

<p>Village President P. Sean Michels</p> <p>Village Clerk Cynthia Galbreath</p> <p>Village Administrator Brent M. Eichelberger</p>	 <p>10 S. Municipal Drive Sugar Grove, Illinois 60554 Phone: 630-466-4507 Fax: 630-466-4521</p>	<p>Village Trustees</p> <p>Kevin Geary Sean Herron Mari Johnson Ted Koch Rick Montalto David Paluch</p>
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**August 4, 2015  
Board Meeting  
6:00 P.M.**

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Public Hearing
  - a. None
5. Appointments and Presentations
  - a. None
6. Public Comment on Items Scheduled for Action
7. Consent Agenda
  - a. Approval: Minutes of the July 21, 2015 Meeting
  - b. Approval: Vouchers
  - c. Resolution: Temporary Use – American Legion Bags Tournament
8. General Business
  - a. Ordinance: Approving a Preliminary & Final PUD – 769 Heartland
  - b. Ordinance: Approving a Special Use – 769 Heartland
9. New Business
  - a. None
10. Reports
  - a. Staff Reports
  - b. Trustee Reports
  - c. Presidents Report
11. Public Comments
12. Airport Report
13. Closed Session: Land Acquisition, Personnel, Litigation
14. Adjournment

**Committee of the Whole  
Cancelled**

**July 21, 2015**  
**Village of Sugar Grove**  
**6:00 PM**

President Michels opened the meeting at 6:00 PM and asked that Trustee Koch lead the Pledge. The roll was then called.

**Present:** President Michels, Trustee Koch, Trustee Paluch, Trustee Montalto, Trustee Geary, and Trustee Johnson.

Quorum Established.

**Absent:** Trustee Herron

**Also Present:**

Administrator Eichelberger, Clerk Galbreath, Finance Director Chamberlin, Community Development Director Magdziarz, Public Works Director Speciale, Streets & Properties Superior Payton, Utilities Supervisor Merkel and Chief of Police Rollins.

**APPOINTMENTS AND PRESENTATIONS**

None.

**PUBLIC HEARINGS**

Public Hearing: North Aurora Boundary Agreement Extension

President Michels to open the public hearing and call for comments regarding the North Aurora Boundary Agreement Extension. Hearing no comments he then called for a motion to close the hearing. Trustee Johnson **moved to close the public hearing**. Trustee Geary seconded the motion. President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	Herron
	Paluch				
	Johnson				
	Geary				
	Koch				

Motion Carried.

**PUBLIC COMMENTS ON ITEMS SCHEDULED FOR ACTION**

President Michels called for any public comments as no member of the public stepped forward and this portion of the agenda was closed.

**CONSENT AGENDA**

- a. Approval: Minutes of the July 7, 2015 Meeting
- b. Approval: Vouchers
- c. Approval: Treasurer's Report
- d. ~~Ordinance: Extending the Boundary Agreement with North Aurora~~
- e. Ordinance: Adopting the 2015 Affordable Housing Plan

Trustee Johnson **moved to approve the Consent Agenda**. Trustee x seconded the motion. President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	Herron
	Paluch				
	Johnson				
	Geary				
	Koch				

Motion Carried.

Ordinance Extending the Boundary Agreement with the Village of North Aurora.

Trustee Johnson **moved to approve Ordinance Extending the Boundary Agreement with the Village of North Aurora.** Trustee Paluch seconded the motion. Village President thanked staff for working on the boundary extension. President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	Herron
	Paluch				
	Johnson				
	Geary				
	Koch				

Motion Carried.

**GENERAL BUSINESS**

**Resolution Approving a Construction Contract – Queensgate Circle Sanitary Sewer Project**

Trustee Johnson **moved to approve Resolution Approving a Construction Contract – Queensgate Circle Sanitary Sewer Project, and to waive the formal bidding requirements.** Trustee Geary seconded the motion. The item was discussed and President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	Herron
	Paluch				
	Johnson				
	Geary				
	Koch				

Motion Carried.

**Resolution Authorizing Purchase of a Replacement 1 Ton Dump Truck**

Trustee Johnson **moved to Approve a Resolution Authorizing Purchase of a Replacement 1 Ton Dump Truck and to waive the formal bidding requirements.** Trustee Paluch seconded the motion. President Michels asked if Public Works also needed a new pickup. The answer was no as most jobs performed this day call for a bigger truck. President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	Herron
	Paluch				
	Johnson				
	Geary				
	Koch				

Motion Carried.

**Resolution Authorizing an Agreement for Demolition of a Dilapidated Structure**

Trustee Johnson moved to Approve Resolution Authorizing an Agreement for Demolition of a Dilapidated Structure and to waive the formal bidding requirements. Trustee Paluch seconded the motion. Trustee Geary asked that staff contact the fire department to see if they could assist during demolition, if needed, to keep the dust down. Hearing no further discussion President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	Herron
	Paluch				
	Johnson				
	Geary				
	Koch				

Motion Carried.

**Ordinance Amending Regulations Regarding Nonconforming Structures**

Trustee Johnson moved to Adopt An Ordinance Amending Regulations Regarding Nonconforming Structures. Trustee Paluch seconded the motion. The Board thanked staff for the clarifications and drawings. Hearing no further discussion, President Michels called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	Herron
	Paluch				
	Johnson				
	Geary				
	Koch				

Motion Carried.

**NEW BUSINESS**

None.

**REPORTS**

President Michels asked about the Roundabout Progress. Public Works Director Speciale stated that the work is behind due to the weather, however, the final binder and striping should be done by the end of next week. The landscaping and light installation will be completed after that. The lights are slightly delayed as well. The Village may have to do some temporary light to be able to open the roundabout for local traffic only which hopefully will be in the next few weeks. The state has been delayed on the Route 30 intersection work due to utilities that have not yet been moved and of course the weather. The railroad has indicated that the will be doing their portion after Labor Day.

President Michels asked about the restoration work for the Mallard / Settlers Ridge watermain work. Supervisor Merkel stated that the final grade was done this week and the sidewalk restoration and that the work should all be completed by the end of next week.

Trustee Montalto asked about camper/boat parking and if the village has property maintenance code. Community Development Director Magdziarz stated yes to both and asked that anyone who has an issue to contact his staff for follow-up.

**PUBLIC COMMENTS**

None.

**AIRPORT REPORT**

None.

Meeting was adjourned at 6:50 p.m. by motion made by Trustee Geary seconded by Trustee Johnson, all in attendance voted Aye in a Voice Vote.

Respectfully submitted, Cynthia L Galbreath, Clerk

July 21, 2015

**Committee of the Whole**

President Pro-Tem Johnson opened the meeting at 6:00 PM and asked that Supervisors Payton and Merkel lead the Pledge. The roll was then called.

**Present:** President Michels, Trustee Herron Trustee Paluch, Trustee Montalto, Trustee Koch, Trustee Geary, and Trustee Johnson.

Quorum Established.

**Also Present:**

Administrator Eichelberger, Clerk Galbreath, Finance Director Chamberlin, Community Development Director Magdziarz, Public Works Director Speciale, Streets & Properties Superior Payton, Utilities Supervisor Merkel and Chief of Police Rollins.

**Discussion: Preliminary & Final PUD and Special Use - 769 Heartland Drive**

Community Development Director Magdziarz explained that the applicant and property owner, Monterey Enterprises, LLC, would like to expand the building and parking lot at 769 N. Heartland Drive, Lot 10 of Sugar Grove Research Park. The existing building is approximately 15,000 square feet and consists of six tenant spaces. The proposed addition would be the same size as the existing building. .

The existing building and parking lot were constructed in 2003 without any variances and the site is was not developed as a PUD. Zoning requirements for the site changed in 2010, with the expiration of the annexation agreement for Sugar Grove Research Park.

Though the zoning requirements changed, the existing building complies with the current building setback requirements, but does not comply with current building material requirements. The existing parking lot does not comply with current pavement setback requirements. The existing site complies with current lot coverage and parking requirements, but does not comply with current landscaping requirements. Lighting and signage on the site may not be in conformance with some current requirements.

While it would be possible to build a smaller building and parking lot addition satisfying all current zoning requirements, the applicant chose to proceed with the proposed plan. The Planned Unit Development (PUD) approach permits the building addition and site improvements including building materials and pavement setbacks to occur in a more cohesive manner on the property.

The Village Board reviewed the plans and agreed that it makes more sense and would allow the building to be similar to the buildings in the park. This item will move forward for formal approval.

**Discussion: Temporary Use Approval Process**

Community Development Director Magdziarz explained that temporary uses are approved both administratively and by the Board. Temporary uses that are approved administratively are limited in number and have specific criteria to meet in order to qualify for administrative approval

There have been instances in the past of a local business or charitable organization desiring to hold a temporary or special event submitting applications for a temporary use permit with insufficient time to review and obtain Village Board approval. This has caused a mild level of consternation among Village staff and the Village Board, and is extremely frustrating for the permit applicant.

Village recommends changes in order expedite the application review process. Since various departments are involved in the review of temporary use applications, we believe the objectives of public health, safety

and general welfare could be covered. Many communities in the area already review similar applications administratively.

In just the past 24 months, the Village has responded to temporary use applications for such purposes as: the American Legion bags tournament and poker run; Cystic Fibrosis cycling event; Tour de Cure cycling event (American Diabetes Association); Pure Pikemi a marathon event on the Virgil Gilman Trail; Rocky's Do Jo anniversary; model home sales offices at Prairie Glen and Meadowridge Villas to name just a few.

The Board discussed the process and asked that staff move forward with working on a plan to amend the process.

**Closed Session**

Trustee Paluch **moved to adjourn to closed session to discuss personal taking no action and to adjourn therefrom as per the exceptions to the open meetings act.** Trustee Geary seconded the motion. A roll call vote was then called.

drawings. Hearing no further discussion, President Michels called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	Herron
	Paluch				
	Johnson				
	Geary				
	Koch				

Motion Carried.

Meeting was adjourned at 7:10 p.m. by motion made by Trustee Johnson seconded by Trustee Montalto, all in attendance voted Aye in a Voice Vote.

Respectfully submitted, Cynthia L Galbreath, Clerk

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**VILLAGE OF SUGAR GROVE  
BOARD REPORT**

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**TO:** VILLAGE PRESIDENT MICHELS & BOARD OF TRUSTEES  
**FROM:** FINANCE  
**SUBJECT:** APPROVAL OF VOUCHERS  
**AGENDA:** AUGUST 4, 2015 BOARD MEETING  
**DATE:** JULY 31, 2015

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**ISSUE**

Approval of Vouchers

**DISCUSSION**

Vouchers for items purchased are submitted for payment and manual checks are noted for ratification.

**COST**

Vouchers total \$717,375.42 and manual checks total \$0.00

**RECOMMENDATION**

Approval of vouchers totalling \$717,375.42 and ratification of manual checks totaling \$0.00.

DATE: 07/31/15  
 TIME: 08:39:24  
 ID: AP441000.WOW

VILLAGE OF SUGAR GROVE  
 DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 08/04/2015

INVOICE #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
-----							
A0133	AURORA PARCEL SERVICE						
0721151326	07/21/15	01	W&S MARS-TRANSMITTERS	50596501		08/04/15	79.90
						INVOICE TOTAL:	79.90
						VENDOR TOTAL:	79.90
A0148	AMERICAN WATER WORKS ASSOC						
7001057491	06/29/15	01	W&S/MEMBERSHIP LEMKE	50596208		08/04/15	81.00
		02	10/1/15-9/30/16	** COMMENT **			
						INVOICE TOTAL:	81.00
						VENDOR TOTAL:	81.00
A8037	AIRGAS NORTH CENTRAL						
9911963899	07/31/13	01	W&S/CHEMICALS	50656607		08/04/15	24.15
						INVOICE TOTAL:	24.15
9928660221	06/30/15	01	W&S/CHEMICALS	50656607		08/04/15	18.60
						INVOICE TOTAL:	18.60
						VENDOR TOTAL:	42.75
B0230	BLUE CROSS & BLUE SHIELD OF IL						
AUGUST-15	07/13/15	01	ADM/HEALTH INSURANCE JULY 2015	01506201		08/04/15	2,164.97
		02	POL/HEALTH INSURANCE JULY 2015	01516201			15,358.25
		03	S&P/HEALTH INSURANCE JULY 2015	01536201			3,172.13
		04	BM/HEALTH INSURANCE JULY 2015	01546201			848.63
		05	CD/HEALTH INSURANCE JULY 2015	01556201			3,986.60
		06	FIN/HEALTH INSURANCE JULY 2015	01566201			1,291.89
		07	W&S/HEALTH INSURANCE JULY 2015	50506201			1,933.09
		08	PW/HEALTH INSURANCE JULY 2015	50596201			6,091.38
		09	EMP/EMPLOYEE SHARE JULY 2015	01002180			6,409.14
						INVOICE TOTAL:	41,256.08
						VENDOR TOTAL:	41,256.08
C0011	CRYDER ENTERPRISES, INC.						

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C0011	CRYDER ENTERPRISES, INC.						
1975	07/26/15	01	W&S/SANDBLAST & PAINT FIRE HYD	50606309		08/04/15	20,000.00
						INVOICE TOTAL:	20,000.00
						VENDOR TOTAL:	20,000.00
C0034	CALL ONE						
10108662000715	07/15/15	01	ADM/7/15-8/14 CALL ONE	01506502		08/04/15	52.25
		02	POL/7/15-8/14 CALL ONE	01516502			227.58
		03	S&P/7/15-8/14 CALL ONE	01536502			29.37
		04	BM/7/15-8/14 CALL ONE	01546502			95.38
		05	CD/7/15-8/14 CALL ONE	01556502			102.63
		06	FIN/7/15-8/14 CALL ONE	01566502			52.25
		07	W&S/7/15-8/14 CALL ONE	50506502			82.34
		08	PW/7/15-8/14 CALL ONE	50596502			201.51
		09	S&P/TI 9392	01536502			113.23
		10	PW/T1 9392	50596502			113.22
						INVOICE TOTAL:	1,069.76
						VENDOR TOTAL:	1,069.76
C0384	COMPUTER NETWORK MGMT. LLC						
150610	06/30/15	01	IT/UPDATES,MAINT,DESKTOP,SERV	01496307		08/04/15	682.00
		02	PWIT/UPDATES,MAINT,DESKTOP,SER	50496307			858.00
						INVOICE TOTAL:	1,540.00
150710	07/15/15	01	IT/UPDATES,MAINT,DESKTOP,SRV	01496307		08/04/15	704.00
		02	PWIT/UPDATES,MAINT,DESKTOP,SRV	50496307			550.00
		03	IT/JUNGLE DISK BACK UP	01496307			19.50
		04	PWIT/JUNGLE DISK BACK UP	50496307			19.50
						INVOICE TOTAL:	1,293.00
						VENDOR TOTAL:	2,833.00
C0394	CLAESSON JANITORIAL SERVICE						
5529	07/26/15	01	BM/JANITORIAL SRVS JULY 2015	01546406		08/04/15	1,087.50

