SERVICE AND FIRE SPRINKLER SYSTEM.
COORDINATE ELECTRIC, TELEPHONE CABLE AND GAS SERVICE LOCATION WITH ARCHITECT AND MECHANICAL ENGINEER.

REVISIONS: <table border="1"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>				DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION							DRAWN BY: D.J. DATE: 05-28-15 CHECKED BY: D.J. DATE: 05-28-15 APPROVED BY: D.J. DATE: 05-28-15 FILE:		DJA CIVIL ENGINEERS & SURVEYORS DAVE JOHNSON AND ASSOCIATES, Ltd. 312 S. Hale Street Wheaton, IL 60187 ph. 630 752 8600 fax. 630 752 9556 e-mail: DJA@DJAonline.net		CLIENT: GLEASON ARCHITECTS, P.C. HEARTLAND DRIVE, SUITE A SUGAR GROVE, ILLINOIS		TITLE: UTILITY PLAN BUILDING 2 EXPANSION 769 HEARTLAND DRIVE SUGAR GROVE, ILLINOIS		SCALE: NONE DATE: 05-28-15 JOB NO: 2481 SHEET 3 OF 11	
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION																				

PROPOSED BUILDING 2 EXPANSION

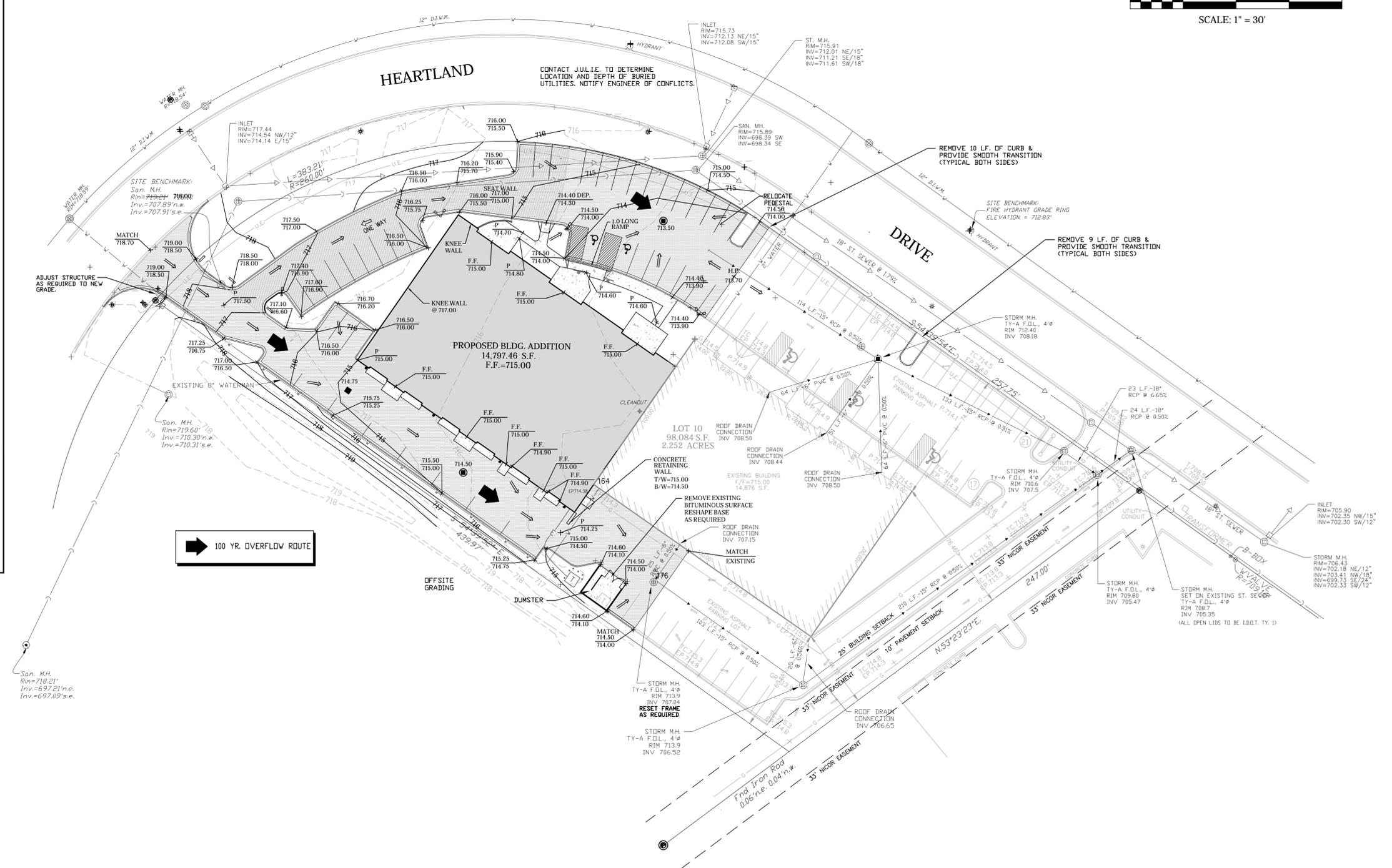
769 HEARTLAND DRIVE SUGAR GROVE, IL.



LEGEND

EXISTING	PROPOSED

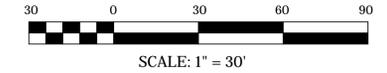
FOR BURIED AND OVERHEAD UTILITIES:
E-ELECTRIC T-TELEPHONE C-COMMUNICATIONS G-GAS



REVISIONS:		DRAWN BY: D.J.	DATE: 05-28-15	DJA CIVIL ENGINEERS & SURVEYORS	CLIENT: GLEASON ARCHITECTS, P.C.	TITLE: GRADING PLAN	SCALE: NONE
DATE:	BY:	CHECKED BY: D.J.	DATE: 05-28-15	DAVE JOHNSON and ASSOCIATES, Ltd.	769 HEARTLAND DRIVE	BUILDING 2 EXPANSION	DATE: 05-28-15
		APPROVED BY: D.J.	DATE: 05-28-15	312 S. Hale Street Wheaton, IL 60187	SUGAR GROVE, ILLINOIS	769 HEARTLAND DRIVE	JOB NO: 2481
		FILE:		ph. 630 752 8600 fax. 630 752 9556		SUGAR GROVE, ILLINOIS	SHEET 4 OF 11
				e-mail: DJA@DJAonline.net			

PROPOSED BUILDING 2 EXPANSION

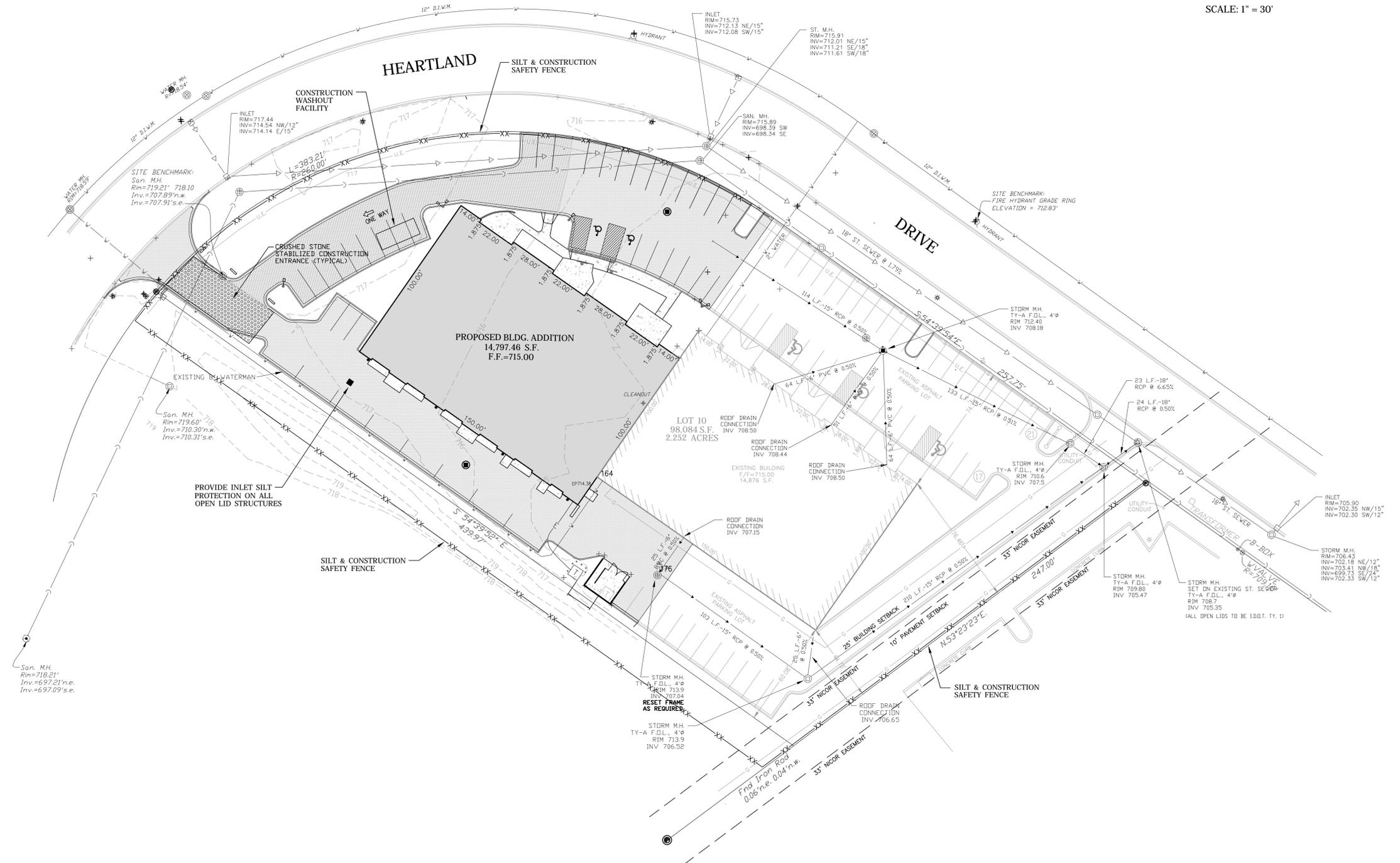
769 HEARTLAND DRIVE SUGAR GROVE, IL.



LEGEND

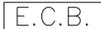
EXISTING		PROPOSED
	CURB & GUTTER	
	WATER MAIN	
	SANITARY SEWER	
	STORM SEWER	
	STORM MANHOLE	
	SANITARY MANHOLE	
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	OVERHEAD UTILITY LINE	

FOR BURIED AND OVERHEAD UTILITIES:
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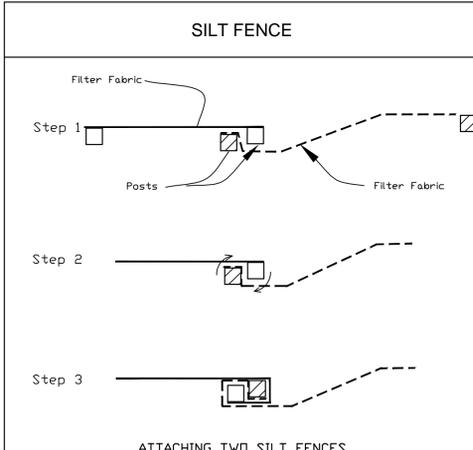


REVISIONS: DATE BY DESCRIPTION DATE BY DESCRIPTION				DRAWN BY: D.J. DATE: 05-28-15 CHECKED BY: D.J. DATE: 05-28-15 APPROVED BY: D.J. DATE: 05-28-15 FILE:		DJA CIVIL ENGINEERS & SURVEYORS DAVE JOHNSON and ASSOCIATES, Ltd. 312 S. Hale Street Wheaton, IL 60187 ph. 630 752 8600 fax. 630 752 9556 e-mail: DJA@DJAonline.net		CLIENT: GLEASON ARCHITECTS, P.C. HEARTLAND DRIVE, SUITE A SUGAR GROVE, ILLINOIS		TITLE: EROSION CONTROL PLAN BUILDING 2 EXPANSION 769 HEARTLAND DRIVE SUGAR GROVE, ILLINOIS		SCALE: NONE DATE: 05-28-15 JOB NO: 2481 SHEET 5 OF 11	
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LEGEND

-  EROSION CONTROL BLANKET NORTH AMERICAN GREEN S-150 OR EQUAL ON ALL SLOPES OF 4:1 OR GREATER
-  CONST. ENTRANCE
-  INLET PROTECTOR
-  SILT FENCE

- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENT AS DETERMINED BY THE VILLAGE.
- THE CONTRACTOR SHALL PROVIDE EROSION CONTROL AS INDICATED ON THE PLANS AND REQUIRED BY THE VILLAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL MEASURES & RECORD KEEPING AS REQUIRED BY THE VILLAGE.
- IN AREAS WHERE WORK IS COMPLETE, PERMANENT STABILIZATION SHALL OCCUR WITHIN 14 DAYS OF COMPLETION, AND IN AREAS WHERE WORK HAS TEMPORARILY CEASED FOR 15 DAYS OR MORE, TEMPORARY STABILIZATION SHALL OCCUR BY THE 14TH DAY AFTER WORK HAS CEASED.
- STOCKPILES OF SOIL OR OTHER BUILDING MATERIALS TO REMAIN IN PLACE MORE THAN 3 DAYS SHALL BE FURNISHED WITH EROSION AND SEDIMENT CONTROL MEASURES (i.e. PERIMETER SILT FENCE), STOCKPILES TO REMAIN IN PLACE MORE THAN 30 DAYS OR MORE SHALL RECEIVE TEMPORARY STABILIZATION.
- DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS, DEWATERING DIRECTLY INTO FIELD TILES, THE WETLAND, OR STRUCTURES IS PROHIBITED.
- SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
- ALL STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED, BY AN SEDIMENT CONTROL MEASURE.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- A STABILIZED MAT OF AGGREGATE UNDERLAIN WITH FILTER CLOTH (OR OTHER APPROPRIATE MEASURE) SHALL BE LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT-OF WAY, STREET, ALLEY OR PARKING AREA. ANY SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. DISCHARGES SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE (e.g. SEDIMENT TRAP, SEDIMENT BASIN, OR OTHER APPROPRIATE MEASURE).
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE MINIMUM REQUIREMENTS, ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY.
- SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON THE SITE.
- STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.
- ALL TRUCKS SHALL UTILIZE THE TRUCK WASHOFF AREA TO REMOVE DIRT AND DEBRIS PRIOR TO EXITING THE SITE.
- ANY SOIL, MUD OR DEBRIS WASHED, TRACKED, OR DEPOSITED ONTO THE STREET SHALL BE IMMEDIATELY REMOVED.

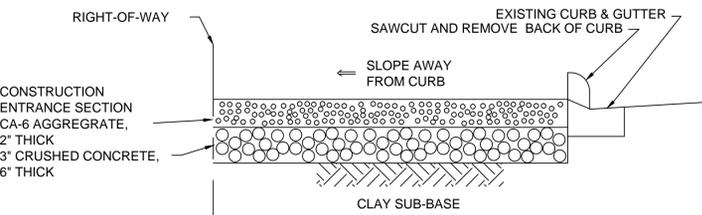


- NOTES:**
- Place the end post of the second fence inside the end post of the first fence.
 - Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
 - Drive both posts a minimum of 18 inches into the ground and bury the flap.

REFERENCE	STANDARD DWG. NO.
Project	IL-620(W)
Designed	
Checked	
Approved	



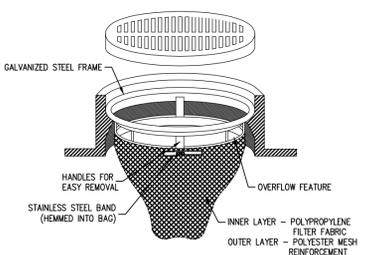
DATE: 1-29-99



CONSTRUCTION ENTRANCE SHALL BE 30' WIDE BY 30' LONG

CONSTRUCTION ENTRANCE DETAIL

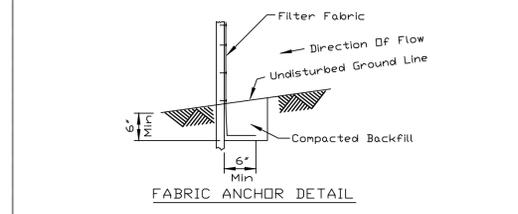
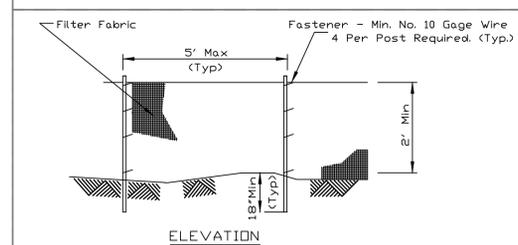
N.T.S.



CATCH-ALL INLET PROTECTOR

FOR ROUND, RECTANGULAR, BEEHIVE OR ROLL TYPE CURB INLETS

SILT FENCE PLAN

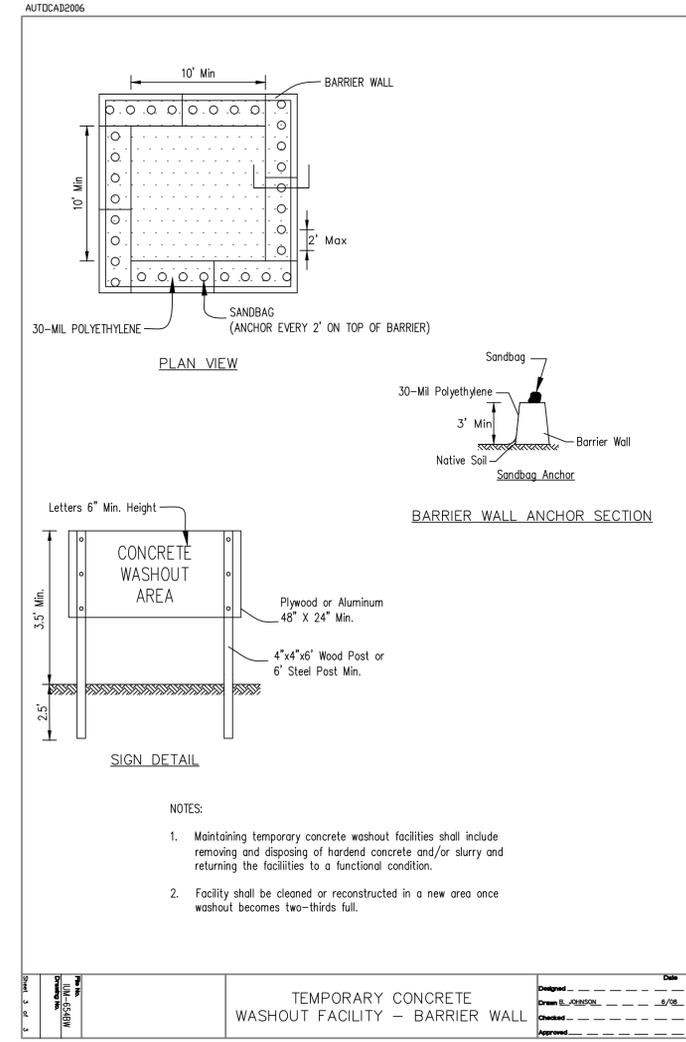


- NOTES:**
- Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
 - Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 50 for woven.
 - Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

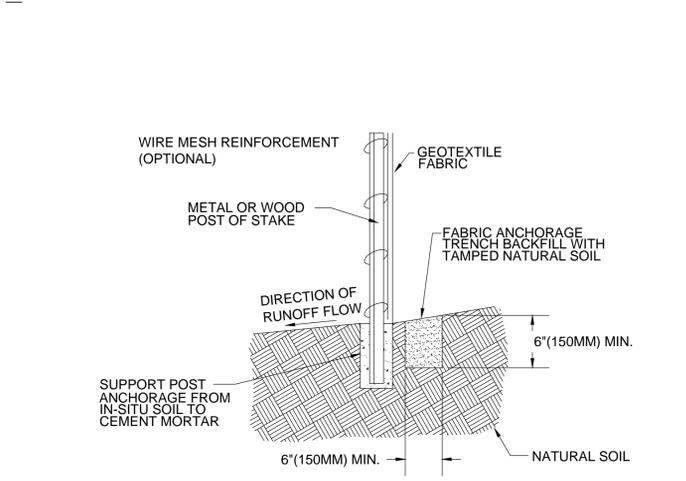
REFERENCE	STANDARD DWG. NO.
Project	IL-620
Designed	
Checked	
Approved	