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C0394	CLAESSON JANITORIAL SERVICE						
5529	07/26/15	02	W&S/JANITORIAL SRVS JULY 2015	50596406		08/04/15	412.50
						INVOICE TOTAL:	1,500.00
						VENDOR TOTAL:	1,500.00
C8033	CROWN TROPHY						
12435	07/16/15	01	BOARD/NAME PLATES KOCH/WILSON	01576504		08/04/15	24.00
						INVOICE TOTAL:	24.00
						VENDOR TOTAL:	24.00
C8038	COMPASS MINERALS AMERICA						
71359249	07/22/15	01	W&S/SALT WELL #10	50606607		08/04/15	3,126.75
						INVOICE TOTAL:	3,126.75
						VENDOR TOTAL:	3,126.75
C8040	CTS OF ILLINOIS						
F&S15-100	06/11/15	01	BM/ANNUAL ALARM INSPECT WELL	50596406		08/04/15	486.25
		02	10&11	** COMMENT **			
						INVOICE TOTAL:	486.25
						VENDOR TOTAL:	486.25
D8026	DYNEGY ENERGY SERVICES						
146638815071	07/28/15	01	W/0135162168 ENERGY 6/24-7/23	50606511		08/04/15	5,827.31
						INVOICE TOTAL:	5,827.31
						VENDOR TOTAL:	5,827.31
E0012	RANDAL ERICKSON						
2015 721	07/21/15	01	CD/INSPECTIONS 7/6-19/15	01556309		08/04/15	2,520.00
						INVOICE TOTAL:	2,520.00
						VENDOR TOTAL:	2,520.00

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E0510	ELMUND AND NELSON, CO.						
15006034	06/30/15	01	S&P/PROVIDE&INSTALL	01536405		08/04/15	12,300.00
		02	STREETLGTS 120 E. PARK GORDON	** COMMENT **			
		03	RD	** COMMENT **			
						INVOICE TOTAL:	12,300.00
						VENDOR TOTAL:	12,300.00
E0544	ENGINEERING ENTERPRISES, INC.						
56576BALANCE	07/07/15	01	CD/MEADOWRIDGEVILLA SG0627	01556303		08/04/15	350.00
						INVOICE TOTAL:	350.00
56577 BALANCE	07/07/15	01	CD/PRAIRIE GLEN UNIT 1 SG0734	01556303		08/04/15	675.00
						INVOICE TOTAL:	675.00
56581BALANCE	07/07/15	01	W&S/FAYS LN WATER	50716303		08/04/15	3,451.00
		02	IMPROV.SG1309	** COMMENT **			
						INVOICE TOTAL:	3,451.00
						VENDOR TOTAL:	4,476.00
E1900	ENTERLAGIX CORPORATION						
1245	06/19/15	01	PWIT/IT REVIEW	50496307		08/04/15	712.50
		02	GFIT/IT REVIEW	01496307			712.50
						INVOICE TOTAL:	1,425.00
						VENDOR TOTAL:	1,425.00
E1901	EJ EQUIPMENT, INC						
69992	07/21/15	01	W&S/REPAIR KIT FOR VACTOR	50656612		08/04/15	91.13
		02	W&S/FREIGHT	50596501			16.39
						INVOICE TOTAL:	107.52
						VENDOR TOTAL:	107.52
F0602	4 SEASONS LANDSCAPING PLUS, INC						

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F0602	4 SEASONS LANDSCAPING PLUS, INC						
5816U	07/27/15	01	S&P/CLEANUPSIGN AREA AT ENTRNC	01536405		08/04/15	2,000.00
		02	W&S/WELL 7 CLEAN UP	50596406			950.00
						INVOICE TOTAL:	2,950.00
						VENDOR TOTAL:	2,950.00
F0656	FOX METRO WATER RECLAMATION						
061250-0715	07/20/15	01	BM/10 MUNI SEWER 4/30-6/30	01546512		08/04/15	48.96
						INVOICE TOTAL:	48.96
063908-0715	07/20/15	01	BM/601HEARTLAND 4/30-6/30	01546512		08/04/15	40.80
		02	W&S/601HEARTLAND 4/30-6/30	50596512			40.80
						INVOICE TOTAL:	81.60
065296-0715	07/20/15	01	BM/160MUNI SEWER 4/30-6/30	01546512		08/04/15	-4.92
						INVOICE TOTAL:	-4.92
						VENDOR TOTAL:	125.64
G0739	GENEVA CONSTRUCTION COMPANY						
PAY EST 6	07/22/15	01	S&P/DUGAN/GRANART REALIGN PROJ	35537008		08/04/15	452,497.97
		02	S&P/LESS RETAINAGE	35537008			-45,249.80
						INVOICE TOTAL:	407,248.17
						VENDOR TOTAL:	407,248.17
G1123	GRAINCO FS, INC.						
28674	07/13/15	01	S&P/GRASS SEED	01536606		08/04/15	194.66
		02	W&S/GRASS SEED	50606606			194.66
						INVOICE TOTAL:	389.32
						VENDOR TOTAL:	389.32
G8009	GUARDIAN						
503669-0815	07/17/15	01	ADM/DENTAL INSURANCE AUG 2015	01506201		08/04/15	132.37

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G8009	GUARDIAN						
503669-0815	07/17/15	02	POL/DENTAL INSURANCE AUG 2015	01516201		08/04/15	866.67
		03	S&P/DENTAL INSURANCE AUG 2015	01536201			219.56
		04	BM/DENTAL INSURANCE AUG 2015	01546201			58.06
		05	CD/DENTAL INSURANCE AUG 2015	01556201			274.62
		06	FIN/DENTAL INSURANCE AUG 2015	01566201			77.34
		07	W&S/DENTAL INSURANCE AUG 2015	50506201			99.68
		08	PW/DENTAL INSURANCE AUG 2015	50596201			457.74
		09	EMP/EMPLOYEE SHARE AUG 2015	01002180			545.95
						INVOICE TOTAL:	2,731.99
						VENDOR TOTAL:	2,731.99
H0803	HACH COMPANY						
9468783	07/13/15	01	W&S/LAB SUPPLIES & CHLORINE	50606607		08/04/15	240.27
						INVOICE TOTAL:	240.27
						VENDOR TOTAL:	240.27
H1483	HD SUPPLY WATERWORKS, LTD						
E138462	07/08/15	01	W&S/VALVE REPAIR AT MALLARD	50606603		08/04/15	93.74
						INVOICE TOTAL:	93.74
						VENDOR TOTAL:	93.74
H8026	HOLIAN ASBESTOS REMOVAL &						
53567	07/17/15	01	S&P/ASBESTOS REMOVAL -	35537008		08/04/15	3,000.00
		02	43W220 US HWY 30	** COMMENT **			
						INVOICE TOTAL:	3,000.00
						VENDOR TOTAL:	3,000.00
I0007	ILLINOIS STATE POLICE						
07212015	07/21/15	01	FIN/PREPAY BACKGROUND CHECK	01566509		08/04/15	250.00
						INVOICE TOTAL:	250.00
						VENDOR TOTAL:	250.00

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I0943	ILLINOIS STATE TOLL						
G15666787	07/05/15	01	S&P/TOLLS	01536507		08/04/15	13.50
		02	W&S/TOLLS	50596507			9.20
		03	FIN/TOLLS	01566507			2.90
		04	W&S/TOLLS	50506507			2.95
						INVOICE TOTAL:	28.55
						VENDOR TOTAL:	28.55
K0021	KB COLLISION & CUSTOMS						
07082015	07/08/15	01	PD/REPAIRS 2013 FORD TAURUS	01516407		08/04/15	1,743.95
						INVOICE TOTAL:	1,743.95
07102015A	07/10/15	01	PD/REPAIRS 2013 FORD TAURUS	01516407		08/04/15	50.00
						INVOICE TOTAL:	50.00
07102015B	07/10/15	01	PD/REPAIRS 2013 FORD TAURUS	01516407		08/04/15	150.00
						INVOICE TOTAL:	150.00
						VENDOR TOTAL:	1,943.95
K1122	KENDALL COUNTY CONCRETE INC						
36964	07/17/15	01	S&P/REPLACE PUBLIC WALK 296	01536609		08/04/15	470.00
		02	EXETER	** COMMENT **			
						INVOICE TOTAL:	470.00
						VENDOR TOTAL:	470.00
K1132	KENDALL PRINTING						
1788	07/24/15	01	POL/CASH RECIEPT BOOKS	01556504		08/04/15	266.95
						INVOICE TOTAL:	266.95
						VENDOR TOTAL:	266.95
K1321	KONICA MINOLTA BUSINESS						
235095673	07/14/15	01	S&P/COPIES THRU 7/14/15	01536403		08/04/15	9.24

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VILLAGE OF SUGAR GROVE  
 DETAIL BOARD REPORT

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-----							
K1321	KONICA MINOLTA BUSINESS						
235095673	07/14/15	02	BM/COPIES THRU 7/14/15	01546403		08/04/15	0.02
		03	CD/COPIES THRU 7/14/15	01556403			29.08
		04	W&S/COPIES THRU 7/14/15	50596403			19.64
		05	UB/COPIES THRU 7/14/15	50506403			2.71
		06	B&C/COPIES THRU 7/14/15	01576403			27.71
		07	EDC/COPIES THRU 7/14/15	01556103			15.87
						INVOICE TOTAL:	104.27
235095781	07/14/15	01	POL/COPIES THRU 6/15-7/14	01516403		08/04/15	105.62
						INVOICE TOTAL:	105.62
235096203	07/14/15	01	FIN/COPIES THRU 6/15-7/14	01566403		08/04/15	12.72
		02	UB/COPIES THRU 6/15-7/14	50506103			86.05
						INVOICE TOTAL:	98.77
						VENDOR TOTAL:	308.66
M0024	MCHENRY ANALYTICAL WATER						
388042	07/10/15	01	W&S/WATER SAMPLES FLORDE, IRON	50606311		08/04/15	90.00
		02	W&S/IOC	50606311			520.00
						INVOICE TOTAL:	610.00
						VENDOR TOTAL:	610.00
M0025	MUTUAL OF OMAHA						
398407320	07/21/15	01	ADM/LIFE INSURANCE AUGUST 2015	01506202		08/04/15	13.20
		02	POL/LIFE INSURANCE AUGUST 2015	01516202			96.00
		03	S&P/LIFE INSURANCE AUGUST 2015	01536202			32.00
		04	BM/LIFE INSURANCE AUGUST 2015	01546202			8.00
		05	CD/LIFE INSURANCE AUGUST 2015	01556202			32.00
		06	FIN/LIFE INSURANCE AUGUST 2015	01566202			8.00
		07	W&S/LIFE INSURANCE AUGUST 2015	50506202			10.80
		08	PW/LIFE INSURANCE AUGUST 2015	50596202			48.00
						INVOICE TOTAL:	248.00
						VENDOR TOTAL:	248.00

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M0028	MEADE ELECTRIC CO, INC.						
669547	07/14/15	01	S&P/EVP REPAIRS @ 30 & MUNI	01536405		08/04/15	1,225.79
						INVOICE TOTAL:	1,225.79
						VENDOR TOTAL:	1,225.79
M1316	MID AMERICAN WATER						
115140A	07/02/15	01	W&S/WATER MAIN REPAIR PARTS	50606603		08/04/15	492.64
						INVOICE TOTAL:	492.64
						VENDOR TOTAL:	492.64
M1397	MIDWEST ENVIRONMENTAL						
15-501	07/15/15	01	S&P/ASBESTOS SURVEY CONDUCT	35537008		08/04/15	1,200.00
		02	591 HWY 30	** COMMENT **			
						INVOICE TOTAL:	1,200.00
						VENDOR TOTAL:	1,200.00
N0280	NCPERS GROUP LIFE INSURANCE						
41660815	07/23/15	01	SUPPLEMENTAL LIFE INS -AUG2015	01002180		08/04/15	112.00
						INVOICE TOTAL:	112.00
77040815	07/23/15	01	SUPPLEMENTAL LIFE INS -AUG2015	01002180		08/04/15	16.00
						INVOICE TOTAL:	16.00
						VENDOR TOTAL:	128.00
N1414	NORTH EAST MULTI-REGIONAL						
198790	07/08/15	01	POL/RIFLE CARBINE INSTRUCT-EG	01516208		08/04/15	500.00
						INVOICE TOTAL:	500.00
						VENDOR TOTAL:	500.00
N1415	NICOR GAS						
072315	07/23/15	01	S/94-50-04-82487 6/24-7/23	50656510		08/04/15	81.33
						INVOICE TOTAL:	81.33

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-----							
N1415	NICOR GAS						
072315A	07/23/15	01	W/27-73-72-10008 6/24-7/24	50606510		08/04/15	24.55
						INVOICE TOTAL:	24.55
072415	07/24/15	01	W/06-18-79-0003 6/23-7/24	50606510		08/04/15	29.43
						INVOICE TOTAL:	29.43
						VENDOR TOTAL:	135.31
O1535	ORLEANS RHIL						
2014 1257	07/16/15	01	CD/ESCROW FOR 871 SNOW LOT 94	01002359		08/04/15	8,380.00
						INVOICE TOTAL:	8,380.00
2015 723	07/27/15	01	CD/REF ESCROW 785 RIDGEVIEW	01002359		08/04/15	8,690.00
		02	LOT 8 PG	** COMMENT **			
						INVOICE TOTAL:	8,690.00
2015 723A	07/27/15	01	CD/ESCROW FOR 405 YOLANE	01002359		08/04/15	7,940.00
						INVOICE TOTAL:	7,940.00
2015 728	07/28/15	01	CD/ESCROW FOR 859 SNOW ST	01002359		08/04/15	8,820.00
						INVOICE TOTAL:	8,820.00
						VENDOR TOTAL:	33,830.00
P0006	PADDOCK PUBLICATIONS INC						
T4412635	07/11/15	01	CD/NORTH AURORA BOUNDARY AGMT	01556503		08/04/15	78.20
						INVOICE TOTAL:	78.20
						VENDOR TOTAL:	78.20
P0500	VICTOR E. PUSCAS, JR.						
126	07/15/15	01	POL/VEHICLE SEIZ/IMPOUND	01516301		08/04/15	350.00
						INVOICE TOTAL:	350.00
						VENDOR TOTAL:	350.00

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-----							
P1636	POMP'S TIRE SERVICE, INC						
410267231	04/23/15	01	POL/TIRES QTY 4	01516407		08/04/15	510.12
						INVOICE TOTAL:	510.12
410269868	05/13/15	01	POL/TIRES QTY 3	01516407		08/04/15	398.73
						INVOICE TOTAL:	398.73
410270146	05/13/15	01	POL/TIRES QTY 3	01516407		08/04/15	398.73
						INVOICE TOTAL:	398.73
410270332	05/11/15	01	POL/TIRES QTY 4	01516407		08/04/15	510.12
						INVOICE TOTAL:	510.12
						VENDOR TOTAL:	1,817.70
R0001	RADCO COMMUNICATIONS, INC.						
80863	07/16/15	01	POL/VHF RADIO SYSTEM DODGE	01516403		08/04/15	70.00
						INVOICE TOTAL:	70.00
						VENDOR TOTAL:	70.00
R0023	RT REPAIRS						
10578	07/09/15	01	W&S/TRUCK REPAIRS TRK #07	50596407		08/04/15	2,177.60
						INVOICE TOTAL:	2,177.60
						VENDOR TOTAL:	2,177.60
R1813	RICH'S AUTO SERVICE						
06162015	06/16/15	01	POL/OIL/FILTERS/SQD45,41,TAURS	01516407		08/04/15	165.20
						INVOICE TOTAL:	165.20
06242015	06/24/15	01	POL/OIL,FILTER,SQD 43	01516407		08/04/15	69.40
						INVOICE TOTAL:	69.40
06292015	06/29/15	01	POL/TIRE REPAIR EXP 48	01516407		08/04/15	20.00
						INVOICE TOTAL:	20.00

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-----							
R1813	RICH'S AUTO SERVICE						
07012015	07/01/15	01	POL/OIL, FILTER, TIRE ROTATE	01516407		08/04/15	63.40
		02	EXP48	** COMMENT **			
						INVOICE TOTAL:	63.40
07142015	07/14/15	01	POL/WASHER PUMP SQD 44	01516407		08/04/15	96.45
						INVOICE TOTAL:	96.45
07152015	07/15/15	01	POL/SEIZED VEHICLE TOW & STRGE	01516309		08/04/15	350.00
						INVOICE TOTAL:	350.00
07162015	07/16/15	01	POL/OIL, FILTER, TIRE ROTATE	01516407		08/04/15	123.80
		02	SQD 49 &TAURUS	** COMMENT **			
						INVOICE TOTAL:	123.80
07222015	07/22/15	01	POL/OIL, FILTER, SQD 50	01516407		08/04/15	43.40
						INVOICE TOTAL:	43.40
						VENDOR TOTAL:	931.65
R1848	R & R ELECTRICAL CONTRACTORS,						
6247	07/14/15	01	W&S/WELL 10 REPAIRS	50606406		08/04/15	420.00
						INVOICE TOTAL:	420.00
						VENDOR TOTAL:	420.00
S0041	SIGN FX						
8821	05/29/15	01	S&P/18"X14" GOLF EVENT SIGNS	35537008		08/04/15	460.00
						INVOICE TOTAL:	460.00
8832	06/15/15	01	POL/SIGNAGE	35537008		08/04/15	780.00
						INVOICE TOTAL:	780.00
						VENDOR TOTAL:	1,240.00
S0046	STA ENTERPRISES, INC.						