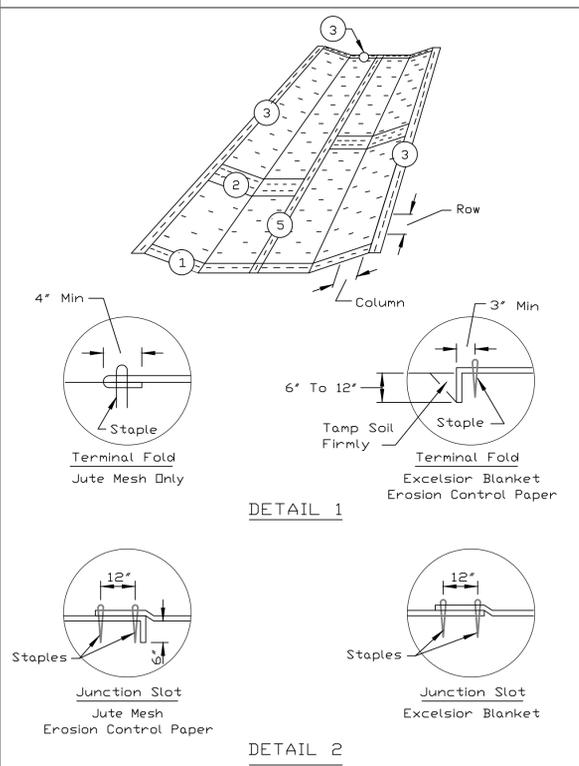
DATE: 11-20-01



DESIGNED	DATE
DRAWN	DATE
CHECKED	DATE
APPROVED	DATE



EROSION BLANKET PLAN

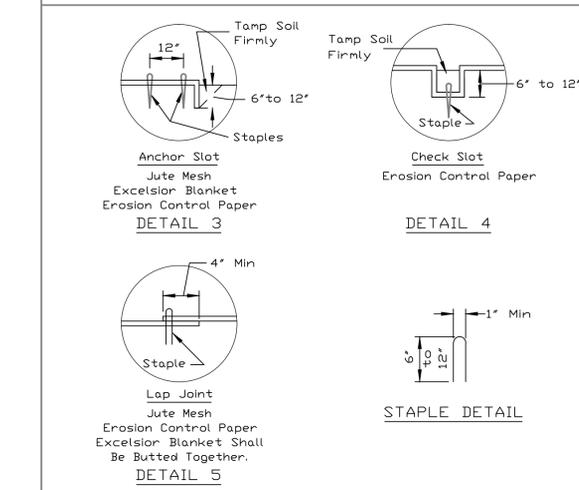


REFERENCE	STANDARD DWG. NO.
Project	IL-530
Designed	
Checked	
Approved	



DATE: 5-24-94

EROSION BLANKET PLAN



- NOTES:**
- On erosion control paper, check slots, in ditch channel shall be spaced so that one occurs within each 50' on slopes of more than 4% and less than 6%. On slopes of 6% or more, they shall be spaced so that one occurs within each 25'.
 - Staples are to be placed alternately, in columns approximately 2' apart and in rows approximately 3' apart. Approximately 175 staples are required per 4'x 225' roll of material and 125 staples are required per 4'x 150' roll of material.
 - Erosion control material shall be placed loosely over ground surface. Do not stretch.
 - All terminal ends and transverse laps shall be stapled at approximately 12" intervals.

REFERENCE	STANDARD DWG. NO.
Project	IL-530
Designed	
Checked	
Approved	



DATE: 3-1-95

REVISIONS:	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DRAWN BY:	D.J.	DATE:	05-28-15
CHECKED BY:	D.J.	DATE:	05-28-15
APPROVED BY:	D.J.	DATE:	05-28-15
FILE:			

DJA CIVIL ENGINEERS & SURVEYORS

DAVE JOHNSON and ASSOCIATES, Ltd.

312 S. Hale Street Wheaton, IL 60187

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e-mail: DJA@DJAonline.net

CLIENT:

GLEASON ARCHITECTS, P.C.

HEARTLAND DRIVE, SUITE A

SUGAR GROVE, ILLINOIS

TITLE:

EROSION CONTROL DETAILS

BUILDING 2 EXPANSION

769 HEARTLAND DRIVE

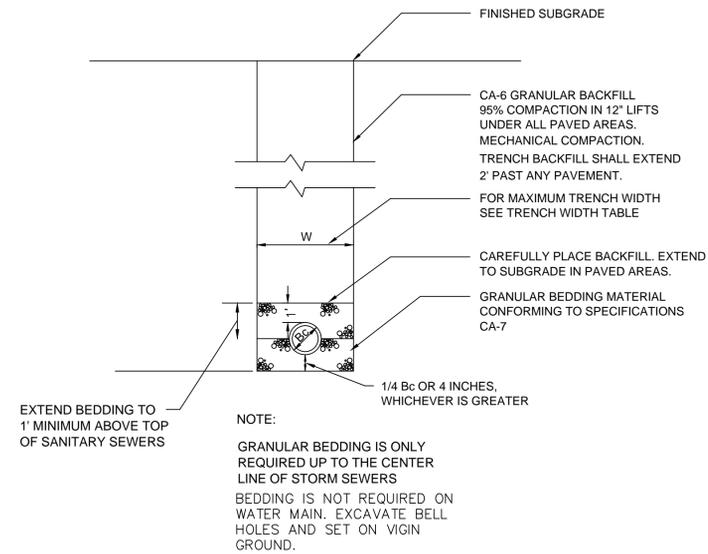
SUGAR GROVE, ILLINOIS

SCALE: NONE

DATE: 05-28-15

JOB NO: 2481

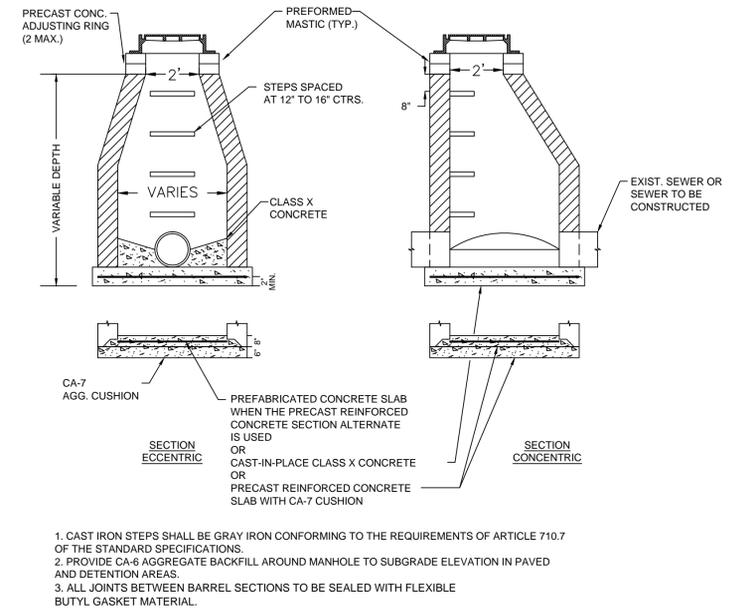
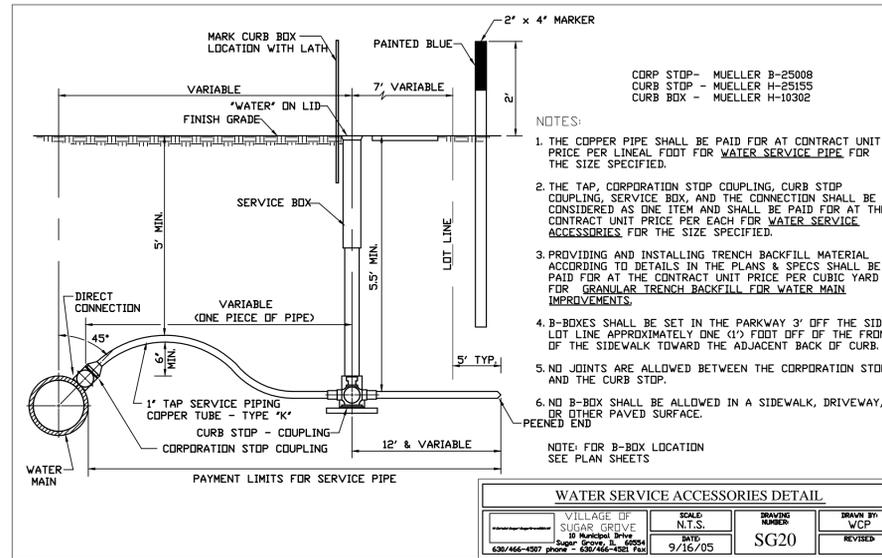
SHEET 6 OF 11



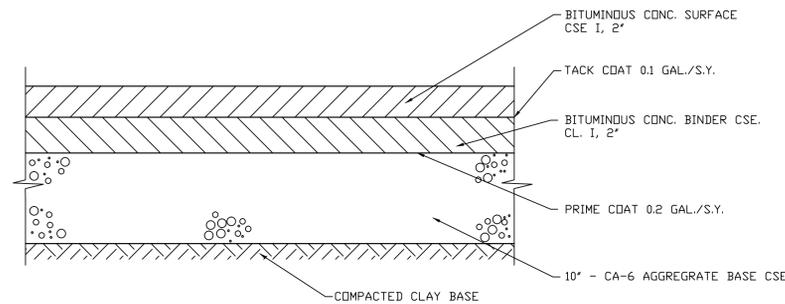
TRENCH DETAIL
N.T.S.

INSIDE PIPE DIAMETER	MAXIMUM TRENCH WIDTH AT TOP OF PIPE (W)	GRANULAR TRENCH BACKFILL CY/FT OF DEPTH (W/27)
6"	3'-2"	0.117
12"	3'-4"	0.12

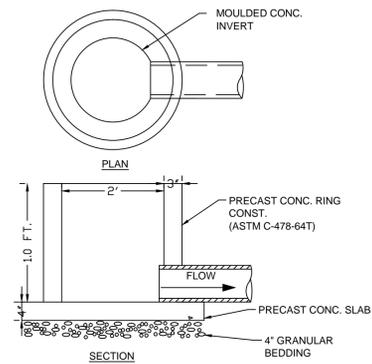
TRENCH WIDTH TABLE



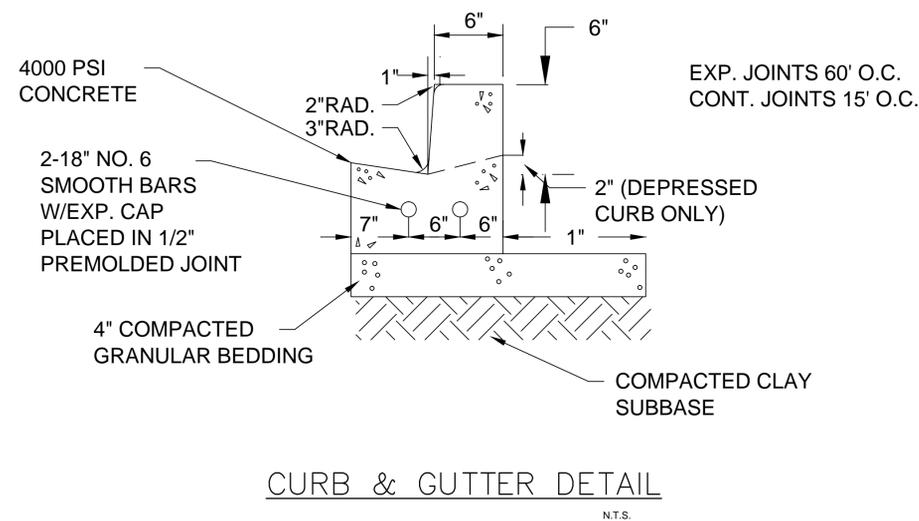
STORM MANHOLE
N.T.S.



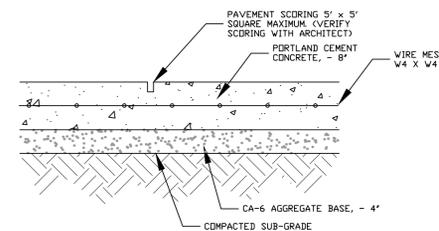
BITUMINOUS PAVEMENT DETAIL
N.T.S.



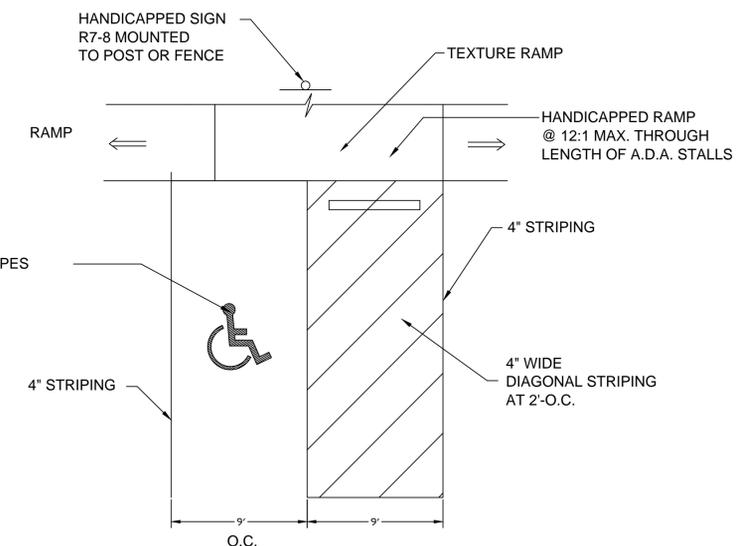
INLET TYPE "A"
N.T.S.



CURB & GUTTER DETAIL
N.T.S.



CONCRETE PAVING AND DUMPSTER PAD SECTION
N.T.S.



REVISIONS:					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DRAWN BY:	D.J.	DATE:	05-28-15
CHECKED BY:	D.J.	DATE:	05-28-15
APPROVED BY:	D.J.	DATE:	05-28-15
FILE:			

DJA CIVIL ENGINEERS & SURVEYORS
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312 S. Hale Street Wheaton, IL 60187
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e-mail: DJA@DJAonline.net

CLIENT: GLEASON ARCHITECTS, P.C.
HEARTLAND DRIVE, SUITE A
SUGAR GROVE, ILLINOIS

TITLE: DETAILS
BUILDING 2 EXPANSION
769 HEARTLAND DRIVE
SUGAR GROVE, ILLINOIS

SCALE: NONE
DATE: 05-28-15
JOB NO: 2481
SHEET 7 OF 11

VILLAGE OF SUGAR GROVE WATER MAIN CONSTRUCTION

All water main construction shall be in accordance with the "Standard Specifications for Water and Sewer Main Construction in Illinois", latest edition and revisions thereto, these improvement plans and details, special provisions and in accordance with codes and ordinances of the Village of Sugar Grove, Illinois. In case of conflict with Village codes, drawings, and these standard notes, the Village Engineer shall be contacted to confirm which is correct.

All water main shall be Ductile Iron Pipe Class 52 with either mechanical or push-on joints and shall conform to ANSI A21.51, AWWA C151 and ANSI A21.11, AWWA C111. Pipe shall be manufactured in the United States.

All fittings shall be Compact Ductile Iron and shall conform to ANSI/AWWA C153/A21.53-54. Fittings shall be UL Listed Class 350, Tyler, Griffin or approved equal. Fittings shall be manufactured in the United States.

All pipe and fittings shall be cement lined in accordance with ANSI/AWWA C104/A21.4.

All fittings shall be mechanical joint and installed with retainer glands unless otherwise shown on the drawings.

Long radius curves, either horizontal or vertical, may be laid with standard pipe by deflections at the joints. Maximum deflections at pipe joints and laying radius for the various pipe lengths shall be in accordance with ANSI/AWWA C200. When rubber gasketed pipe is laid on a curve, the pipe shall be jointed in a straight alignment and then deflected to the curved alignment. Trenches shall be made wider on curves for this purpose.

Sleeves shall be Rockwell D.1 Coupling Type 441 or equal. Sleeves shall be provided at locations shown on the plans or as required. The cost of sleeves is considered as incidental to the cost of the project.

All gate valves shall have a non-rising stem, shall have a standard operating nut and shall open in a counter-clockwise direction. Gate valves shall conform to American Flow Control Ductile Iron Resilient Wedge Gate Valves in accordance with AWWA C-509-80 Standard. All gate valves shall be installed in valve vaults.

All Valve Boxes shall be heavy wall high density polyethylene American Flow Control Trench Adapters. Lids to be marked "Water" valve box extensions if required are considered incidental. Open graded (C4-7) limestone shall be utilized to backfill around the operating nut on all valve boxes to prevent mud from penetrating the valve boxes.

All hydrants shall be in accordance with Section Four (4) of AWWA C502-54 standard and shall be an American Flow Control/Waterous Pacer Model No. WB-87-250 (break away style traffic design) with one 1/2" steamer nozzle and two 2 1/2" hose outlets, of which the threads conform with the standards of the Village of Sugar Grove, Illinois. All hydrants shall have an auxiliary gate valve. Hydrant installations shall have 5.5' depth of cover. Fire hydrants shall be placed 3' foot from the back of curb to the center of the hydrant, or where there is no curb and gutter, the face of the pumper nozzle shall be located five feet (5') from the paved road edge. Center line of pumper nozzle shall be eighteen inches (18") to twenty inches (20") above finish grade line (sidewalk to curb).

All fire hydrants shall be factory painted.

All mechanical joint fittings, valves and hydrants shall be restrained with retainer glands. Retainer glands shall be UNIFIT ANGE SERIES 1400 Wedge Action retainer gland.

All pressure taps on an existing Village main shall be made with an American Flow Control Series 2600 Compact Ductile Iron Mechanical Joint Tapping Sleeve and an American Flow Control Series 2500 Ductile Iron Resilient Wedge Tapping Valve (M.J. or F.I.) and shall be constructed in a five (5) foot minimum diameter valve vault. All taps shall be performed by the Contractor after payment of applicable connection fees and shall be witnessed by the Village. The Village Engineer should be notified 48 hours in advance of any tap.

All tees, bends, valves, and fire hydrants shall be adequately supported with a concrete base, and supported laterally with precast concrete trust blocking (not poured-in-place) against undisturbed earth.

All water mains shall have a minimum depth of cover of 5.5' from the finish grade to the top of pipe or as noted on plans.

All vertical water main adjustments shall be accomplished by deflection, not bends in the water main.

All water services shall be one (1") inch diameter type "K" copper pipe with compression connections. No joints will be allowed between the corporation stop and the curb stop. Material and installation will be in general accordance with AWWA C200. The underground water service pipe and the building sewer shall be not less than ten feet (10') apart horizontally and shall be separated by undisturbed or compacted earth.

All corporation stops, curb stops, and curb boxes shall be as follows:

Brand	Municipal		
	1"	1.5"	2"
Corporation Stop	B-25008	B-25008	B-25008
Curb Stop	B-25155	B-25155	B-25155
Curb Box	H-10302	H-10302-99007	H-10302-99007

	Ford		
	1"	1.5"	2"
Corporation Stop	FB1000-4-C	FB1000-6-C	FB1000-7-C
Curb Stop	B44-444-M3	B44-665-M3	B44-777-M3
Curb Box	B32-25-47	B32-25-47	B32-25-47

The buffalo boxes shall be set in the parkway between the back of curb and the sidewalk. Long services shall be set at the mid-point between the back of curb. Short services shall be set one foot off of the sidewalk.

The Contractor shall obtain, erect, maintain and remove all signs, barricades, flagmen and other control devices as may be necessary for the purpose of regulating, warning or guiding traffic. Placement and maintenance of all traffic control devices shall be in accordance with the applicable parts of Article 107.14 of the Standard Specifications and the Illinois Manual on Uniform Traffic Control Devices for Streets and Highways. Contractor shall furnish a traffic control plan for IDOT or Village approval if required.

All work and materials shall be in accordance with code requirements.

The Contractor shall restore any area disturbed to a condition equal to or better than its original use. This shall include finish grading, establishment of a vegetative cover (seeding or sod), general cleanup and pavement replacement.

The Contractor shall be responsible for providing safe and healthful working conditions throughout the construction of the proposed improvements.

Before acceptance by the Village all work shall be inspected and approved by the Village or its representatives.

Assessments for the existing utilities, both public and private, and utilities within public rights-of-way are shown on the plans according to available records. The contractor shall be responsible for determining the exact location in the field of these utility lines and their protection from damage due to construction operations. If existing utility lines of any nature are encountered which conflict in location with new construction, the contractor shall notify the engineer so that the conflict may be resolved.

Water mains and water service lines shall be protected from sanitary sewers, storm sewers, combined sewers, house sewer service connections and drains in accordance with Title 32 Environmental Protection Agency Subtitle F - Public Water Supplies, Chapter II - Environmental Protection Agency, Parts 651-654 Technical Policy Statements, Section 653.119.

Whenever possible, a water main must be laid at least ten feet horizontally from any existing or proposed drain or sewer line. Should local conditions exist which would prevent a lateral separation of ten feet, a water main may be laid closer than ten feet to a storm or sanitary sewer provided that the water main invert is at least eighteen inches above the crown of the sewer, and is either in a separate trench or in the same trench on an undisturbed earth shelf located to one side of the sewer. If it is impossible to obtain proper horizontal or vertical separation as described above, then the sewer must also be constructed of water main type material (ductile iron pipe with slip-on or mechanical joints, prestressed reinforced concrete pipe with ASTM C-442 joints, etc.) and pressure tested to the maximum expected surcharge head to assure water tightness before backfilling.

Whenever water mains must cross house sewers, storm sewers or sanitary sewers, the water main shall be laid at such an elevation that the invert of the water main is eighteen inches above the crown of the drain or sewer. This vertical separation must be maintained for that portion of the water main located within ten feet horizontally of any sewer or drain crossed. This must be measured at the normal distance from the water main to the drain or sewer. If it is impossible to obtain the proper vertical separation as described above or if it is necessary for the water main to pass under a sewer or drain, then the sewer must be constructed of water main type material (as noted in item 23). This construction must extend on each side of the crossing until the normal distance from the water main to the sewer or drain line is at least ten feet. In making such crossings, center a length of water main pipe over/under the sewer to be crossed so that the joints will be equidistant from the sewer and as remote therefrom as possible. Where a water main must cross under a sewer, a vertical separation of eighteen inches between the invert of the sewer and the crown of the water main shall be maintained, along with means to support the larger sized sewer lines to prevent their settling and breaking the water main.

Valve vault frames shall be IDOT Type 1 (Standard 604001) and all lids shall have "Sugar Grove" and "Water" cast into them.

Valve vaults shall be adjusted with precast concrete adjusting rings to a maximum of eight (8") inches.

Hydrostatic Tests - The Contractor shall perform Hydrostatic Tests in accordance with Division IV, Section 41 of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition, and applicable provisions of AWWA C-500 and C-600. The water mains shall be pressure tested at 150 PSI. Allowable leakage shall be as set forth in AWWA C-800 latest edition. The maximum allowable leakage shall be based off of the first 1,000 feet of pipe (i.e. if 2,000 feet of pipe is being tested, the allowable leakage will be based on the first 1,000 feet only). The duration of the test shall be for two hours minimum, and the maximum pressure drop during this two hour period is a cumulative 2 psi. To meet the testing requirements, the water main shall satisfy the pressure drop and the allowable leakage requirements. The gauge will be zeroed out before the pressure test begins. In addition, the pressure gauge used in the hydrostatic test shall be in 2psi increments or less and have a minimum of a 3 1/2" diameter face.