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-----							
S0046	STA ENTERPRISES, INC.						
4164	07/01/15	01	BM/DOWNSPOUT REPAIR 100 NEW	50606406		08/04/15	100.00
		02	BOND	** COMMENT **			
						INVOICE TOTAL:	100.00
						VENDOR TOTAL:	100.00
S1947	STERLING CODIFIERS, INC.						
16881	07/19/15	01	BOARD/CODE UPDATES	01576309		08/04/15	3,218.00
						INVOICE TOTAL:	3,218.00
						VENDOR TOTAL:	3,218.00
S8043	SUGAR GROVE ACE						
584/1	05/08/15	01	S&P/SPRAYER	01536606		08/04/15	11.96
						INVOICE TOTAL:	11.96
787/1	07/07/15	01	W&S/HARDWARE	50606612		08/04/15	21.24
		02	S&P/HARDWARE	01536612			21.24
						INVOICE TOTAL:	42.48
804/1	07/13/15	01	POL/KEY/CABLE TIES	01516613		08/04/15	19.84
						INVOICE TOTAL:	19.84
811/1	07/15/15	01	POL/PADLOCK/HANDBOX, TAGPAPER	01516613		08/04/15	29.47
						INVOICE TOTAL:	29.47
816/1	07/16/15	01	POL/PADLOCK/HANDBOX	01516613		08/04/15	-21.98
						INVOICE TOTAL:	-21.98
						VENDOR TOTAL:	81.77
T0001587	FIDELITY NATIONAL TITLE INSUR						
2015 721	07/21/15	01	CD/LEGAL&INCIDENTAL COST ESCRW	01002359		08/04/15	215.50
		02	990 CHESTNUT HILL LN, LOT 36	** COMMENT **			
						INVOICE TOTAL:	215.50
						VENDOR TOTAL:	215.50

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T0001588 MIDWEST CUSTOM HOMES							
20141355	07/21/15	01	CD/IMPRVMT ESCROW 1759	01002359		08/04/15	2,000.00
		02	HUNTERS RIDGE	** COMMENT **			
						INVOICE TOTAL:	2,000.00
						VENDOR TOTAL:	2,000.00
T0001589 LIGHTHOUSE CUSTOM BUILDERS							
20141355	07/17/15	01	CD/IMPRVMT ESCROW 947 REDBUD	01002359		08/04/15	2,000.00
						INVOICE TOTAL:	2,000.00
						VENDOR TOTAL:	2,000.00
T0001590 JACK F ARMBRUSTER							
024000061501	07/29/15	01	W&S/FNL W&S REF 43W404 HWY 30	50001210		08/04/15	5.29
						INVOICE TOTAL:	5.29
						VENDOR TOTAL:	5.29
T0001591 ROGER AGOSTINI							
024000061202	07/29/15	01	W&S/FNL W&S REF 43W404 HWY 30	50001210		08/04/15	29.12
						INVOICE TOTAL:	29.12
						VENDOR TOTAL:	29.12
T0001592 TERESA KUTA							
023130050203	07/29/15	01	W&S/FNL W&S REF 1195 SETTLERS	50001210		08/04/15	50.00
						INVOICE TOTAL:	50.00
						VENDOR TOTAL:	50.00
T0001593 KRISTOF SCHNIEDER							
023100012001	07/29/15	01	W&S/FNL W&S REF 1282 AIRS AVE	50001210		08/04/15	8.15
						INVOICE TOTAL:	8.15
						VENDOR TOTAL:	8.15

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-----							
T0001594 DENISE SMITH							
023000006200	07/29/15	01	W&S/FNL W&S REF 136 MONNA ST	50001210		08/04/15	7.49
						INVOICE TOTAL:	7.49
						VENDOR TOTAL:	7.49
T0001595 SAM RAIA							
027200004602	07/29/15	01	W&S/FNL W&S REF 241 EXETER	50001210		08/04/15	141.09
						INVOICE TOTAL:	141.09
						VENDOR TOTAL:	141.09
T0001596 FREDERICK SHOAFF							
026200014400	07/29/15	01	W&S/FNL W&S REF 9 SADDLEWOOD	50001210		08/04/15	56.94
						INVOICE TOTAL:	56.94
						VENDOR TOTAL:	56.94
T0001597 TRACEY CLEAVER							
026400008601	07/29/15	01	W&S/FNL W&S REF 8 LAURA LN	50001210		08/04/15	25.58
						INVOICE TOTAL:	25.58
						VENDOR TOTAL:	25.58
T0001598 THOMAS FITZGERALD							
027100001600	07/29/15	01	W&S/FNL W&S REF 611 WILLOW	50001210		08/04/15	107.27
						INVOICE TOTAL:	107.27
						VENDOR TOTAL:	107.27
T0001599 BRIAN DUTRO							
050115	07/27/15	01	S&P/REFND DIFF TREE PRICE	01536606		08/04/15	60.40
						INVOICE TOTAL:	60.00
						VENDOR TOTAL:	60.00
T2014	TRAFFIC CONTROL & PROTECTION						

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T2014	TRAFFIC CONTROL & PROTECTION						
83847	07/17/15	01	S&P/STREET SIGNS & SUPPLIES	01536610		08/04/15	1,555.20
						INVOICE TOTAL:	1,555.20
						VENDOR TOTAL:	1,555.20
T2035	TREASURER STATE OF ILLINOIS						
108616	07/01/15	01	S&P/47/CROSS CONTRACT #63700	35537008		08/04/15	143,984.15
						INVOICE TOTAL:	143,984.15
						VENDOR TOTAL:	143,984.15
V1610	VILLAGE OF SUGAR GROVE						
VARIOUS2	07/29/15	01	BD/7/10/15 PYRLL WIRE FEE REIM	01566910		08/04/15	87.87
						INVOICE TOTAL:	87.87
						VENDOR TOTAL:	87.87
V2211	VAN'S LOCK AND KEY						
56775	07/19/15	01	BM/PAD LOCKS & KEYS	50596406		08/04/15	474.00
						INVOICE TOTAL:	474.00
						VENDOR TOTAL:	474.00
W0005	WILLIAMS ARCHITECTS						
0016511	07/22/15	01	ADM/VILLAGEHALL 2015-004	30507002		08/04/15	324.00
		02	JUNE2015	** COMMENT **			
						INVOICE TOTAL:	324.00
						VENDOR TOTAL:	324.00
Y2515	YORKVILLE NAPA AUTO PARTS						
111049	07/06/15	01	W&S/VEHICLE MAINT SUPPLIES	50596617		08/04/15	64.95
		02	S&P/VEHICLE MAINT SUPPLIES	01536617			64.95
						INVOICE TOTAL:	129.90

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Y2515	YORKVILLE NAPA AUTO PARTS						
111731	07/15/15	01	W&S/VEHICLE MAINT SUPPLIES	50596617		08/04/15	28.33
		02	S&P/VEHICLE MAINT SUPPLIES	01536617			28.32
						INVOICE TOTAL:	56.65
						VENDOR TOTAL:	186.55
						TOTAL ALL INVOICES:	717,375.42

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**VILLAGE OF SUGAR GROVE  
BOARD REPORT**

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**TO:** VILLAGE PRESIDENT & BOARD OF TRUSTEES  
**FROM:** WALTER MAGDZIARZ, COMMUNITY DEVELOPMENT DIRECTOR  
MIKE FERENCAK, VILLAGE PLANNER  
**SUBJECT:** RESOLUTION: APPROVING A TEMPORARY USE AT 65 1<sup>ST</sup>  
STREET FOR THE SUGAR GROVE AMERICAN LEGION  
**AGENDA:** AUGUST 4, 2015 REGULAR VILLAGE BOARD MEETING  
**DATE:** JULY 29, 2015

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**ISSUE**

Should the Village Board approve a Temporary Use for a group of assembly activity at 65 1<sup>st</sup> Street for the Sugar Grove American Legion's 2<sup>nd</sup> Bean Bag Tournament.

**DISCUSSION**

The Sugar Grove American Legion submitted an application for Temporary Use permit in order to host a Bean Bag Tournament on Saturday, August 29, 2015 from 10:00 am to 10:00 pm at its site, 65 1<sup>st</sup> Street. Parking would be available at the Sugar Grove Township Highway Department building across the street, 70 1<sup>st</sup> Street.

According to the Village of Sugar Grove Zoning Ordinance Section 11-4-8 Temporary Uses, the Village Board may approve of temporary uses, provided that a written review, including findings, is completed by staff, the temporary use is granted with a specific time limit, and subject to any conditions which may be necessary to ensure the public health, safety, and general welfare.

This request is for a group of assembly activity. Group of assembly activities may be allowed daily for two weeks, three times per calendar year. The request is only for one day. The Sugar Grove American Legion hosted two prior events this year. The event would include the bean bag equipment in the parking lot and alcohol would be served.

Staff's review of the request including responses to Section 11-4-8-E Findings, Section 11-4-8-F Temporary Use Permit, and Section 11-4-8-G Conditions is attached.

The specific request is for Temporary Use for a group of assembly activity at 65 1<sup>st</sup> Street, pursuant to the Village of Sugar Grove Zoning Ordinance Section 11-4-8 Temporary Uses, Structures, and Buildings.

Staff has reviewed this request and recommends approval subject to the following conditions:

1. That this Temporary Use is only valid for August 29, 2015 and is limited to the 65 1<sup>st</sup> Street and 70 1<sup>st</sup> Street properties.
2. That this Temporary Use is only valid for the Sugar Grove American Legion and attendees at this event.
3. That all areas shall be completely cleaned of equipment and debris by the following day after termination of the Temporary Use.
4. That the property shall be maintained in compliance with all Village codes and ordinances during the course of the event.
5. That service of alcoholic beverages is allowed as permitted by the Illinois and Sugar Grove Liquor Commissions.

The following items are attached for your information:

1. Temporary Use Application
2. Site Plan
3. Certificate of Insurance
4. Letter from Township
5. Staff's review.
6. Draft Resolution.

### **COST**

There is no cost associated with this request.

### **RECOMMENDATION**

That the Village Board approve Resolution 2015-0804 Approving a Temporary Use at 65 1<sup>st</sup> Street for the Sugar Grove American Legion.



**VILLAGE OF SUGAR GROVE  
KANE COUNTY, ILLINOIS**

**RESOLUTION NO. 2015-0804**

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**A Resolution Approving a Temporary Use for a Group of Assembly Activity  
at 65 1st Street for Sugar Grove American Legion 2<sup>nd</sup> Bean Bag Tournament**

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Adopted by the  
Board of Trustees and President  
of the Village of Sugar Grove  
this 4<sup>th</sup> day of August, 2015

Published in Pamphlet Form  
by authority of the Board of Trustees  
of the Village of Sugar Grove, Kane County, Illinois  
this 4<sup>th</sup> day of August, 2015

**RESOLUTION NO. 2015-0804**

**A Resolution Approving a Temporary Use for a Group of Assembly Activity  
at 65 1st Street for Sugar Grove American Legion 2<sup>nd</sup> Bean Bag Tournament**

**BE IT RESOLVED** by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

**WHEREAS**, the Village of Sugar Grove is not a home rule municipality within Article VII, Section 6A of the Illinois Constitution and, pursuant to the powers granted to it under 65 ILCS 5/1-1 *et seq.*; and,

**WHEREAS**, the subject property is proposed for a Temporary Use to allow a group of assembly activity; and,

**WHEREAS**, the subject property is governed by Section 11-4-8 Temporary Uses, Structures, and Buildings of the Sugar Grove Zoning Ordinance and this temporary use requires Village Board approval; and,

**WHEREAS**, the Village Board has reviewed and approved this temporary use subject to conditions.

**NOW, THEREFORE, BE IT RESOLVED** by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

**SECTION ONE: CONDITIONS OF APPROVAL**

That the Temporary Use for a special event at 65 1st Street (Sugar Grove American Legion) is hereby approved, subject to the following conditions:

1. That this Temporary Use is only valid for August 29, 2015 and is limited to the 65 1st Street and 70 1st Street properties.
2. That this Temporary Use is only valid for the Sugar Grove American Legion and attendees at this event.
3. That all areas shall be completely cleaned of equipment and debris by the following day after termination of the Temporary Use.
4. That the property shall be maintained in compliance with all Village codes and ordinances during the course of the event.
5. That service of alcoholic beverages is allowed as permitted by the Illinois and Sugar Grove Liquor Commissions.

**SECTION TWO: REPEALER**

That all resolutions or parts of resolutions in conflict herewith are hereby repealed to the extent of any such conflict.

**SECTION THREE: SEVERABILITY**

Should any provision of this resolution be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and effect the same as if the invalid provision had not been a part of this resolution.

**SECTION FOUR: EFFECTIVE DATE**

This resolution shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

**PASSED AND APPROVED** by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, this 4<sup>th</sup> day of August, 2015.

\_\_\_\_\_  
P. Sean Michels  
President of the Board of Trustees  
of the Village of Sugar Grove,  
Kane County, Illinois

	Aye	Nay	Absent
Geary	___	___	___
Herron	___	___	___
Johnson	___	___	___
Koch	___	___	___
Montalto	___	___	___
Paluch	___	___	___

ATTEST:

\_\_\_\_\_  
Cynthia L. Galbreath  
Clerk, Village of Sugar Grove



## *Special and Temporary Events*

10 S. Municipal Drive  
Sugar Grove, IL 60554  
Phone 630-466-4507  
Fax 630-466-4521

### *Guidelines and Permit Process*

The Special/Temporary Events process has been established in order to safeguard the public health, safety, and general welfare and prevent the creation of any nuisance or annoyance to the occupants of adjacent buildings, premises or property, and the general public.

All organizations and businesses, both non-for-profit and for-profit, are required to submit an application for a Special Temporary Event and obtain Village Board approval to conduct any groups of assemble e.g., outdoor festival, street fair, carnival, circus rodeos, and sport events, located on any public way or private property. *This provision does not apply to a business's normal scope of operations, such as recitals or other routine student performances and other activities not open to the general public that are customary and incidental to the businesses.*

Your application, and site plan and all other required documentation MUST be received at least EIGHT (8) WEEKS prior to the proposed date of your event in the office of the Village Clerk. The Village Clerk will forward the pertinent information to the applicable departments. Applications must be filled out completely in order to be processed. Do not put "same as last year" as the file containing last year's application may not be available for review. If the question does not apply to your event, mark the space "N/A".

Organizers/applicants for a special event may be required to meet with the Sugar Grove Police Chief, the Public Works Director, members of the Village Staff and the Sugar Grove Fire Department for the purpose of discussing the plan. You will be contacted prior to a permit being issued only if there is a need to clarify information, work out proposed changes or reimbursement costs associated with using the site requested such as solid waste removal, traffic management, and police services.