Disinfection of the Water Mains - Upon completion of the newly laid water mains, the water mains shall be disinfected in accordance with the American Water Works Association, Procedure Designation, AWWA C-651, latest edition. The Contractor is responsible for collecting samples and having bacteriological testing performed as required by the IEPA. The Contractor shall furnish to the Village the required documentation, test results, etc., required by the IEPA for placing the water mains or service lines in service and/or securing an operating permit.

Water valves and fire hydrants shall be operated by Village of Sugar Grove Personnel only.

The Developer/Contractor shall contact the Village Engineer to schedule operation of valves, flush and fill, pressure test, chlorination, and sampling. The Village Engineer will contact the Village accordingly. The Developer/Contractor shall provide 48 hours notice prior to performing any of these work items. The following activities must be scheduled with the Village Engineer on independent days:

- ✓ Flush and fill (Water main/service shall then be pre-tested.)
- ✓ Pressure Test (The gauge shall be zeroed out before the start of the test.)
- ✓ Chlorination
- ✓ 1st Day of Sampling
- ✓ 2nd Day of Sampling

The Village shall witness all service taps greater than 1" in diameter. Accordingly, the Developer/Contractor shall contact the Village Engineer 48 hours in advance of the tap.

For Metro Water Reclamation District shall be contacted by the Developer/Contractor to observe the construction of all water service lines to a buildinghouse. Their observation is required from the service valve to the buildinghouse.

All water main shall be pre-pressure tested prior to the actual test. The Village Engineer and/or the Village witnesses.

**VILLAGE OF SUGAR GROVE
STANDARD NOTES FOR PARKING LOT CONSTRUCTION**

Construction materials and methods for parking lot construction shall meet the requirements of the "Standard Specifications for Road and Bridge Construction", latest edition.

Prior to the construction of any parking lot pavement, all of the major underground work shall be completely installed.

The Village Engineer shall be notified 48 hours prior to the pouring of the curb and gutter in order to review the aggregate base and string line/formwork of the curb and gutter. The curb and gutter within the parking lot shall be machine placed and shall be completed in a monolithic installation unless previously approved by the Village Engineer.

Curing and weather protection of all exposed concrete surfaces shall be in accordance with the IDOT Standard Specifications, latest edition, including any revisions. No honeycombing of the concrete will be accepted.

Proofrolls are required on the sub-grade, aggregate base, and the binder course, and shall be witnessed by the Village Engineer. The Village Engineer shall be provided a minimum of 60 hours advanced notice prior to the proofroll. Each proofroll shall be at the cost of the Contractor and shall be to the satisfaction of the Village Engineer as follows:

- a. A loaded truck provided by the Contractor shall be driven over the area to be tested at a speed pattern and number of cycles to be determined by the Village Engineer. The test truck shall be the common tractor trailer type with no more than five (5) axles with a total of eighteen (18) wheels loaded to a net weight of no less than twenty two (22) tons. The load ticket shall be provided the Village Engineer for record.
- b. Any unstable or damaged subgrade, aggregate sub-base, or binder course shall be removed and replaced to the satisfaction of the Village Engineer at no cost to the Village.
- c. The Village Engineer is responsible for indicating whether the proofroll passes or fails. The Contractor is responsible for determining how to fix any unsatisfactory areas.

The Village Engineer shall be notified 48 hours prior to the start of any paving.

Final placement of hot mix asphalt surface course shall be delayed for a minimum of one full winter unless otherwise approved by the Village and Village Engineer. Before the placement of the surface course, all underground utility punch list items for final inspection shall be completed and approved. Also, the binder course patches must be completed and the curb and gutter repaired as required by the Village Engineer.

The hot mix asphalt binder course and surface course mixtures shall be laid on a surface, which is dry and only when weather conditions meet all standards stated in the IDOT Standard Specifications for Road and Bridge Construction. The hot mix asphalt binder course shall be placed only when the temperature in the shade is at least forty degrees Fahrenheit (40°F), when the temperature in the shade for the previous twenty four (24) hours is at least thirty two degrees Fahrenheit (32°F) and when the forecast is for rising temperatures. The surface course shall be placed only when the temperature in the shade is at least forty-five degrees Fahrenheit (45°F), when the temperature in the shade for the previous twenty four (24) hours is at least forty degrees Fahrenheit (40°F), and when the forecast is for rising temperatures.

Immediately prior to placing hot mix asphalt surface course, the pavement shall be thoroughly cleaned, flushed and primed with bituminous material (SS-1) at a rate not to exceed one-tenth (0.1) gallon per square yard. When bituminous materials (SS-1) are applied under traffic conditions, sanding at the approximate rate of four (4) pounds per square yard will be required.

All hot mix asphalt shall be delivered and handled so that the hot mix asphalt immediately behind the paver screen is at or above two hundred seventy degrees Fahrenheit (270°F). All asphalt delivered to the project shall be covered when the temperature is at or below seventy degrees Fahrenheit (70°F).

The mix design shall be submitted the Village Engineer 48 hours in advance of paving.

All testing shall be per IDOT specifications. A certified nuclear density technician must be on site to set the asphalt pavement rolling pattern and confirm compaction densities. The technician shall revise the rolling pattern as deemed necessary. The technician shall stop the paving operation if the required densities are not being met. Density test results shall be submitted to the Village Engineer within one week of completion of the paving operation. The Contractor shall be responsible for Quality Control testing. The Village reserves the right to perform Quality Assurance testing. The Village Engineer reserves the right to stop paving operations if the Contractor does not have a qualified binder on site at the start of the paving operations.

All hot mix asphalt plants shall be approved by the State. In addition, all paving contractors performing work within the right of way shall furnish an IDOT Certificate of Eligibility to the Village prior to the start of paving.

Load tickets shall be furnished the Village Engineer at the time of paving.

REVISIONS:					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DRAWN BY:	D.J.	DATE:	05-28-15
CHECKED BY:	D.J.	DATE:	05-28-15
APPROVED BY:	D.J.	DATE:	05-28-15
FILE:			

DJA CIVIL ENGINEERS & SURVEYORS
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e-mail: DJA@DJAonline.net

CLIENT: **GLEASON ARCHITECTS, P.C.**
HEARTLAND DRIVE, SUITE A
SUGAR GROVE, ILLINOIS

TITLE: **NOTES**
BUILDING 2 EXPANSION
769 HEARTLAND DRIVE
SUGAR GROVE, ILLINOIS

SCALE: NONE
DATE: 05-28-15
JOB NO: 2481
SHEET 8 OF 11

GENERAL NOTES
FOR SANITARY SEWER CONSTRUCTION IN THE FOX METRO WATER RECLAMATION DISTRICT

1. All sanitary sewer construction shall be performed in accordance with the "Fox Metro Water Reclamation District Sewer Use Ordinance No. 829, the "Standard Specifications for Water and Sewer Main Construction in Illinois", and "77 Illinois Administrative Code, part 890, Illinois Plumbing Code", latest edition.
2. Final approved set of plans and specifications must be kept on the job site. Failure to comply with this provision may result in a fine and/or be considered cause to stop the job.
3. The sanitary sewer contractors for all sanitary sewer main extension projects shall notify the Fox Metro Water Reclamation District's Engineering Department two (2) working days prior to start of work. Notification shall be done via telephone at (630) 301-6882, and fax at (630) 897-6094 to the Engineering Department. For service connections, call twenty-four (24) hours in advance to schedule an inspection at (630) 301-6811.
4. To prevent any possible infiltration or inflow from entering the existing downstream sanitary system, a factory-made plug shall be placed in the manhole by the contractor, as indicated on the final approved plans. The placement of the plug(s) should not interrupt the service of any user. This plug is to be removed only upon approval by the Engineering Department, and only after any accumulated water and/or construction drainage has been properly removed. Under no circumstances is overland surface drainage allowed to drain into the existing sanitary system.
5. All sanitary sewers shall be tested in accordance with Section 31-1.11 of the "Standard Specifications for Water and Sewer Main Construction in Illinois". In addition, all manholes shall be vacuum tested (Manhole testing will be in accordance with ASTM-1244-98 or in accordance with Fox Metro W.R.D. requirements). In case of testing specification conflict, where deeper manholes are constructed, the more stringent requirement will apply.
6. When connecting to an existing sanitary main when a tee or wye is not provided, an "Insera Tee" fitting must be installed. The minimum distance between fittings is 4 feet center to center. Disruption of any existing sanitary main by breaking or cutting in a wye tee is prohibited unless the existing main is cracked or broken at the point of connection. The angle of any new connection shall not exceed 1/1 or 45 degrees.
7. "Adaptor-Seal", "Infi-Shield", "Canusa (Wrapid Seal)", "FlexRib" or approved equal chimney seals shall be installed on all manholes and grease traps. No unapproved seal shall be installed in the District.
8. Only PVC transition fittings shall be used in all new construction when joining PVC pipes which are damaged during construction or have different outside diameters. Refer to Fox Metro "Manhole/Sewer Pipe Specifications" for information relating to repairs of mains damaged during construction.
9. All existing sanitary interceptor (mains 15" in diameter or greater) manhole frames located within any proposed development will be required to be adjusted to grade. Under no circumstances may the amount (two total) of adjusting rings exceed eight (8) inches (see our type A manhole detail). Extreme care should be taken when working near all sanitary manholes.
10. Cast iron clean-out covers are required for all sewer services that are proposed in paved areas (see Fox Metro Manhole/Sewer Pipe Specifications).
11. Ductile iron and cast iron pipe is not allowed for the use of gravity sewers in the Fox Metro Water Reclamation District. Ductile iron or cast iron pipe may be used in the construction of "casings" or "sleeves" around PVC carrier pipes, as well as in the construction of pump station piping and force mains.
12. Landscaping within any Fox Metro easement is prohibited without review and subsequent plan approval. It is vital for all Fox Metro personnel to be able to access the entire length of any interceptor easement for the purpose of maintaining the integrity of the sanitary sewer system or dealing with emergencies. The easement shall be graded so that the ground surface does not exceed a six percent (6%) gradient in all directions, unless otherwise approved by the District.