A certificate of Insurance for \$1,000,000 combined single limit per occurrence for bodily injury, personal injury and property damage. The general aggregate shall be twice the required

occurrence limit. Minimum General Aggregate shall be no less than \$2,000,000. The Village of Sugar Grove shall be named as the Certificate Holder and an additional insured.

Each applicant must provide a site plan, traffic plan, parking plan, emergency and security plan for the event. The site plan must clearly define the area for the event and show all permanent and temporary structures. If liquor is to be sold, the site plan must clearly indicate the liquor booth location(s) and the number of stations in each booth.

Should the location(s) of the event be held on property owned/operated by others an approval letter must be submitted with the application.

Emergency and Security Plans must be approved by the Sugar Grove Police and Fire Departments. An Emergency Plan that includes at a minimum the following must be submitted.

- A Site plan showing the event that includes vendor and patron parking and emergency vehicle access
- Contact information for the person or persons that are the designated individual(s) to monitor the conduct of patrons and vendors. It is suggested that the individuals acting as monitors wear some type of identification (badge, armband, jacket, cap or shirt)
- Designate a location on the site plan as a "Command Post"
- Designated emergency shelter
- Establishment of a communication system (two-way radios are suggested)
- Designated individual to act as a liaison between event sponsors and Village Departments and the Sugar Grove Fire Department.

After receipt of all required information, the application will be reviewed. You will be notified if the event has been approved. Do not assume that all aspects of the event will be approved; you may be asked to make some changes to your plan based on the availability of services and scheduling of other events.

Thank you for taking the time to complete this application clearly and completely.

We look forward to working with you on a very successful event. If you have any questions regarding this application please call the Village of Sugar Grove office of the Village Clerk at 630- 466-4507.

## Submittal Check List

### Required Forms and Submittals

- Special Event Application Form *TSE A*
- Request For Service(s) Form *TSE D*
- Site Plan - Site Plan must indicate parking, location of all vendors, events (carnivals etc.), ingress and egress, emergency shelter, emergency vehicle access, command post, and fencing location
- Signage Information
- Terms and Conditions and Hold Harmless Form *TSE C*
- Certificate of Insurance
- Traffic Plan
- Signage Plan
- Emergency Plan
- Security Plan

### Additional Forms and submittals – event dependent

- Liquor Vendor Approval Form *TSE E*
- Liquor License Application
- Fireworks Application
- Temporary Structure Information and Permit (Tents) Form *TSE B*
- Approval letter(s) from the event location(s)

**Village of Sugar Grove  
Special and Temporary Event Permit Application**

Form TSE A Page 1 Modified September 4, 2012
--

Name of Event:	
Location of Event:	
Type of Event: <input type="checkbox"/> Festival <input type="checkbox"/> Concert <input type="checkbox"/> Rally <input type="checkbox"/> Foot Race <input type="checkbox"/> March/Parade* <input type="checkbox"/> Walk-a-Thon* <input type="checkbox"/> Other _____	
* Attach proposed route or map, including assembly and disbanding areas. In the event that a State Route must be temporarily closed, please allow extra time so that approvals can be acquired from the State of Illinois Department of Transportation.	
Date(s) of Event:	Hours of Event:
Estimated attendance at the Event:	Basis used to determine estimate attendance:
Describe the Event Purpose:	
<b>Name of Sponsoring Organization:</b>	
<b>Name of Organizer/Coordinator:</b>	
Address:	
Day time phone:	Evening phone:
E-mail:	
<b>Name of producing agent</b>	
Federal Employee ID Number:	
Address:	
Day time phone:	Evening phone:
E-mail:	

<b>Name of Carnival Company</b>	
Federal Employee ID Number:	
Address:	
Day time phone:	Evening phone:
Email:	
<b>Name of Sound Equipment Company:</b>	
Address:	
Day time phone:	Evening phone:
E-mail:	
<b>Name of Generator Company:</b>	
Address:	
Day time phone:	Evening phone:
E-mail:	
<b>Name of Tent Company:</b>	
Address:	
Day time phone:	Evening phone:
E-mail:	
<b>Name of Organizer/Coordinator:</b>	
Address:	
Day time phone:	Evening phone:
E-mail:	
Will there be food vendors? <input type="checkbox"/> yes <input type="checkbox"/> no	If yes, how many vendors? <input type="text"/> *Vendors must be licensed with Kane County Health Department
Will there be fireworks? <input type="checkbox"/> yes <input type="checkbox"/> no	If yes, a fireworks permit must be applied for
Will there be alcohol sales? <input type="checkbox"/> yes <input type="checkbox"/> no Alcohol vendors must be approved by the Event Sponsor. Refer to form TSE E	If yes, you must submit a Special Event Liquor License Application. (State special event liquor license is also required).
Indicate parking areas identified to accommodate persons attending event:	
Indicate parking area identified to accommodate events sponsors; employees, volunteers and other vehicles not needed on site:	
Will signs or banners be hung: <input type="checkbox"/> yes <input type="checkbox"/> no If yes how many? _____ Describe in detail the proposed location(s) or attach a site plan.	

## Special Event Service Request

Street Closure (must be approved by Sugar Grove Police Department)		<input type="checkbox"/> Yes <input type="checkbox"/> No	
List proposed streets to be closed:			
	Date and time of street closing:		
	Date and time of street re-opening:		
	Date and time of street closing:		
	Date and time of street re-opening:		
	Date and time of street closing:		
	Date and time of street re-opening:		
	Date and time of street closing:		
	Date and time of street re-opening:		
	Date and time of street closing:		
	Date and time of street re-opening:		
Closest cross streets to the event site:			
Posting of No Parking Signs	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Attach listing of street requested to be posted
Barricades Number needed	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Location of barricade delivery
Refuse Drums	<input type="checkbox"/> Yes	<input type="checkbox"/> No	Number needed
Refuse Collection	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Street Sweeping	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Water	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Restroom Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
<b>Other Services</b>			
Sound Equipment	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Electrical Services	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
<b>Name of Scavenger Company (if applicable):</b>			
Contact name:			
Phone Number:			
<b>Name of Maintenance Company (if applicable):</b>			
Contact Name:			
Phone Number:::			

**Village of Sugar Grove Special Event**

**Terms and Conditions**

The applicant must promptly reimburse the Village for (and make good to it) any damage of any kind to any property of the Village which may result from the use by the applicant of the Village’s premises under the permission granted herein.

Applicant further agrees that in consideration of the Village issuing a permit for the operation of a special event to Applicant, the Applicant hereby covenants and agrees to indemnify, defend (upon the Village’s election) and hold harmless the Village, its elected officials, agents and employees (collectively “Indemnities”) from all claims, liabilities, costs and expenses, including, without limitation, reasonable attorney’s fees and court costs, incurred by or brought against all or any of the Indemnities’ arising from or out of, directly or indirectly, the operation of the special event by Applicant in the Village, whether such claim is for personal injury, property damage, or otherwise, and whether in tort, contract, or otherwise.

Applicant hereby waives any and all claims, liabilities, costs and expenses, including, without limitation, reasonable attorney’s fees and court costs Applicant may hereafter have against the Village as a result of any actions taken by the Village, the Indemnities’, or by Applicant, or anyone acting on behalf of the Applicant, before, during, or after the operation of said special event.

I agree that the information in this application is true and correct to the best of my knowledge. I agree to inform the Village of Sugar Grove of any changes in this application at least 20 days prior to the date of the event. I agree to the terms and conditions listed above.

I hereby attest that I am authorized to bind the sponsor and/or its employees, agents, or volunteers associated or to be associated with the activity for which the permit is being sought, to the terms of this agreement. I have read and understand all regulations and requirements outlined herein. I/we do hereby agree to abide by all rules and regulations outlined herein. I/we hereby agree to meet all requirements for documentation, certification, licensing, financial responsibility and al other aspects of staging a Special / Temporary Event in the Village of Sugar Grove as outlined herein. I/we understand that our lack of meeting all requirements outlined herein may result in denial or cancellation of the proposed Special / Temporary Event.

\_\_\_\_\_  
*Signature of Organizer*

\_\_\_\_\_  
*Date*

Signed and sworn to before me on this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

\_\_\_\_\_  
Notary Signature

## Special / Temporary Event Liquor

This section does not apply to those who hold a current liquor license and are hosting the Special/Temporary event on their licensed premises. Licenses must be obtained from the Village President who is the Liquor Control Commissioner; please contact the Village Clerk’s office at 630-466-4507. The Village of Sugar Grove expects all events sponsor to insure that their approved liquor vendors engage in responsible sales and consumption practices.

The Village license authorizes the licensee retail sale of beer, wine or liquor on the specified premises, streets, roads or parks. The boundaries of the licensed premises and the duration of the license shall be established by the Liquor Control Commissioner. The licensee or the special event sponsor shall maintain the premises in a neat, orderly and safe condition, shall provide such traffic control and sanitation facilities as may be required by this permit to protect the public health, safety, welfare and morals of the residents of the Village, and shall restore the premises after expiration of the special event permit to its prior condition, including the removal of trash, rubbish and garbage. No alcoholic liquor shall be brought onto, or taken out of, the premises, or consumed on the premises other than that provided by the licensee.

The retail sale and consumption of alcoholic liquor, authorized by this Special Event Permit, shall be limited to the premises specified in the permit. The area must be outlined on the site plan. The licensee, or the special event sponsor, shall have sufficient persons at each entrance and exit to the specified premises to prohibit any alcoholic liquor from entering or exiting the premises. Identification shall be checked and an identifying symbol placed on any person twenty-one (21) years of age or older to allow them to purchase alcoholic beverages. No person without the symbol my purchase an alcoholic beverage on the premises. All persons who will check identification and dispense symbols shall be BASSET Trained.

Event Approved Liquor Vendor(s):	
Contact Person:	
Address:	
Phone Number:	Cell Number:
Email Address:	
Contact Person:	
Address:	
Phone Number:	Cell Number:
Email Address:	
Contact Person:	
Address:	
Phone Number:	Cell Number:
Email Address:	

***The State of Illinois also requires a Special Event License.  
TSE B***

## GENERAL INSTRUCTIONS FOR TENTS AS TEMPORARY STRUCTURES

Tents, membrane structures, and other structures erected for a period of less than 180 days. Those erected for a longer period of time shall comply with the separate requirements for a membrane structure as governed by Section 3103 of the International Building Code.

1. A Permit Is Required For Temporary Structures That Meet At Least One Of The Following. Please contact the Building Division at (630)466-8954 for an application.
  - a. Covers an area in excess of 120 square feet.
  - b. Used or intended to be used for the gathering together of ten or more persons.

Exception: Tents used exclusively for recreational camping purposes shall be exempt from the above requirements.

2. Documents Required When Applying For Permit:
  - a. A completed accessory permit application signed and dated
  - b. A site plan indicating the location of the temporary structure
  - c. Information delineating the means of egress from the temporary structure
  - d. Occupant load
  - e. Flame resistance certification.
  - f. Certification: An affidavit or affirmation shall be submitted to the code official and a copy retained on the premises on which the tent or air supported structure is located. The affidavit shall attest to the following information relative to the flame resistance of the fabric:
    - i. Names and addresses of the owners of the tent or air supported structure.
    - ii. Date the fabric was last treated with flame resistant solution.
    - iii. Trade name or kind of chemical used in treatment.
    - iv. Name of person or firm treating the material.
    - v. Name of testing agency and test standard by which the fabric was tested.
3. Portable Fire Extinguishers:
  - a. At least one portable fire extinguisher with a minimum 4-A rating or two portable fire extinguishers with a minimum 2-A rating each shall be provided.
  - b. Portable fire extinguishers shall bear the label of an approved agency, be of an approved type and be installed in a visible location to which the occupants have access.
4. Fire Hazards:
  - a. Open flame or other devices emitting flame, fire or heat or any flammable or combustible liquids, gas, charcoal or other cooking device or any other unapproved devices shall not be permitted inside or located within 20 feet of the tent, canopy or membrane structure.
  - b. Outdoor cooking that produces sparks or grease-laden vapors shall not be performed within 20 feet of the tent, canopy, or membrane structure.



**Temporary Use – Group of Assembly Activity (2<sup>nd</sup> Bean Bag Tournament)**

**65 1<sup>st</sup> Street, Sugar Grove American Legion**

**July 29, 2015**

Note 11-4-8-A Purpose:

These regulations are intended to prescribe the conditions under which limited duration activities may be conducted. The intent is to safeguard the public health, safety, and general welfare and prevent the creation of any nuisance or annoyance to the occupants of adjacent buildings, premises or property, and the general public.

Note 11-4-8-B Approval Needed:

A temporary use approval shall be required for all temporary uses listed in this chapter. Any use not expressly listed herein, or otherwise allowed in the zoning district in which the use is sought, is prohibited. A temporary use approval must be issued prior to the commencement of any temporary use listed herein.

Per 11-4-8-C Type of Approval and Duration of Uses:

***Group of assembly activities may be allowed up to daily for two (2) weeks, three (3) times per calendar year, per applicant, with Village Board approval.***

***Other potential temporary uses listed in this section not applicable to this use.***

Note 11-4-8-D Exemptions:

***Potential exemptions listed in this section not applicable to this use.***

Per 11-4-8-E Findings:

The village board or community development director or his/her designee shall only approve an application for a temporary use permit if all of the following findings can be made:

1. The proposed temporary use will be compatible with adjacent uses and will not adversely affect the surrounding neighborhood by means of odor, noise, dust or other nuisances.

***This event should not create significant noise.***

2. The additional parking required by the temporary use will be provided on site, if applicable, or adequate street parking is available in the immediate area.

***While the permanent American Legion parking requirement is 40 parking spaces, there are only 28 existing on site, and probably significantly less used at most times.***

***At this time, it appears a minimal number of the 28 parking spaces on site will be obstructed by the bean bag play area. So it is likely most parking for the American Legion and the bean bag tournament will be accommodated on site. In any case, the American Legion has a letter from the Township authorizing the use of their parking lot.***

3. Increased traffic caused by the temporary use will not adversely affect the surrounding neighborhood or village at large.

***Cross Street, Main Street, and 1st Street are capable of handling any increased traffic this event would create and the traffic should not impact the area negatively.***

4. The proposed temporary use is generally consistent with the comprehensive plan, municipal code, and other applicable codes.

***The event would be consistent with the plan and codes with approval and compliance with this permit.***

Per 11-4-8-F Temporary Use Permit:

Each temporary use approval shall be described in a permit thereby issued by the community development director or his/her designee prior to commencement of the use. The permit shall include the following:

1. A defined area with an outer perimeter line for the temporary use shall be outlined on a site plan of the site. The site plan shall show all permanent and temporary structures. Permanent required parking spaces shall generally not be obstructed by the temporary use.

***The defined area of the temporary use will be considered to be the entire Sugar Grove American Legion property and the portion of the Sugar Grove Township property used for overflow parking. Some permanent required parking spaces may be obstructed by this temporary use.***

2. The number of parking spaces required for the temporary use shall be determined by the community development director or his/her designee. Required parking spaces for permanent use may be used to fulfill the parking requirements for the temporary use to the extent it will not practically interfere with the permanent use.

***The applicant estimates 50 attendees. As stated above some permanent required parking spaces may be obstructed either by the bean bag play area or the parking required for the event, but this should be minimal and should not interfere with the permanent use.***

3. The traffic associated with the temporary use and whether the traffic routes will be able to handle the additional burden.

***Traffic generated by the event should not be overly burdensome to Cross Street, Main Street, and 1<sup>st</sup> Street. No street closures are requested.***

4. That all unimproved parking areas and main walk areas shall be kept damp or shall be covered with a material to prevent rising dust.

***There are no unimproved parking areas.***

5. That all sites shall be completely cleaned of debris and temporary structures including, but not limited to: trash receptacles, signs, stands, poles, electrical wiring or any other fixtures and appurtenances or equipment connected therewith, after the termination of the temporary use.

***This will be a condition of the permit.***

6. That temporary structures shall conform to zoning setback and height requirements for principal uses in the applicable district, unless stated otherwise by the specific permit.

***There will be no temporary structures with this event.***

Per 11-4-8-G Conditions:

The village board or community development director or his/her designee may impose such additional conditions on a temporary use permit as are necessary to meet the purposes of this chapter and protect the public health, safety and welfare and adjacent uses. Conditions which may be imposed may include, but are not limited to:

1. Additional parking requirements, such as which surfaces may be parked upon.

***None.***

2. Additional traffic related requirements, such as additional ingress and egress.

***None.***

3. Additional yard setback and open space requirements.

***None.***

4. Placement requirements for the temporary use.

***None.***

5. Extent of permanence of the buildings, structures, or equipment involved.

**All temporary bean bag equipment shall be removed by August 30, 2015.**

6. Cash deposit requirements.

**None.**

7. Fences, walls or other screening.

**None.**

8. Temporary fencing or barricades.

**None.**

9. Signs.

**None.**

10. Property maintenance during the course of the activity.

**The property shall be maintained in compliance with all Village codes and ordinances.**

11. Control of illumination, noise, odor, vibration or other nuisances.

**None.**

12. Hours of operations.

**The event will last from 10 am to 10 pm on August 29, 2015.**

13. Number of locations.

**This will be the only location.**

14. Security and lighting.

**None.**

15. Other conditions.

**The provided certificate of insurance covers the event and lists the Village of Sugar Grove as certificate holder.**

Per 11-4-8-I Requirements Specific to Certain Temporary Uses:

**Not applicable to this use.**

Per 11-4-8-J Submittal:

A submittal for one or more temporary uses may be made to the community development department on forms provided and amended from time to time by the community development department. Proof of ownership, or a signed letter from either the property owner or their authorized representative, for the property on which the activity is to take place shall be presented at the time the temporary use permit is requested.

**An application was submitted for this request.**

Per 11-4-8-K Fees:

A fee for a temporary use permit shall be charged. The fee shall be set by separate resolution of the village and may be amended from time to time. Provided, however, those fees shall be waived for not for profit entities with an internal revenue code 501(c) designation, and units of local government. The schedule of fees shall be available in the community development department.

**The temporary use permit fee of \$65 shall be charged for this event.**

# SUGAR GROVE TOWNSHIP

Office of the Highway Commissioner  
GREG L. HUGGINS

Phone: (630) 466-4274

Fax: (630) 466-9686

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The Sugar Grove Township does not have any issues with the Sugar Grove American Legion using the township parking lot.

A handwritten signature in black ink that reads "Greg L. Huggins". The signature is written in a cursive style with a large initial "G" and "H".

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**VILLAGE OF SUGAR GROVE  
BOARD REPORT**

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**TO:** VILLAGE PRESIDENT & BOARD OF TRUSTEES  
**FROM:** WALTER MAGDZIARZ, COMMUNITY DEVELOPMENT DIRECTOR  
MIKE FERENCAK, VILLAGE PLANNER  
**SUBJECT:** ORDINANCE: PRELIMINARY PUD AND FINAL PUD FOR EXPANSION  
OF THE MULTI-TENANT BUILDING AT 769 N. HEARTLAND DRIVE  
**AGENDA:** AUGUST 4, 2015 REGULAR VILLAGE BOARD MEETING  
**DATE:** JULY 31, 2015

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**ISSUE**

Should the Village Board approve the requests for Preliminary PUD and Final PUD for expansion of the multi-tenant building at 769 N. Heartland Drive.

**DISCUSSION**

On May 26, 2015, the Village Board authorized issuing an "at-risk foundation permit" to begin construction on this site. At this time, no foundation permit has been issued because the applicant is still working to provide the necessary structural information in order to issue such a permit.

On June 16, 2015, the Village Board approved the concurrent review of Preliminary PUD and Final PUD for this single lot.

On July 21, 2015, the Committee of the Whole reviewed the requests for Preliminary PUD and Final PUD and directed staff to prepare an ordinance for tonight's meeting.

The applicant and property owner, Monterey Enterprises, LLC, would like to expand the building and parking lot at 769 N. Heartland Drive, Lot 10 of Sugar Grove Research Park. The existing building is approximately 15,000 square feet and consists of six tenant spaces. The proposed addition would be the same size as the existing building.

The existing building and parking lot were constructed in 2003 without any variances and the site is was not developed as a PUD. Zoning requirements for the site changed in 2010, with the expiration of the annexation agreement for Sugar Grove Research Park.

Though the zoning requirements changed, the existing building complies with the current building setback requirements, but does not comply with current building material requirements. The existing parking lot does not comply with current pavement setback requirements. The existing site complies with current lot coverage and parking requirements, but does not comply with current landscaping requirements. Lighting and signage on the site may not be in conformance with some current requirements.

While it would be possible to build a smaller building and parking lot addition satisfying all current zoning

requirements, the applicant chose to proceed with the proposed plan. The Planned Unit Development (PUD) approach permits the building addition and site improvements including building materials and pavement setbacks to occur in a more cohesive manner on the property.

On June 24, 2015, the Plan Commission recommended the Preliminary PUD and Final PUD be approved subject to certain conditions.

The plans have been revised since the Committee of the Whole meeting and are attached. A number of conditions of approval remain to be addressed and are identified in the approval ordinance. The approval ordinance includes 15 deviations from requirements.

Also since the Committee of the Whole meeting, **the Building Elevation has been revised to show a different side elevation than previously presented** (labeled North on the plan, staff has referred to it as the West side of the property, it faces the curve of Heartland Drive). Previously, the plan showed split-face scored CMU block the entire length of the bottom 11 feet high on the side (North) elevation. This has now been reduced to only about 20% of the side elevation closest to the front of the building. In addition, the upper-level of windows that were shown in previous plans have been removed in the current plan.

Since the Zoning Ordinance requires one hundred percent (100%) of building facades in the M-1 District facing a public right-of-way and fifty percent (50%) of other facades to be constructed of masonry, brick, stone, or decorative concrete block (excluding plain concrete block), architectural steel and glass, or precast panels (aluminum or vinyl siding shall not be allowed), Staff is asking the Board provide direction on whether this further deviation is acceptable. The anticipated deviation is simply stated as “a waiver of building material requirements to allow the building materials for the addition to match the existing building” in the approval Ordinance.

## ATTACHMENTS

- North building elevation before and after versions
- Ordinance 2015-0804\_ An Ordinance Granting a Preliminary Planned Unit Development and a Final Planned Unit Development for the property at 769 N. Heartland Drive
- Plan Commission Recommendation PC15-04
- Plan Set date stamped “Received July 30, 2015” including:
  - a. Architectural Site Plan revised July 30, 2015
  - b. Trash Enclosure Elevation Plan dated May 1, 2015
  - c. Building Floor Plan revised July 30, 2015
  - d. Building Elevation Plan revised July 30, 2015
  - e. Landscape Plan dated revised July 30, 2015 (2 sheets)
  - f. Engineering Plans revised July 29, 2015 (11 sheets)

## COSTS

All costs associated with the review of this proposal will be paid by the applicant.

## RECOMMENDATION

That the Board adopt Ordinance 2015-0804\_ An Ordinance Granting a Preliminary Planned Unit Development and a Final Planned Unit Development for the property at 769 N. Heartland Drive.



**VILLAGE OF SUGAR GROVE  
KANE COUNTY, ILLINOIS**

**ORDINANCE NO. 2015-0804A**

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**AN ORDINANCE  
GRANTING A PRELIMINARY PLANNED UNIT DEVELOPMENT AND  
A FINAL PLANNED UNIT DEVELOPMENT  
FOR EXPANSION OF THE MULTI-TENANT BUILDING  
AT SUGAR GROVE RESEARCH PARK LOT 10  
(769 N. HEARTLAND DRIVE)**

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Adopted by the  
Board of Trustees and President  
of the Village of Sugar Grove  
this 4<sup>th</sup> day of August, 2015.

Published in Pamphlet Form  
by authority of the Board of Trustees  
of the Village of Sugar Grove, Kane County, Illinois,  
this 4<sup>th</sup> day of August, 2015.

**ORDINANCE NO. 2015-0804A**

**AN ORDINANCE  
GRANTING A PRELIMINARY PLANNED UNIT DEVELOPMENT AND  
A FINAL PLANNED UNIT DEVELOPMENT  
FOR EXPANSION OF THE MULTI-TENANT BUILDING  
AT SUGAR GROVE RESEARCH PARK LOT 10  
(769 N. HEARTLAND DRIVE)**

**BE IT ORDAINED** by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

**WHEREAS**, the Village of Sugar Grove is not a home rule municipality within Article VII, Section 6A of the Illinois Constitution and, pursuant to the powers granted to it under 65 ILCS 5/1-1 *et seq.*; and,

**WHEREAS**, Monterey Enterprises, LLC has requested a Preliminary Planned Unit Development and Final Planned Unit Development for expansion of the multi-tenant building on Lot 10 of Sugar Grove Research Park at 769 N. Heartland Drive, including multiple deviations, pursuant to Section 11-11-6 of the Sugar Grove Zoning Ordinance; and,

**WHEREAS**, the Planning Commission reviewed the requests at a public hearing on October 15, 2014 and the Commission recommended approval of the requests; and

**WHEREAS**, the Village Board has reviewed the requests and has deemed that the approval would be in compliance with the Comprehensive Plan and all Ordinances of the Village of Sugar Grove.

**NOW, THEREFORE, BE IT ORDAINED** by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

**SECTION ONE: PRELIMINARY PLANNED UNIT DEVELOPMENT AND FINAL PLANNED UNIT DEVELOPMENT**

The subject property described in **Exhibit A** is hereby granted a Preliminary Planned Unit Development and a Final Planned Unit Development pursuant to the Sugar Grove Zoning Ordinance. Said Preliminary PUD and Final PUD are hereby approved subject to compliance with the conditions and requirements described in **Exhibit B** which is attached and made a part of this ordinance.

**SECTION TWO: GENERAL PROVISIONS**

**REPEALER**: All ordinances or portions thereof in conflict with this ordinance are hereby repealed.

**SEVERABILITY:** Should any provision of this Ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and effect the same as if the invalid provision had not been a part of this Ordinance.

**EFFECTIVE DATE:** This Ordinance shall be in full force and effect on and after its approval, passage and publication in pamphlet form as provided by law.

**PASSED AND APPROVED** by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, this 4<sup>th</sup> day of August, 2015.

---

P. Sean Michels  
President of the Board of Trustees  
of the Village of Sugar Grove,  
Kane County, Illinois

ATTEST:

---

Cynthia L. Galbreath  
Clerk, Village of Sugar Grove

	<b>Aye</b>	<b>Nay</b>	<b>Absent</b>	<b>Abstain</b>
Trustee Kevin Geary	___	___	___	___
Trustee Sean Herron	___	___	___	___
Trustee Mari Johnson	___	___	___	___
Trustee Ted Koch	___	___	___	___
Trustee David Paluch	___	___	___	___
Trustee Rick Montalto	___	___	___	___
President P. Sean Michels	___	___	___	___

**Exhibit A**

*Legal Description*

LOT 10 IN SUGAR GROVE RESEARCH PARK, IN THE  
VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS.

## **Exhibit B**

### *Conditions of Approval*

1. That the Preliminary PUD and Final PUD shall conform to:
  - a. the Architectural Site Plan, titled “Sugar Grove Addition Final Plan”, prepared by Gleason Architects, P.C., Sheet A0, dated May 1, 2015, last revised July 30, 2015
  - b. the Trash Enclosure Elevation Plan, titled “Sugar Grove Addition Final Plan”, prepared by Gleason Architects, P.C., Sheet A0.1, dated May 1, 2015
  - c. the Building Floor Plan, titled “Sugar Grove Addition Floor Plan”, prepared by Gleason Architects, P.C., Sheet A1, dated May 1, 2015, last revised July 30, 2015
  - d. the Building Elevation and Wall Signage Plan, titled “Sugar Grove Addition Exterior Elevations”, prepared by Gleason Architects, P.C., Sheet A5, dated May 1, 2015, last revised July 30, 2015
  - e. the Site Landscape Plan, titled “Multi-Tenant Office / Warehouse Expansion Landscape Plan”, prepared by Gleason Architects, P.C. and Heller & Associates, LLC, Sheet L1.0 and L1.1, dated May 27, 2015, last revised July 30, 2015
  - f. the Site Photometric Plan to be submitted
  - g. the Site Engineering Plans, titled “Proposed Building 2 Expansion”, prepared by DJA Civil Engineers & Surveyors, Sheets 1-11 of 11, dated May 28, 2015, last revised July 29, 2015

except as such plans will be revised to address the reviews and conform to Village codes and ordinances and the conditions below.

2. That the following deviations from the Zoning Ordinance are hereby granted:
  - a. an increase of 6.25% in the maximum impervious lot coverage from a maximum of 75% to a maximum of 81.25%.
  - b. a reduction of 0.02 feet in the minimum front (north) building setback from a minimum of 40 feet to a minimum of 39.98 feet.
  - c. a reduction of 11.2 feet in the minimum rear (south) building setback from a minimum of 50 feet to a minimum of 38.80 feet.
  - d. a reduction of 2 (two) parking spaces from the parking requirement of 93 required parking spaces to 91 required parking spaces.
  - e. a reduction of the parking island requirement by 5 islands.

- f. a waiving of the requirement for one (1) 12' x 60' loading space.
  - g. a reduction of 30 feet in the minimum front (north) pavement setback from a minimum of 30 feet to a minimum of zero (0) feet.
  - h. a reduction of 10 feet in the minimum rear (south) pavement setback from a minimum of 15 feet to a minimum of 5 feet.
  - i. a waiving of the requirement to install a sidewalk in the right-of-way adjacent to the site.
  - j. a reduction of 16 shade trees and 50 shrubs in the front (north) yard landscape requirement from 21 shade trees and 128 shrubs to five (5) shade trees and 78 shrubs due to lack of existing pavement setback.
  - k. a reduction of three (3) shade trees and 20 shrubs in the rear (south) yard landscape requirement from 11 shade trees and 66 shrubs to eight (8) shade trees and 48 shrubs due to existing grade.
  - l. a reduction of six (6) shade trees and 37 shrubs in the side (east) yard landscape requirement from six (6) shade trees and 37 shrubs to zero (0) shade trees and zero (0) shrubs due to major gas utility line.
  - m. a reduction 2 trees in the parking island tree requirement from 11 shade trees to 9 shade trees (including 1 existing) and 16 shrubs.
  - n. a reduction of the foundation planting requirement from 20 ornamental trees and 120 shrubs to 13 trees (including 1 existing evergreen, 1 existing shade, 6 existing ornamental, 3 proposed shade, and 2 proposed ornamental) and 93 shrubs (including 36 existing and 57 proposed).
  - o. a waiver of the building material requirements to allow the building materials for the addition to match the existing building.
3. That the plans shall be revised as follows prior to recording the plat of resubdivision:
- a. the existing number of parking spaces shall be corrected to 54 (including 3 handicap accessible). The number of existing parking spaces being removed shall be listed as 2. The number of parking spaces being added shall be listed as 39 (including 2 handicap accessible). The “number of new parking spaces removed” shall be deleted from the engineering geometric plan.
  - b. a one-way label and “Do not enter” signs for the rear drive aisle shall be added to the architectural site plan and engineering geometric plan.
  - c. on the landscape plan, the landscape table column labeled “shown on landscape plan” shall be revised to list 14 parkway trees, 8 trees and 48 shrubs along the south rear property line, 0 trees and 0 shrubs along the east side property line, 9 parking island trees, 13 trees and 93 shrubs along the building foundation, and 0 trees and 9 shrubs around the trash enclosure.