13. When the developer desires gravity sanitary service connections, all sanitary risers shall be required to be constructed to a depth of no greater than nine (9) feet deep. In the event the developer proposes all overhead or "hung" sewers, said sewer risers shall be constructed to a depth of no greater than 6'-7" feet deep (or as shallow as possible in order to avoid conflict issues). If a conflict arises, Illinois EPA water & sewer separation requirements take precedence over Fox Metro's maximum riser depth requirements.
14. Whether any grease trap is newly constructed or "retrofitted" to an existing building, all Fox Metro guidelines pertaining to minimum slope and cover depth for sanitary construction shall be strictly adhered to. Refer to applicable Fox Metro specifications and construction details for specific information.
15. Minimum design slopes shall be 1.00% for six (6) inch building sewers, .40% for eight (8) inch sewers, and .28% for ten (10) inch sewers with all other design slopes conforming to the requirements of the "Standard Specifications for Water and Sewer Main Construction in Illinois".
16. The inverts of all pipes entering a manhole where the existing or proposed outlet sewer is fifteen (15) inches in diameter or larger shall be set so as to match the eighty percent (80%) flow line of the new pipe and the pipe leaving the manhole. The inverts of all pipes entering a manhole where the existing or proposed outlet sewer is fourteen (14) inches in diameter or smaller shall be determined by matching the elevations of the tops of all pipes.
17. All manhole barrel sections (including those sections of existing manholes which have been exposed during construction) shall be required to be externally sealed with a 9" x 9" wide (min.) sealing band of rubber and mastic. The band shall have an outer layer of rubber or polyethylene with an under layer of rubberized mastic (with a protective film), meeting the requirements of ASTM C-877, type II or type III.
18. All sags, leaks, pipe defects, or other related issues with any newly televised sewer shall be repaired by the developer's contractor at the discretion of the District. For approval of repairs, these areas will need to be confirmed in writing as completed by the appropriate municipality or re-televised by the District. At the District's discretion, connection permits may be withheld if confirmation of completed repairs cannot be obtained.
19. Any contractor, who fails to perform in accordance with the District's expectations, specifications, and rules and regulations as provided, shall be prohibited from performing work in the District. The District reserves the right to revoke or disallow any contractor's bond.
20. The District shall schedule televising of all sewers eight (8) inches in diameter or greater. Prior to televising, the developer shall flush and clean all sewers. The developer shall also be responsible for providing a smooth, level area of sufficient width along the sanitary sewer system with access to each manhole for televising and flushing equipment. The District shall be notified by the municipality or developer that the system is completed, properly cleaned and prepared for televising. The developer may incur additional charges if proper access to all manholes is not provided and/or for cleaning of sewers by the District's contractor if the sewers are found not to be clean during televising.

SECTION 3 - GREASE REMOVAL SYSTEM REQUIREMENTS

All FSEs and NFDs shall have an adequate grease removal system installed and exercise proper kitchen best management practices to ensure that excess concentrations of FOG are not discharged to the POTW.

3.1 New Construction

All new construction FSEs and NFDs shall submit plumbing plans for all potential grease discharging lines, all GRSs, and connecting piping to the Pretreatment Department for approval prior to construction. The plumbing shall be installed in accordance with the approved plans. Failure to submit plans or construct in accordance with approved plans is a violation of this ordinance.

- A. All new Food Service Establishment single occupancy buildings shall install properly sized interceptor-style grease removal systems. Where space or gradient limitations make the use of an interceptor-style GRS impractical, and with prior approval of the Pretreatment Department, a FSE may install properly sized trap-style GRSs. All kitchen drains and any other drains that may carry grease-laden waste shall be connected to this GRS, this includes but is not limited to; vegetable sinks, prep sinks, hand sinks, mop basins, floor drains, bar sinks and chemical rinse dishwashers (high temp dishwashers MAY NOT be routed through the GRS).
- B. All new construction multi-tenant buildings (strip centers) shall include a separate waste line for all leasable spaces that discharges to a common 1500 gallon or larger interceptor. When a space is leased, sold, or rented to a FSE or NFD, all kitchen drains and any other drains that may carry grease-laden waste shall be connected to this waste line. This includes but is not limited to; vegetable sinks, prep sinks, hand sinks, mop basins, floor drains, bar sinks and chemical rinse dishwashers (high temp dishwashers MAY NOT be routed through the GRS), no domestic sewage may be connected to this line. The property owner shall be responsible for proper maintenance of this interceptor in accordance with the provisions of this ordinance.
- C. All new Non-FSE FOG Discharger single occupancy buildings shall install a properly sized GRS. All kitchen drains and any other drains that may carry grease-laden waste shall be connected to this GRS, this includes but is not limited to; vegetable sinks, prep sinks, hand sinks, mop basins, floor drains, bar sinks and chemical rinse dishwashers (high temp dishwashers MAY NOT be routed through the GRS).
- D. Any FSE or NFD undertaking a Substantial Remodel, as defined herein, will be considered to be new construction for the purposes of this ordinance.

REVISIONS:					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DRAWN BY:	D.J.	DATE:	05-28-15
CHECKED BY:	D.J.	DATE:	05-28-15
APPROVED BY:	D.J.	DATE:	05-28-15
FILE:			

DJA CIVIL ENGINEERS & SURVEYORS
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 ph. 630 752 8600 fax. 630 752 9556
 e-mail: DJA@DJAonline.net

CLIENT: GLEASON ARCHITECTS, P.C.
 HEARTLAND DRIVE, SUITE A
 SUGAR GROVE, ILLINOIS

TITLE: FOX METRO NOTES AND DETAILS
 BUILDING 2 EXPANSION
 769 HEARTLAND DRIVE
 SUGAR GROVE, ILLINOIS

SCALE: NONE
DATE: 05-28-15
JOB NO: 2481
SHEET 9 OF 11

FOX METRO WATER RECLAMATION DISTRICT
MANHOLE /SEWER PIPE MATERIALS AND INSTALLATION SPECIFICATIONS MATERIALS

1. PIPE & FITTINGS

Pipe and fittings used in sanitary sewer construction shall be polyvinyl chloride (PVC) pipe. PVC pipe and fittings dated over one year old shall not be permitted for use. No glued joints shall be allowed outside of the foundation wall of any building.

The types of PVC pipe and fittings that shall be used in the District include:

Poly Vinyl Chloride (PVC) Sewer Pipe and Fittings (ASTM –SDR series), conforming to ASTM Numbers D-1784, D-3034, D-3212, F-412, and F-477.

Poly Vinyl Chloride (PVC) Pressure Rated Pipe and Fittings (ASTM –SDR series), conforming to ASTM Numbers D-1784, D-2241, D-3139, F-412 and F-477.

Poly Vinyl Chloride (PVC) Pressure Rated Pipe and Fittings (AWWA DR-series) conforming to AWWA C-900, AWWA C-905, and ASTM Numbers D-1784, D-3139, F-412, and F-477.

All PVC plastic pipe and fittings shall have a cell classification of 12454 as defined in ASTM D-1784 and shall have minimum pipe stiffness as shown below in Table 1. The required Standard Dimension Ratio (SDR) or Dimension Ratio (DR) for PVC pipe and fittings shall be selected based upon the depth of cover, as also shown in Table 1.

Depth of Cover	Pipe Diameter	FoxMetro WRD Minimum Thickness	National Standard	Minimum Pipe Stiffness
0'-15'	6"-12"	SDR26	ASTM 0-3034	115
0'-15'	6"-12"	SDR26	ASTM 0-2241	115
0'-20'	6"-12"	SDR21	ASTM 0-2241	224
0'-30'	6"-12"	DR-18	AWWA C-900	364
0'-30'	14"	DR18	AWWA C-905	364

PVC pipe fittings conforming to ASTM 0-3034 and ASTM 0-2241 shall have a minimum wall thickness of SDR 26 plastic pipe as defined in table 1 (ASTM 0-3034 or ASTM 0-2241), and at least the same thickness of the main sewer line in which they are being installed.

Fittings in sizes through twelve (12) inches shall be molded in one piece (re-designed 3-piece Plastic trends fittings included) with elastomeric joints and minimum socket depths as specified in each respective section. Fittings above twelve (12) inches shall be molded or fabricated with elastomeric joints in accordance with ASTM standards 0-1784 and 0-3139 incorporating the manufacturer's standard pipe bells and gaskets. Gaskets shall conform to ASTM F-477 and ASTM F-913.

Joints shall meet the requirements of ASTM Standard 0-3212 or 0-3139, whichever is applicable. Fittings with a gasket retention race formed by heating or crimping are not permitted throughout the District. Fox Metro Water Reclamation District reserves the right to approve/reject all pipe and fittings on a case-by-case basis.

2. BEDDING, HAUNCHING, AND INITIAL BACKFILL

Bedding material shall be CA-7 Class 1A, as outlined in ASTM 0-2321 and shall be certified by the manufacturer and approved by the District prior to installation, to have the following characteristics:

Description: Shall be crushed stone or crushed gravel, as produced from crushing by mechanical means.

Gradation: Shall meet the 100T gradation of CA-7, Class 1A.

Plasticity Index: Shall meet a plasticity index of 0 to 4 percent as determined by the method given in AASHTO T 90.

Specific Gravity: Shall have a specific gravity (dry) of greater than 2.45.

Sources of Supply: All sources of supply shall be approved by the District. Only coarse (fractured) aggregates from these sources shall be used on the job unless approval in writing is obtained from the District.

LABORATORY TEST

The District reserves the right to require a contractor to submit certified copies of all reports of tests conducted by an independent laboratory before installation of PVC plastic pipe. Tests shall be conducted in accordance with Standard Method of Test for "External Loading Properties of Plastic Pipe by Parallel-Plate Loading."

INTERNAL DIAMETER

Pipe shall be constructed so that the internal diameter does not decrease by more than five (5) percent, in order to provide the complete hydraulic carrying capacity, and to obtain the joint performance at five (5) percent maximum diametric deflection.

PIPE INSTALLATION AND FIELD TESTING

1. INSTALLATION

When a span due to over-dig at any wall or foundation exceeds two (2) feet, or where a new house service must be constructed through a "porch box", a six (6) inch SDR 21 (or thicker) PVC pipe sleeve through the wall(s) shall be added through the span of the over-dig area(s). This sleeve must extend an additional two (2) feet beyond the over-dig area, with a stone base for the entire building sewer resting on undisturbed soil. This sleeve will accommodate a four (4) inch PVC schedule 40 (or approved equal) pipe that must be sealed at the sleeve, using a six (6) inch x four (4) inch regular brand mission coupling. The sleeve pipe shall increase as necessary to accommodate a larger sewer service pipe when required, and shall be supported by CA-7 Class 1A crushed stone or gravel. See Fox Metro's "trench detail for sanitary sewer & mains" and "sanitary service through porch box wall".

Trench widths should be stable or supported, provide a width sufficient, but no greater than necessary to ensure working room to properly and safely place and consolidate haunching and other embedment materials. The space between the pipe and trench wall must be wide enough to hand-work and place said haunching material. From the trench floor to twelve (12) inches above the top of pipe, the minimum trench width shall be the outside diameter of the pipe plus sixteen (16) inches and the maximum trench width shall be the diameter of the pipe plus twenty four (24) inches.

When trench wall supports, such as trench sheeting, trench jacks, trench shields or boxes are used, ensure the support of the pipe and its embedment is maintained throughout installation, including during and after the removal of such supports.

Pipe size shall be a minimum of 8" for sewer mains and 6" for sewer services. Pipes shall be laid in a manner which provides uniform support over the entire length. No blocking of any kind shall be used to adjust the pipe to grade except when embedment concrete is used. Bedding shall be a minimum of six (6) inches in depth. The bedding material shall be placed and worked in around pipe by hand to provide uniform support, then around and over the crown of the pipe by a minimum thickness of twelve (12) inches. The granular embedment material shall be placed and consolidated the full width of the trench. The contractor shall be required to install the pipe in such a manner that the diametric deflection of the pipe shall not exceed five (5) percent.