- d. all HVAC units, flues, meters or other utility equipment on the roof, building walls, or ground shall be shown on the various site and elevation plans and shall be shown minimized, screened, or painted to match surrounding surfaces as determined by staff.
  - e. a note shall be added to the building elevation plan “signage key notes” that “Wall signs on the building shall be of the channel letter or individual letter style”.
  - f. a revised lighting plan that addresses all outstanding comments shall be submitted and remains subject to staff review.
  - g. the current location of the transformer shall be corrected and the trash enclosure shall be shown on the demolition plan. The label “new trash enclosure location” shall be removed from the geometric plan.
  - h. to address all plan revision comments from the Village engineering consultant in their letter dated June 12, 2015 and any future updated letters. The plans will remain subject to review.
4. Items 1-4 listed in the email from the Village engineering consultant dated July 16, 2015 shall be submitted, reviewed, and approved prior to issuing a building permit. Items 5 thru 9, inclusive, shall also be addressed as conditions of the building permit.
  5. A plat of easement for a Village utility and drainage easement for the water service shall be submitted, prior to issuing a building permit.



**GLEASON**  
ARCHITECTS, P.C.

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ISSUED	DATE
FOR APPROVAL	
FOR PERMIT	
FOR BID	
FOR CONST.	

REVISIONS	DATE
CONTRACTOR COMM	07-30-15

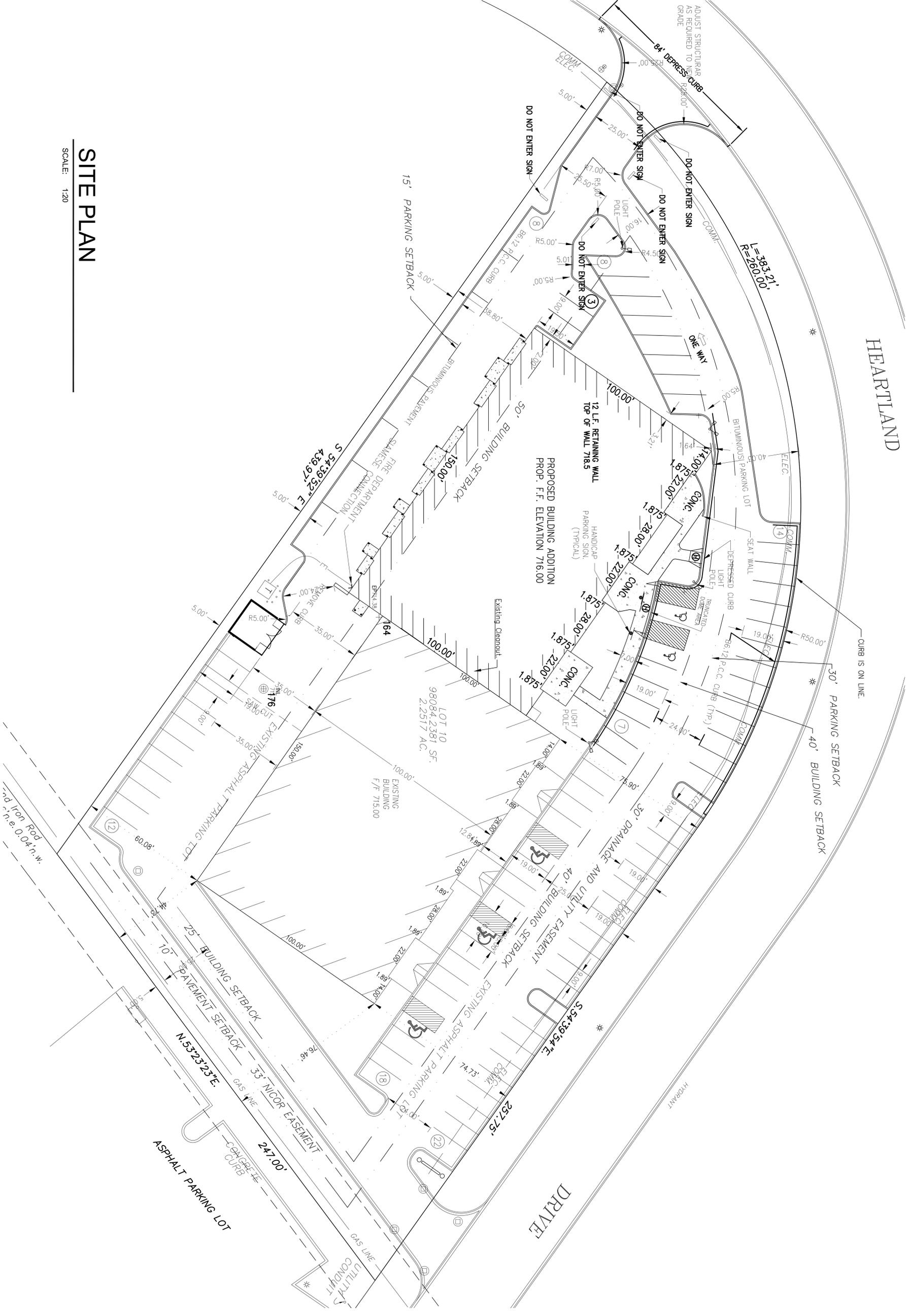
PROJECT:  
**Sugar Grove Addition**  
769 HEARTLAND DRIVE  
Sugar Grove, IL 60154

CLIENT:  
Monterey Enterprises

JOB NO. 15-010  
DATE 06/01/15  
FILE 0041  
PLOT SCALE 1/4"  
OWNER APPROVAL

SHEET TITLE  
FINAL PLAN

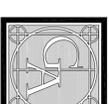
SHEET NUMBER  
**A0**



**SITE PLAN**

SCALE: 1:20





**GLEASON**  
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PLEASE REMEMBER, INCLUDING ALL PERMITS, FEES, AND COSTS OF DESIGN, ARCHITECTS, E.C. AND ALL FOR ANY OTHER WORK, REPORT THE AGREEMENT AND METHOD OF PAYMENT TO GLEASON ARCHITECTS, P.C.

ISSUED \_\_\_\_\_ DATE \_\_\_\_\_  
FOR APPROVAL \_\_\_\_\_  
FOR PERMIT \_\_\_\_\_  
FOR BID \_\_\_\_\_  
FOR CONSET. \_\_\_\_\_

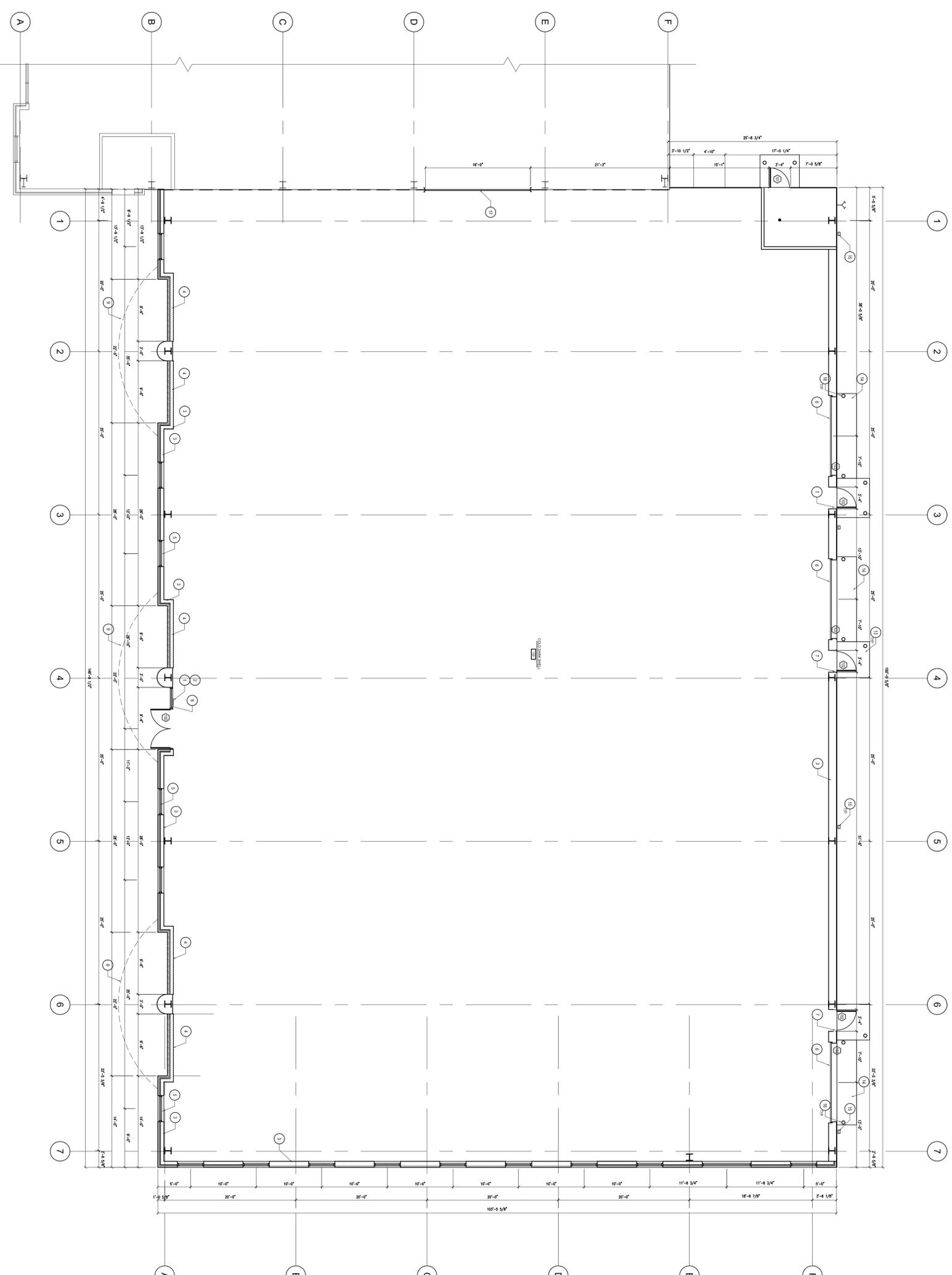
REVISIONS \_\_\_\_\_ DATE \_\_\_\_\_  
CONTRACTOR COMM 07-26-15  
6

## FLOOR PLAN NOTES

- 1 OCCUPANCY CERTIFICATE POSTING - LOCATION BY BUILDING DEPARTMENT
- 2 TACTILE "EXIT" WALL SIGN
- 3 NEW PREFABRICATED METAL BUILDING BY BUILDING MANUFACTURER
- 4 OPENING IN WALL TO BE DESIGNED TO HAVE SIDING REMOVED AND ACCEPT STOREFRONT IN FUTURE
- 5 NEW WINDOWS - SEE ELEVATIONS FOR DETAILS
- 6 NEW OVERHEAD DOORS W/ WINDOWS TO MATCH EXISTING BUILDING
- 7 NEW MAIN DOORS TO MATCH EXISTING BUILDING
- 8 NEW STOREFRONT TO MATCH EXISTING BUILDING
- 9 NEW CUSTOM CANOPY BY OWNER INSTALLED BY GC
- 10 GC TO STUB IN WATER AND WASTE FROM EXISTING BUILDING
- 11 EXPANSION JOINT
- 12 5" CONCRETE SLAB - SEE FLOOR FINISH SHEET FOR EXTENS
- 13 5'-0"x6'-0" THICK CONCRETE PAD
- 14 13'-0"x3'-0" 5" THICK CONCRETE PAD
- 15 DOWN SPOUT
- 16 6"x CONCRETE BALLARD PAINTED SAFETY YELLOW
- 17 NEW 16'-0"x8'-0" OVERHEAD DOOR INTO EXISTING SPACE

## GENERAL NOTES

- PROVIDE FIRE EXTINGUISHERS, TYPE ABC, WALL HUNG, TOP @ 5'-0" A.F.F. (BY G.C.) - NUMBER AND LOCATION AS DETERMINED BY LOCAL CODE - NOT TO PROJECT MORE THAN 4" FROM THE WALL SURFACE. THING TURN DEADBOLTS ARE PROHIBITED; LEVER OR PADLOCK DEADBOLT RELEASES ARE ACCEPTABLE.
- BUILDING ADDRESS NUMBERS TO BE INSTALLED AND VISIBLE FROM THE ROAD RIGHT OF WAY.
- ALL WORK SURFACES AND COUNTERS SHALL BE A MAXIMUM OF 34" IN HEIGHT.
- A TACTILE "EXIT" SIGN ADJACENT TO EACH DOOR LEADING TO AN EXIST DISCHARGE MUST BE PROVIDED.
- EXIT SIGNS SHALL HAVE A 90 MINUTE BATTERY BACK UP.
- AN APPROVED FIRE DESTRUCT RICK SAFE SHALL BE INSTALLED AT A LOCATION APPROVED BY THE FIRE DEPARTMENT.
- DOORS TO ELECTRICAL ROOMS OR SIMILAR SHALL HAVE KNURLED HANDLES AND SIGNS IN CONTRASTING COLOR STATING THE NATURE OF THE SPACE.
- OCCUPANT LOAD SEATING AREA TO BE POSTED IN A CONSPICUOUS PLACE, NEAR THE ENTRANCE OR EXIT DOORWAY FROM THE ROOM SPACE. FOR FINAL APPROVAL OF OCCUPANT LOAD AND LOCATION OF SIGN SEE LOCAL AUTHORITY.
- ALL EXIT DOORS TO HAVE SELF CLOSING DEVICES AND HARDWARE SHALL BE CAPABLE OF OPENING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. HARDWARE SHALL BE CAPABLE OF OPENING WITH THE USE OF 1 HAND AND SHALL NOT REQUIRE TIGHT FINCHING OR TWISTING OF THE WRIST TO OPERATE. THUMBTURN DEBOLTS ARE PROHIBITED; LEVER OR PADLOCK DEAD BOLT RELEASES ARE ACCEPTABLE.
- THE INSTALLATION OF EXTERIOR SIGNS OR WINDOWS GRAPHICS WILL REQUIRE A SEPARATE PERMIT AND APPROVAL PROCESS.