PVC transition fittings shall be used in all new construction when joining PVC pipes of different outside dimensions.

Service connections to new mains shall be with a tee/wye fitting with a 6" branch and shall connect to the main at a (max.) forty-five (45) degree angle.

Cast iron clean out covers conforming to ASTM class 25 or higher shall be required for all sanitary sewer services located in any paved surface. Locations of said covers shall be limited to a spacing of no greater than one hundred (100) feet or that constructed per the approved engineering plan.

The use of ductile iron & cast iron pipe is not allowed for the use of gravity sewers in the Fox Metro Water Reclamation District. Ductile iron or cast iron pipe may be used in the construction of "casings" or "sleeves" around PVC carrier pipes, as well as in the construction of pump station piping and force mains.

4" X 6" non-shear couplings shall be used to connect the building drain to the building sewer. Whether any grease trap is newly constructed or "retrofitted" to an existing building, all Fox Metro guidelines pertaining to minimum slope and cover depth for sanitary construction shall be strictly adhered to.

2. TESTING

Before final acceptance, all sanitary sewers shall be tested in accordance with Section 31-1.11 of the "Standard Specifications for Water and Sewer Main Construction in Illinois" (*see item #2 under "Manhole Installation and Field Testing" below for vacuum testing). Specifically, all pipelines constructed of polyvinyl chloride (PVC) shall be subject to air exfiltration, deflection, vacuum and televising tests.

The deflection test shall be performed no sooner than thirty (30) days of the backfilling operation and shall consist of measuring the pipe for vertical ring deflection. Maximum ring deflection of the pipeline under load shall be limited to five (5) percent of the internal pipe diameter. All pipes exceeding this deflection shall be considered to have reached the limit of its serviceability and shall be re-laid or replaced by the contractor at their sole expense.

The cost of all deflection testing shall be borne by the contractor and shall be accomplished by pulling a mandrel, sphere, or pin-type "go/no go" device, with a diameter equal to ninety-five (95) percent of the un-deflected inside diameter of the flexible pipe, through the pipeline. DR 18 pipe is exempt from mandrel testing in the Fox Metro W.R.D. service area.

All sanitary sewer (public or private) having a diameter of eight (8) inches or greater shall be televised by the District. Said televising work is scheduled once all sanitary testing (air & vacuum) has been received by Fox Metro. Any defects in said sewer shall be required to be excavated and repaired at the contractor's or developer's sole expense. Caution should be taken before constructing roads, curbs, sidewalks or any other infrastructure, whether it is above or below the ground surface. It is the responsibility of the utility contractor and the developer to contact Fox Metro prior to installing any of these utilities or infrastructure. Repairs to defective sanitary sewers shall be performed regardless of the status of other construction.

MANHOLE INSTALLATION AND FIELD TESTING

1. INSTALLATION

All manhole castings, adjusting rings and manhole sections shall be set in BUTYL rope or approved equal. The inside joints of manhole sections, adjusting rings, and frame shall not be mortared. However, the area between the pipe and flow channel shall be filled with cement mortar to provide a flush smooth surface.

Each manhole cone and barrel section joint shall also be externally sealed with a *6" or **9" wide (min.) sealing band of rubber and mastic (see "REPAIRS" below). The band shall have an outer layer of rubber or polyethylene with an under layer of rubberized mastic (with a protective film), meeting the requirements of ASTM C-877, **type or *type III.

Pipe connections to all manholes through openings (castor core-drilled) shall be provided with a flexible rubber watertight connector conforming to ASTM C-923, "Standard Specifications for, Resilient Connectors between Reinforced Concrete Manhole Structures and Pipes".

A maximum of 8 inches of adjusting rings (2 total rings) is allowed. The frame, chimney, and top "lip" of the cone section shall be required to be sealed with a chimney seal.

Only "Adaptor-Seal", "Infi-Shield", Canusa (Wrapid Seal), FlexRib or an approved equal will be allowed. Do not use unapproved seals.

When a new manhole is approved to be constructed on an existing public sewer, only Cascade brand (CR style), or approved equal, stainless steel repair clamps shall be installed. Only repair clamps conforming to ANSI/NSF-61 shall be allowed. This work shall be inspected by Fox Metro W.R.D.

2. TESTING

Each new manhole shall be vacuum tested after manhole is at finished grade. All lift holes shall be plugged with a non-shrinking grout. The manhole frame, adjusting rings and chimney seals shall be in place when testing. No grout shall be placed in the horizontal joints before, after or during testing in order to achieve a passing test result. All pipes entering the manhole shall be plugged, taking care to securely brace the plugs from being drawn into the manhole. A vacuum of ten (10) inches of mercury shall be drawn and the vacuum pump shut off. With the valves closed, the time shall be measured for the vacuum to drop to nine (9) inches of mercury (Hg) for the following time periods for each size manhole:

- *Forty-eight (48) inches Diameter –sixty (60) seconds
- *Sixty (60) inches Diameter –seventy-five (75) seconds
- *Seventy-two (72) inches Diameter –ninety (90) seconds

*Manhole testing will be in accordance with ASTM-1244-93 or in accordance with Fox Metro W.R.D. requirements. In case of conflict, the more stringent requirement will apply (e.g. where deeper manholes are constructed).

The contractor shall provide all material and equipment necessary for testing. Should the manhole fail the vacuum test, all leaks shall be disassembled and repaired with mastic or butyl rope. After the repair is complete, the manhole shall be re-tested until a satisfactory result is obtained.

REPAIRS & REHABILITATION OF EXISTING PIPES AND MANHOLES

1. PIPES,

Pipe connections of dissimilar materials shall be made with a non-shear flexible neoprene "Mission" brand connector with stainless steel bands, where no "hub" exists.

Where a new home is constructed on any lot where the sanitary service is made of rigid materials such as vitrified clay, cast iron, or ductile iron, said service will be required to be removed or lined to the public main. Any existing sanitary sewer main or service, which is required to be lined, shall be repaired with a cured-in-place pipe (CIPP) meeting the requirements of ASTM F1216, 05813, 0790 and 02990. Said CIPP shall be installed using the inversion method only. Hot water or steam shall be used to cure all liners.

Where a newly constructed sanitary main needs to be repaired due to damage having occurred during construction, Cascade brand (CR style), or approved equal, stainless steel repair clamps shall be required. Only repair clamps conforming to ANSI/NSF-61 shall be allowed. When the damage occurs within 30 feet of a manhole, the contractor shall remove and replace the damaged main from the nearest joint to the manhole.

2. MANHOLES

Each manhole, which has been disturbed in any way, including being raised or lowered, should be cleaned and dried before re-sealing. Each cone and barrel section joint shall require a double-layer of butyl rope and also be externally sealed with a *6" or **9" wide (min.) sealing band of rubber and mastic. The band shall have an outer layer of rubber or polyethylene with an under layer of rubberized mastic (with a protective film), meeting the requirements of ASTM C-877, **type II or *type III.

A maximum of 8 inches of adjusting rings (2 total rings) is allowed in any repair. The frame and chimney of the cone section shall be required to be sealed with a chimney seal. Only "Adaptor-Seal", "Infi-Shield", Canusa (Wrapid Seal), FlexRib or approved equal will be allowed.

REVISIONS:					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DRAWN BY:	D.J.	DATE:	05-28-15
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FILE:			

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e-mail: DJA@DJAnline.net

CLIENT: **GLEASON ARCHITECTS, P.C.**
HEARTLAND DRIVE, SUITE A
SUGAR GROVE, ILLINOIS

TITLE: **FOX METRO NOTES AND DETAILS**
BUILDING 2 EXPANSION
769 HEARTLAND DRIVE
SUGAR GROVE, ILLINOIS

SCALE: NONE
DATE: 05-28-15
JOB NO: 2481
SHEET 10 OF 11

CONTRACTOR NOTICE

Fox Metro Water Reclamation District

IMPORTANT – PLEASE READ!!

We strongly urge you to have every contractor and/or subcontractor performing work on your project, read and initial this notice. The following list represents costly problems or violations that commonly occur during or after construction. Our goal is to make everyone aware of these problems and hopefully reduce unnecessary delays, expenses, and fines.

In order to perform new construction or repair work on any private sanitary or water service, the following must be completed before work may commence:

A \$25,000 license & permit bond made out to the Fox Metro Water Reclamation District must be received and approved for new construction or repair work.

A Fox Metro W.R.D. permit (connection permit for new construction or a repair permit) is required.

An inspection (performed by Fox Metro) must be scheduled 24 hours prior to any work in order to check status of permit. No work shall commence before this permit is issued.

1. All sanitary sewer main construction must have an ILEPA permit and plan approval letter on file at Fox Metro Water Reclamation District prior to commencing. Please provide our office with 48-hour notification to verify this before starting construction. If construction does not commence within two (2) days of the initial notice, start notification must be resubmitted.

2. All new sanitary construction must be securely plugged and maintained by the contractor in order to prevent unnecessary flow or discharge into the existing sanitary system. The plug(s) may only be removed after permission has been obtained from Fox Metro's Engineering Department and all construction drainage has been properly removed from the new sanitary sewer system.

3. All private sanitary sewer service connections (6" or 8" pipe) must have a connection permit from Fox Metro Water Reclamation District, and shall be inspected by Fox Metro. Please call (630) 301-6811 to schedule inspections twenty-four (24) hours from starting construction. No service pipe shall be installed until all proposed mains have been tested and approved by Fox Metro and a final recorded subdivision plat is submitted.

4. All domestic water service installations (except for the Village of Oswego and the United City of Yorkville) are to be inspected by Fox Metro. Any/all final connections to any building, made by any plumber or excavator, shall also be inspected by Fox Metro.

5. All sanitary manholes are to be sealed (exterior of chimney & barrels) and vacuum tested. Any disruption of these manholes will break the seal(s), requiring a costly resealing and retesting process, usually paid for by the developer because the responsible party is rarely found. Please stay clear of all manholes.

6. Contractors are using the sanitary sewer system to drain newly excavated basements by pumping into the service line or directly into a nearby manhole. During heavy rain events this will cause the system to backup into occupied basements creating damage and endangering the health and safety of others. Heavy fines and fees will be levied for these violations of Fox Metro W.R.D. Ordinance #829.

7. Ductile iron & cast iron pipe is not allowed for the use of gravity sewers in the Fox Metro Water Reclamation District. Ductile iron or cast iron pipe may be used in the construction of "casings" or "sleeves" around PVC carrier pipes, as well as in the construction of pump station piping and force mains.

For questions regarding permitting and new construction call Engineering at (630) 301-6882. For questions regarding inspections, construction, or to report violations or open manholes, please call (630) 301-6811.