## FLOOR PLAN

SCALE: 1/8"=1'-0"

SHEET TITLE  
FLOOR PLAN

SHEET NUMBER  
A1

PROJECT:  
Sugar Grove Addition  
769 HEARTLAND DRIVE  
Sugar Grove, IL 60554

CLIENT:  
Monterey Enterprises

OWNER APPROVAL/STAMP  
JOB NO. 15-010  
DATE 05/07/15  
FILE 0141  
PLOT SCALE 1:1

DATE \_\_\_\_\_  
TIME \_\_\_\_\_



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ISSUED	DATE
FOR APPROVAL	
FOR PERMIT	
FOR BID	
FOR CONSET	

REVISIONS	DATE
1	
2	
3	
4	

PROJECT:  
**Sugar Grove Addition**  
769 HEARTLAND DRIVE  
Sugar Grove, IL 60554

CLIENT:  
Monterey Enterprises

JOB NO.: 15-010  
DATE: 03/01/15  
FILE: 05945  
PLOT SCALE: 1/8"  
OWNER APPROVAL:

SHEET TITLE  
EXTERIOR  
ELEVATIONS

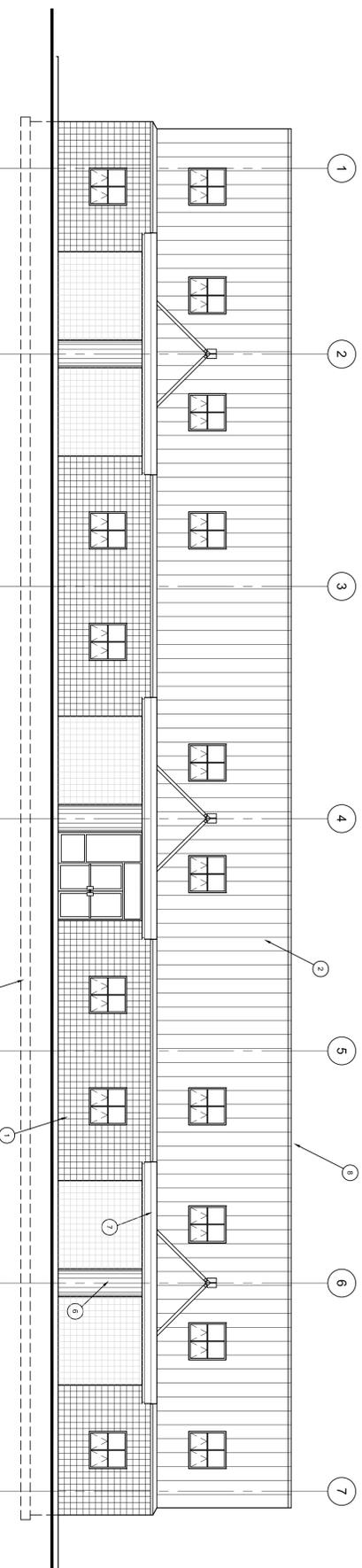
SHEET NUMBER  
**A5**

**ELEVATION KEY NOTES**

- 1 SPUT FACE SCORED CMU BLOCK TO MATCH EXISTING BUILDING
- 2 METAL SIDING WITH STUCCO FINISH COLOR TO MATCH EXISTING BUILDING
- 3 6x6 DOWN SPUT PRE-FINISHED COLOR TO MATCH BUILDING
- 4 LINE OF ROOF BEYOND
- 5 STOREROOM FRAMING WITH 1" INSULATED GLASS
- 6 CUSTOM COLUMN COVER TO MATCH EXISTING BUILDING
- 7 CANOPY TO MATCH EXISTING BUILDING
- 8 METAL COPING COLOR TO MATCH EXISTING BUILDING
- 9 6" PRE-FINISHED METAL GUTTER COLOR TO MATCH EXISTING BUILDING
- 10 METAL ROOFING
- 11 FOUNDATION & FOOTING TYPICAL
- 12 OVERHEAD DOOR WITH SAFETY GLASS WINDOWS

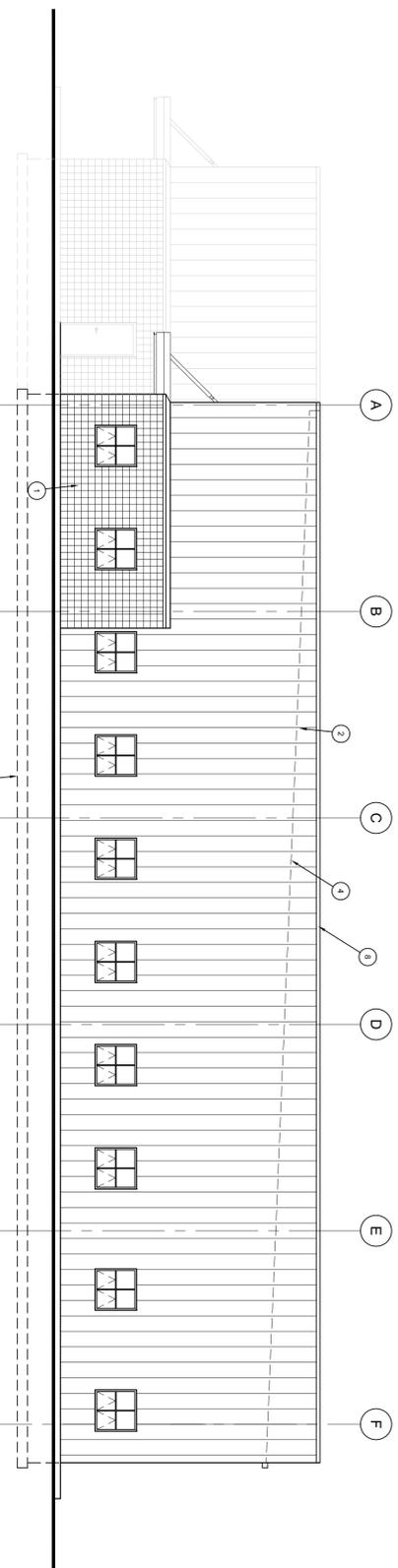
**SIGNAGE KEY NOTES**

- 1. Each tenant's sign may advertise up to two of the following: business name, logo, type of business.
- 2. Each tenant is allowed wall signage on the portion of the exterior wall adjacent to their space with the normal limit of 1 square foot for every 1 foot of width of the tenant space. There is also a maximum of 200 square feet for all tenants on each building side.
- 3. Wall signs may only be placed on walls facing Heartland Drive.
- 4. Wall signs may not extend beyond the wall by more than 18".
- 5. Channel letters sign recesses shall be painted to match the wall color. Returns and trim caps shall match each other.
- 6. Signage shall be consistent in appearance between any tenant's wall sign and any panel they may place on the ground sign.
- 7. All other sign ordinance requirements apply.



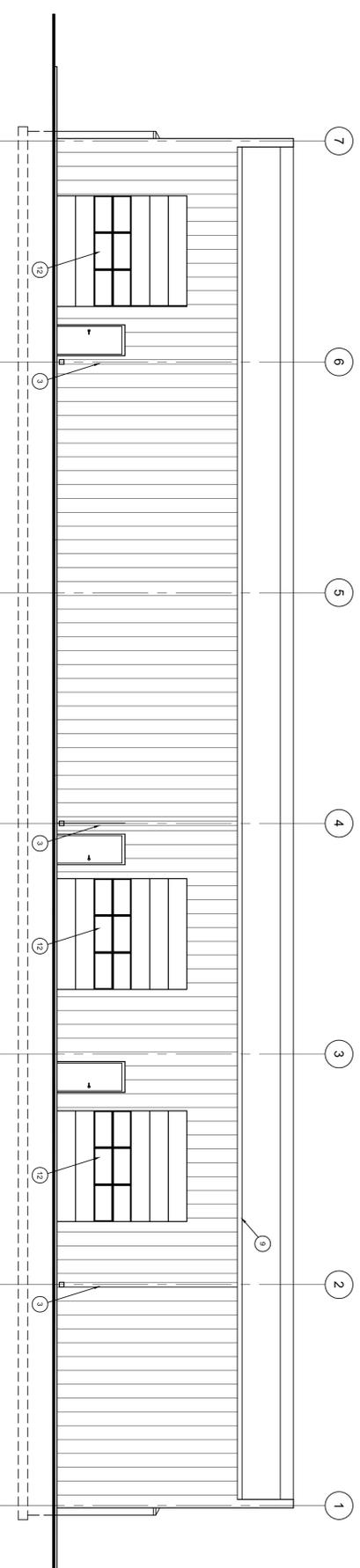
**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"





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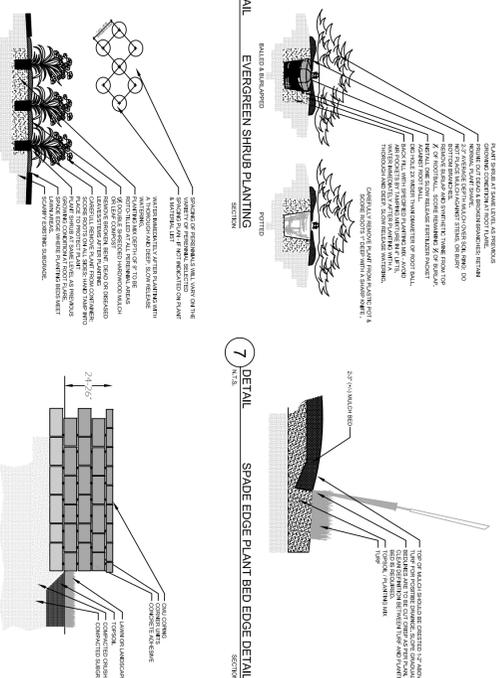
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ISSUED DATE  
FOR APPROVAL DATE  
FOR PERMIT DATE  
FOR BID DATE  
FOR CONST. DATE

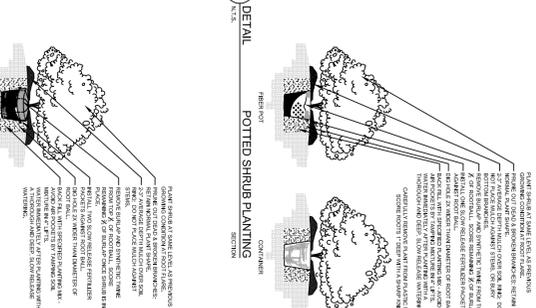
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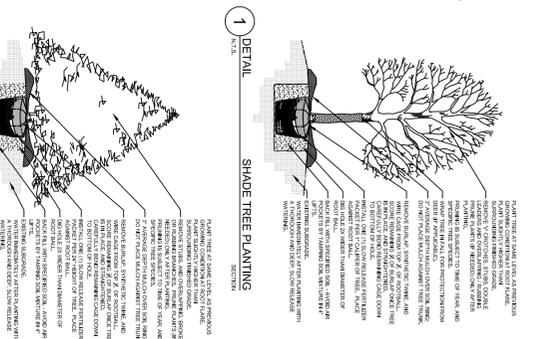
## PLANTING & HARDSCAPE DETAILS



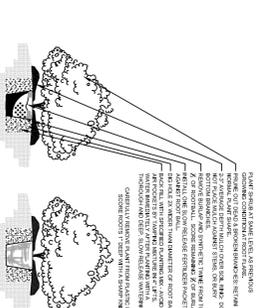
### 4 DETAIL DECIDUOUS SHRUB PLANTING



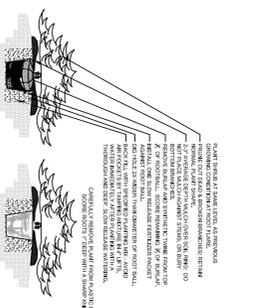
### 2 DETAIL EVERGREEN TREE PLANTING



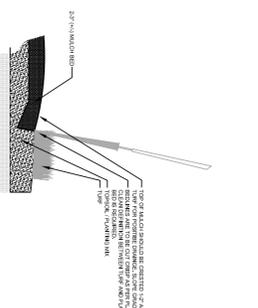
### 3 DETAIL POTTED SHRUB PLANTING



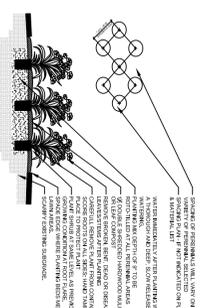
### 5 DETAIL EVERGREEN SHRUB PLANTING



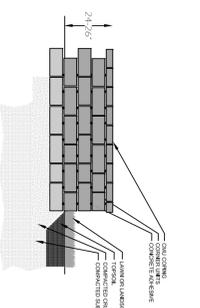
### 7 DETAIL SPADE EDGE PLANT BED EDGE DETAIL



### 6 DETAIL GROUNDCOVER / PERENNIAL PLANTING



### 8 DETAIL SEGMENTAL CONCRETE UNIT SEAT WALL



PLANT KEY	QUANTITY	BOTANICAL NAME	PLANT MATERIAL PROPOSED	COMMON NAME	CAUPER SIZE	ROOT	SPECIFICATION / NOTES
<b>SHADE TREES (DECIDUOUS)</b>							
ABM	3	Acer Alternum	'Autumn Blaze'	Autumn Blaze Maple	2.5"	B&B	Straight central leader, full and even crown, Prune only after planting
AMN	2	Acer Freemanii	'Armstrong'	Armstrong Red Maple	2.5"	B&B	Straight central leader, full and even crown, Prune only after planting
CH	7	Celtis occidentalis	'Chicago Gold'	Chicago Gold Hackberry	2.5"	B&B	Straight central leader, full and even crown, Prune only after planting
AGM	2	Ginkgo biloba	Autumn Gold	Autumn Gold Maidenhair	2.5"	B&B	Straight central leader, full and even crown, Prune only after planting
SHL	11	Quercus macrocarpa	'Skyline'	Skyline Honeylocust	2.5"	B&B	Straight central leader, full and even crown, Prune only after planting
SVO	7	Quercus alba		Swamp White Oak	2.5"	B&B	Straight central leader, full and even crown, Prune only after planting
GS	6	Tilia cordata	'Greenspire'	Greenspire Linden	2.5"	B&B	Straight central leader, full and even crown, Prune only after planting
<b>ORNAMENTAL TREES (DECIDUOUS)</b>							
PTC	2	Malus x 'Tranfire'		Prairie Fire Flowering Crabapple	6-7'H	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance
<b>EVERGREEN SHRUBS</b>							
SGJ	30	Juniperus chinensis	'Sea Green'	Sea Green Juniper	#5	Cont.	Full rounded well branched shrub
GSJ	5	Juniperus chinensis	'sargentii'	Turkey Intermediate Yew	24"	B&B	Full rounded well branched shrub
TY	11	Taxus americana	'Tadpole'	Teddy Arborvitae	72"	B&B	Full, well rounded plant, evenly shaped
TA	9	Thuja occidentalis	'Tadpole'	Teddy Arborvitae	72"	B&B	Full, well rounded plant, evenly shaped
<b>DECIDUOUS SHRUBS</b>							
HC	27	Cornusser aquifolia		Peking Hedge/ Cornicoster	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance
DF	10	Forsythia gardenii		Dwarf Forsythia	24"	B&B	Full, well rounded plant with moist rootball and healthy appearance
IH	10	Hydrangea abrotanifera	'Abletwe'	Incredibly Hydrangea	#5	Cont.	Full, well rounded plant, evenly shaped
GLS	16	Rhus ornamentalis	'Green-Glow'	Green-Glow Fragrant Sumac	#5	Cont.	Full, well rounded plant, evenly shaped
DXSR	6	Rosa Double Knock Out	'Pink'	Pink Double Knock Out Shrub Rose	#5	Cont.	Full, well rounded plant, evenly shaped
FHRH	48	Rosa rugosa	'Frau Dagmar Hartup'	Frau Dagmar Hartup Rugosa Rose	42"	Cont.	Full, well rounded plant, evenly shaped
AVV	29	Viburnum dentatum	Autumn Jazz	Autumn Jazz Arrowwood Viburnum	42"	Cont.	Full, well rounded plant, evenly shaped
JV	4	Viburnum xidii		Judd Viburnum	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance
MV	3	Viburnum lantana	'Mojikari'	Mojikari Lantana Viburnum	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance
<b>ORNAMENTAL GRASSES</b>							
KFKG	13	Calamagrostis scutellaria	'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rounded plant
ONG	6	Calamagrostis scutellaria	'Overdam'	Overdam Feather Reed Grass	#1	Cont.	Full, well rounded plant
SMG	3	Miscanthus sinensis	'Morning Light'	Silver Variegated Maiden Grass	#1	Cont.	Full, well rounded plant
<b>HERBACEOUS PERENNIALS</b>							
RA	25	Astilbe amurensis	'Rhineiland'	Rhineiland Astilbe (Pink)	#1	Cont.	Full, well rounded plant, evenly shaped
HND	9	Hemerocallis	'Happy Returns'	Happy Returns Daylily	#1	Cont.	Full, well rounded plant, evenly shaped
FH	52	Hosta fortunei	'Francee'	Francee Hosta	#1	Cont.	Full, well rounded plant, evenly shaped
OF	7	Mateuca pennsylvanica		Ostrich Fern	#1	Cont.	Full, well rounded plant, evenly shaped
<b>LAWN &amp; SPECIALTY SEEDING AREAS</b>							
LAWN	2560		Lawn Establishment Area / Grading Area		SY	SY	Fresh out, weed free, Bluegrass Blend Sod, Water immediately after installation
SOD	2560		Sodded Areas (Identified on plan)		SY	SY	Fresh out, weed free, Bluegrass Blend Sod, Water immediately after installation
<b>Hardscape Materials</b>							
42			Segmented Concrete Unit Seat Wall	Length: 21" Avg Height: 22"	FSF	FSF	Belgian Highland Stone, or approved equal
60			Tree Protection Fence		TF	TF	see plan for location(s)
55			Shredded Hardwood Mulch (3" depth)		CY	CY	Bark Mulch, apply Preemergent after installation of mulch
36			Soil Amendments (2" depth)		CY	CY	
150			Pulverized Topsoil (Lawn Area)		CY	CY	
36			Pulverized Topsoil (2" over bed areas)		CY	CY	

\*Hardscape counts & quantities are provided as a service to the landscape contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the landscape Master Plan, the landscape Master Plan, including the graphics and notations depicted therein, shall govern.