TYPE "A" MANHOLE

DESIGNED	FMWRD	REVISION	2012
DRAWN	KWZ	D/Invert Notes	01/26/06
APPROVED	MF	G/Chimney Seal Note	01/26/07
DATE	05-12-00	F/Note Revisions	04/29/06
SCALE	NTS	G/NOTE - Revision-Invert Elev's	04/29/02
SHEET	1	CAD DWG.	REVISION
OF	1	JOB NO.	G

SERVICE CONNECTION

DESIGNED	FMWRD	REVISION	2012
DRAWN	KWZ	D/Stone Note Added	01/26/06
APPROVED	MF	E/Inset & Note Revisions	01/26/07
DATE	05-12-00	F/Note Revisions	04/29/06
SCALE	NTS	G/Note Revisions	04/29/02
SHEET	1	CAD DWG.	REVISION
OF	1	JOB NO.	G

TRENCH DETAIL FOR SANITARY SERVICES & MAINS

DESIGNED	FMWRD	REVISION	2012
DRAWN	KWZ	B/Dimension Revision	12/11/01
APPROVED	MF	G/Revised 2004	01/26/04
DATE	05-12-00	D/Stone Note	01/26/06
SCALE	NTS	E/107 Revisions	01/18/07
SHEET	1	CAD DWG.	REVISION
OF	1	JOB NO.	E

SANITARY SEWER SERVICE ABANDONMENT/RECONSTRUCTION

DESIGNED	FMWRD	REVISION	2012
DRAWN	KWZ	A/Inset & Note Revision	04/29/07
APPROVED	JH	B/Removed Temporary Abandonment Note	04/29/07
DATE	05-09-06		
SCALE	NTS		
SHEET	1	CAD DWG.	REVISION
OF	1	JOB NO.	B

REVISIONS:					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DRAWN BY:	D.J.	DATE:	05-28-15
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CLIENT: **GLEASON ARCHITECTS, P.C.**
 HEARTLAND DRIVE, SUITE A
 SUGAR GROVE, ILLINOIS

TITLE: **FOX METRO NOTES AND DETAILS**
 BUILDING 2 EXPANSION
 769 HEARTLAND DRIVE
 SUGAR GROVE, ILLINOIS

SCALE: NONE
 DATE: 05-28-15
 JOB NO: 2481
 SHEET 11 OF 11

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: WALTER MAGDZIARZ, COMMUNITY DEVELOPMENT DIRECTOR
MIKE FERENCAK, VILLAGE PLANNER
SUBJECT: DISCUSSION: REQUEST FOR SPECIAL USE TO ESTABLISH AND
OPERATE A GYMNASIUM AT 769 N. HEARTLAND DRIVE
AGENDA: JULY 21, 2015 COMMITTEE OF THE WHOLE MEETING
DATE: JULY 17, 2015

ISSUE

Should the Village Board consider a request for Special Use to establish and operate an indoor sports training facility within the multi-tenant building at 769 N. Heartland Drive.

DISCUSSION

The applicant, Top Pick Athletic Co., would like to locate an indoor sports training facility in the proposed building addition at 769 N. Heartland Drive, Lot 10 of Sugar Grove Research Park. The building addition would consist of six tenant spaces and Top Pick Athletic Co. would occupy all six. The building addition is the subject of the Planned Unit Development request on tonight's agenda.

A Special Use is requested as health clubs and gymnasiums are a Special Use in the M-1 Limited Manufacturing District. No exterior improvements are proposed or requested under this application. The request is simply for establishing and operating the use in the building. The Plan Commission recommended the Special Use be granted subject to conditions as originally recommended by staff.

ATTACHMENTS

- Plan Commission Recommendation PC15-05

COSTS

All costs associated with the review of this proposal will be paid for by the applicant.

RECOMMENDATION

That the Board direct staff to place the Special Use request on a regular meeting agenda for approval.

VILLAGE PRESIDENT

P. Sean Michels

VILLAGE ADMINISTRATOR

Brent M. Eichelberger

VILLAGE CLERK

Cynthia Galbreath



COMMUNITY DEVELOPMENT DEPARTMENT

VILLAGE TRUSTEES

Robert Bohler

Kevin Geary

Sean Herron

Mari Johnson

Rick Montalto

David Paluch

R E C O M M E N D A T I O N
PC15-05

TO: Village President and Board of Trustees
FROM: Plan Commission
DATE: Meeting of June 24, 2015
CASE FILE: 15-011 769 N. Heartland Drive SU

PROPOSAL

The applicant is requesting a Special Use to establish and operate a gymnasium located in an expanded multi-tenant warehouse building on Lot 10 of Sugar Grove Research Park.

GENERAL INFORMATION

MEETING DATE: June 24, 2015
PROJECT NAME: 769 N. Heartland Drive SU
APPLICANT: Top Pick Athletic Co. (Perry Clark)
LOCATION: 769 N. Heartland Drive
PARCEL NUMBER(S): 14-08-253-003
PARCEL SIZE: 2.25 acres
CURRENT ZONING: M-1 Limited Manufacturing District
CONTIGUOUS ZONING: NORTH: (across Heartland Drive) B-3 Regional Business District
SOUTH: M-1 Limited Manufacturing District
EAST: M-1 Limited Manufacturing District
WEST: (across Heartland Drive) B-3 Regional Business District and M-1 Limited Manufacturing District
CURRENT LAND USE: Multi-tenant warehouse building
CONTIGUOUS LAND USE: NORTH: (across Heartland Drive) Open / Vacant
SOUTH: Open / Vacant
EAST: American Heartland Bank

WEST: (across Heartland Drive) Open / Vacant, Multi-tenant warehouse building

LAND USE PLAN DESIGNATION: Business Park

CHARACTER OF AREA

The site is one lot within Sugar Grove Research Park, primarily an industrial warehouse subdivision. The lots north of this site (also within Sugar Grove Research Park) are zoned for commercial development. Areas east and west of this northern portion of Sugar Grove Research Park are unincorporated farmed agricultural land.

BACKGROUND & HISTORY

The applicant, Top Pick Athletic Co. (Perry Clark), has submitted a request for Special Use to permit a gymnasium in six tenant spaces (Unit G through L) of the future building addition at 769 N. Heartland Drive. Top Pick Athletic Co. is currently located in North Aurora.

The subject property is Lot 10 of Sugar Grove Research Park. Sugar Grove Research Park was annexed and zoned March 19, 1990. The annexation agreement from the same date specified that the Village's zoning ordinance in effect at the time continue to be used for the length of the agreement. When the annexation agreement expired March 19, 2010 so did the application of the 1990 zoning ordinance. The current zoning ordinance now applies to the subdivision. The property is zoned M-1 Limited Manufacturing District. The subdivision is not in a Planned Unit Development (PUD).

The current building and site improvements on Lot 10 were constructed in 2003. The building currently houses Gleason Architects in Unit A, Home For Life Advantage Inc. in Unit B (a handicap accessibility provider), Modern Dentistry in Unit C, and Sign FX in Unit E. Unit D and F are vacant. Gymnasiums and health clubs are listed as a Special Use in the M-1 Limited Manufacturing District.

The applicant completed submittal June 17, 2015. There are no plans involved with the request as no exterior improvements are proposed or requested under this application. The attached plans are provided for reference only. Any interior improvements or sign requests will require a building permit. A certificate of occupancy will also be required.

COMPREHENSIVE PLAN RECOMMENDATIONS

The Comprehensive Plan designates the site as "Business Park". The Comprehensive Plan does not provide any policy regarding specific uses allowed in various districts of the Zoning Ordinance.

Contiguous properties to the east, south, and west are designated "Business Park". Contiguous property to the north is designated "Corridor Commercial". The proposed use of gymnasium could be compatible with surrounding uses, though the use does not truly fit the purpose of the business park area. Gymnasiums and health clubs are sometimes found in business parks due to their requirements for a larger space.

EVALUATION & DISCUSSION

Generally, this development is required to conform to the Village of Sugar Grove Zoning Ordinance, including the requirements of the M-1 Limited Manufacturing District. The following evaluation is based on the Zoning Ordinance requirements.

1. Land Use / General – With a Special Use permit, a gymnasium is permitted in the M-1 Limited Manufacturing District.

2. Parking – With the parking lot addition currently proposed as part of Petition 15-010, there would be sufficient parking on the site for this use.

3. Signage / Interior Improvements – Please see the discussion on signage in Petition 15-010. Any wall signs or panels on the ground sign will require a building permit. Any interior improvements will require a building permit. A certificate of occupancy will also be required.

4. Trash – With the trash enclosure currently proposed as part of Petition 15-010, there would be sufficient trash storage on the site for this use.

The applicant provided a description of the existing business which is currently located in a nearby community. The Plan Commission discussed the proposed Special Use and asked the applicant questions about the use, business program and operations. The Plan Commission was satisfied with the responses.

PUBLIC RESPONSE

After due notice, the Plan Commission held a public hearing to consider the proposed amendment. No objectors were present.

RECOMMENDATION

The Plan Commission recommends the Village Board **approve** the Special Use for a gymnasium pursuant to Section 11-10-2-B of the Sugar Grove Zoning Ordinance, subject to the following conditions:

1. That the Special Use is limited to Units G, H, I, J, K, and L of the building at 769 N. Heartland Drive and cannot be expanded unless the Special Use is amended.
2. The applicant shall obtain all required building permits prior to any interior modifications or exterior sign installation.
3. The applicant shall obtain a certificate of occupancy prior to occupying the space.

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: WALTER MAGDZIARZ, COMMUNITY DEVELOPMENT DIRECTOR
SUBJECT: DISCUSSION: TEMPORARY USE APPROVAL PROCESS
AGENDA: JULY 21, 2015 VILLAGE BOARD COMMITTEE OF THE WHOLE MEETING
DATE: JULY 17, 2015

ISSUE

Should the Village Board consider changing the approval of all temporary use applications from a legislative process to an administrative process.

DISCUSSION

At present, temporary uses are approved both administratively and legislatively in Sugar Grove as prescribed in the Zoning Ordinance. Temporary uses that are approved administratively are limited in number and have specific criteria to meet in order to qualify for administrative approval. Additionally, the Zoning Ordinance sets forth requirements for the application, findings, and authorizes conditions of approval.

There have been instances in the past of a local business or charitable organization desiring to hold a temporary or special event submitting applications for a temporary use permit with insufficient time to review and obtain Village Board approval. This has caused a mild level of consternation among Village staff and the Village Board, and is extremely frustrating for the permit applicant.

Village staff believes it is necessary to expedite the application review process. Since various departments are involved in the review of temporary use applications, we believe the objectives of public health, safety and general welfare can be covered. Many communities in the area already review similar applications administratively.

In just the past 24 months, the Village has responded to temporary use applications for such purposes as: the American Legion bags tournament and poker run; Cystic Fibrosis cycling event; Tour de Cure cycling event (American Diabetes Association); Pure Pikemi a marathon event on the Virgil Gilman Trail; Rocky's Do Jo anniversary; model home sales offices at Prairie Glen and Meadowridge Villas to name just a few.

COSTS

There are no costs associated with the discussion.

RECOMMENDATION

If the Board is interested in the proposal, the Board should direct staff to prepare the required Ordinance for the Board's approval.