## PLANT & MATERIAL SCHEDULE

- Contractor responsible for contacting JULE - Utility Locators (811 or 800-892-0123) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - 260.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3' of finish grade by General Contractor / Excavation Contractor during rough grading operations/activities. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Remove biodegradable burlap and wire cage (if present) from the top  $\frac{1}{3}$  of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining  $\frac{2}{3}$  of the burlap and remove the twine. Provide three slow release fertilizer for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is  $\frac{3}{4}$  full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5" diameter (see planting details or planting plan) shrouded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50% mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are  $\frac{3}{4}$  full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
  - Per 100 SF of bed area:
    - $\frac{3}{4}$  CY Peat Moss or Mushroom Compost
    - $\frac{1}{4}$  CY Blended/Pulverized Topsoil
    - 2 pounds starter fertilizer
    - $\frac{1}{4}$  CY composted manure
- Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones  $\frac{1}{2}$ " and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium soil blend according to TPI (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly and to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all stable applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.
- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, non-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

## LANDSCAPE GENERAL NOTES



One Redwood Court  
Ridge, Wisconsin 53402  
pk 262.638.9733  
fx 262.638.9737  
david@wvsheller.com

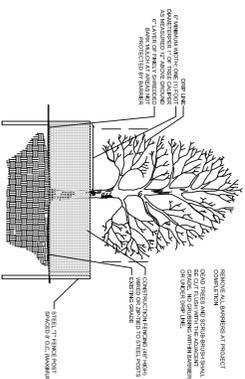


800.892.0123



These plans were prepared by:  
Registered Landscape Architect  
#157-000656

### 9 DETAIL TREE PROTECTION/PRESERVATION DETAIL



## TREE PROTECTION DETAIL

PLANT KEY	QUANTITY	BOTANICAL NAME	PLANT MATERIAL PROPOSED	COMMON NAME	CONTAINER SIZE	ROOT/CONT.	SPECIFICATION / NOTES
<b>HERBACEOUS PERENNIALS</b>							
RA	25	Astilbe amurensis	'Rhineiland'	Rhineiland Astilbe (Pink)	#1	Cont.	Full, well rounded plant, evenly shaped
HND	9	Hemerocallis	'Happy Returns'	Happy Returns Daylily	#1	Cont.	Full, well rounded plant, evenly shaped
FH	52	Hosta fortunei	'Francee'	Francee Hosta	#1	Cont.	Full, well rounded plant, evenly shaped
OF	7	Mateuca pennsylvanica		Ostrich Fern	#1	Cont.	Full, well rounded plant, evenly shaped
<b>LAWN &amp; SPECIALTY SEEDING AREAS</b>							
LAWN	2560		Lawn Establishment Area / Grading Area		SY	SY	Fresh out, weed free, Bluegrass Blend Sod, Water immediately after installation
SOD	2560		Sodded Areas (Identified on plan)		SY	SY	Fresh out, weed free, Bluegrass Blend Sod, Water immediately after installation
<b>Hardscape Materials</b>							
42			Segmented Concrete Unit Seat Wall	Length: 21" Avg Height: 22"	FSF	FSF	Belgian Highland Stone, or approved equal
60			Tree Protection Fence		TF	TF	see plan for location(s)
55			Shredded Hardwood Mulch (3" depth)		CY	CY	Bark Mulch, apply Preemergent after installation of mulch
36			Soil Amendments (2" depth)		CY	CY	
150			Pulverized Topsoil (Lawn Area)		CY	CY	
36			Pulverized Topsoil (2" over bed areas)		CY	CY	

\*Hardscape counts & quantities are provided as a service to the landscape contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the landscape Master Plan, the landscape Master Plan, including the graphics and notations depicted therein, shall govern.

## PLANT & MATERIAL SCHEDULE

JOB NO. 15-066  
DATE 5/27/2015  
FILE 07.30.15  
PLOT SCALE 1/4" = 1'-0"  
OWNER APPROVAL

Signature \_\_\_\_\_

Date \_\_\_\_\_

SHEET TITLE

LANDSCAPE DETAILS,  
NOTES & SCHEDULES

SHEET NUMBER

L1.1

PROJECT: Multi-Tenant Office / Warehouse Expansion  
769 Heartland Drive  
Sugar Grove, IL 60054

CLIENT:

# CIVIL ENGINEERING PLANS

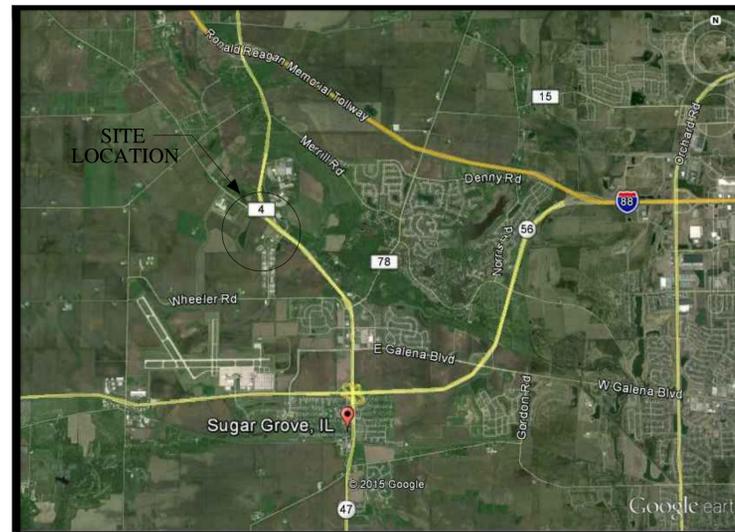
## PROPOSED BUILDING 2 EXPANSION

769 HEARTLAND DRIVE  
SUGAR GROVE, ILLINOIS

### LEGEND

EXISTING		PROPOSED
	CURB & GUTTER	
	WATER MAIN	
	SANITARY SEWER	
	STORM SEWER	
	STORM MANHOLE	
	SANITARY MANHOLE	
	CATCHBASIN	
	INLET	
	VALVE & VAULT	
	VALVE & BOX	
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	FLARED END SECTION	
	HANDICAPPED RAMP	
	SPOT ELEVATION	
	CONTOUR	
	DRAINAGE FLOW	
	CULVERT	
	CONCRETE MONUMENT	
	PARKING SPACE COUNT	
	SURVEY CONTROL POINT	
	ELECTRIC METER	
	ELECTRIC TRANSFORMER	
	LIGHT STANDARD	
	STREET LIGHT	
	TRAFFIC LIGHT	
	POWER POLE	
	SIGN	
	TREE	
	GAS METER	
	GAS VALVE	
	FENCE	
	BURIED UTILITY LINE	
	OVERHEAD UTILITY LINE	

FOR BURIED AND OVERHEAD UTILITIES:  
E-ELECTRIC T-TELEPHONE C-COMMUNICATIONS G-GAS



NORTH  
**SITE LOCATION MAP**  
NO SCALE

CLIENT:

**GLEASON ARCHITECTS, P.C.**  
HEARTLAND DRIVE, SUITE A  
SUGAR GROVE, ILLINOIS

ENGINEER:

**DJA** CIVIL ENGINEERS & SURVEYORS

DAVE JOHNSON and ASSOCIATES, Ltd.  
312 S. Hale Street Wheaton, IL 60187  
ph. 630 752 8600 fax. 630 752 9556  
www.DJAonline.net

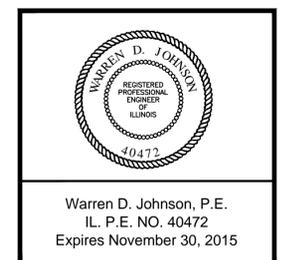
### INDEX TO DRAWINGS

0. COVER SHEET
1. DEMOLITION PLAN
2. GEOMETRY PLAN
3. UTILITY PLAN
4. GRADING PLAN
5. EROSION CONTROL PLAN
6. EROSION CONTROL DETAILS
7. DETAILS
8. NOTES
9. FOX METRO DETAILS AND NOTES
10. FOX METRO DETAILS AND NOTES
11. FOX METRO DETAILS AND NOTES

**WARNING**  
CALL JULIE TOLL FREE  
1(800)892-0123  
OPERATES 24 HOURS A  
DAY 365 DAYS A YEAR



CALL  
1(800)892-0123  
48 HOURS BEFORE  
YOU DIG

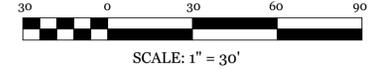


Warren D. Johnson, P.E.  
IL. P.E. NO. 40472  
Expires November 30, 2015

DATE: JULY 06, 2015

# PROPOSED BUILDING 2 EXPANSION

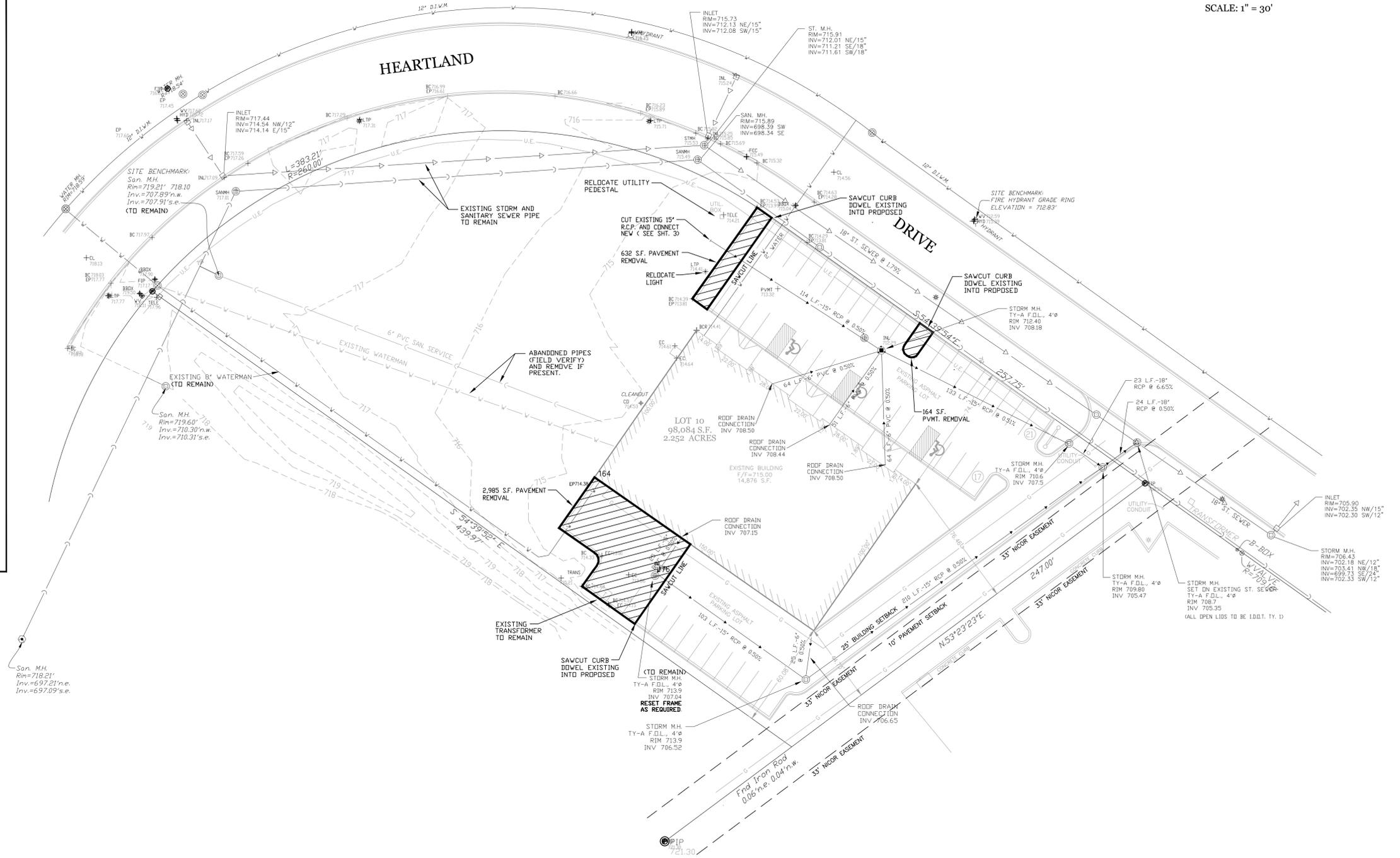
## 769 HEARTLAND DRIVE SUGAR GROVE, IL.



### LEGEND

EXISTING		PROPOSED
	CURB & GUTTER	
	WATER MAIN	
	SANITARY SEWER	
	STORM SEWER	
	STORM MANHOLE	
	SANITARY MANHOLE	
	CATCHBASIN	
	INLET	
	VALVE & VAULT	
	VALVE & BOX	
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	CONTOUR	
	DRAINAGE FLOW	
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	ELECTRIC TRANSFORMER	
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	TRAFFIC LIGHT	
	POWER POLE	
	SIGN	
	TREE	
	GAS METER	
	GAS VALVE	
	FENCE	
	BURIED UTILITY LINE	
	OVERHEAD UTILITY LINE	

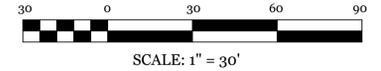
FOR BURIED AND OVERHEAD UTILITIES:  
E-ELECTRIC T-TELEPHONE C-COMMUNICATIONS G-GAS



<b>REVISIONS:</b> <table border="1"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>				DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION							<b>DRAWN BY:</b> D.J. <b>DATE:</b> 05-28-15 <b>CHECKED BY:</b> D.J. <b>DATE:</b> 05-28-15 <b>APPROVED BY:</b> D.J. <b>DATE:</b> 05-28-15 <b>FILE:</b>		<b>DJA CIVIL ENGINEERS &amp; SURVEYORS</b> DAVE JOHNSON and ASSOCIATES, Ltd. 312 S. Hale Street Wheaton, IL 60187 ph. 630 752 8600 fax. 630 752 9556 e-mail: DJA@DJAonline.net		<b>CLIENT:</b> GLEASON ARCHITECTS, P.C. HEARTLAND DRIVE, SUITE A SUGAR GROVE, ILLINOIS		<b>TITLE:</b> DEMOLITION PLAN BUILDING 2 EXPANSION 769 HEARTLAND DRIVE SUGAR GROVE, ILLINOIS		<b>SCALE:</b> NONE <b>DATE:</b> 05-28-15 <b>JOB NO:</b> 2481 <b>SHEET 1 OF 11</b>	
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION																				

# PROPOSED BUILDING 2 EXPANSION

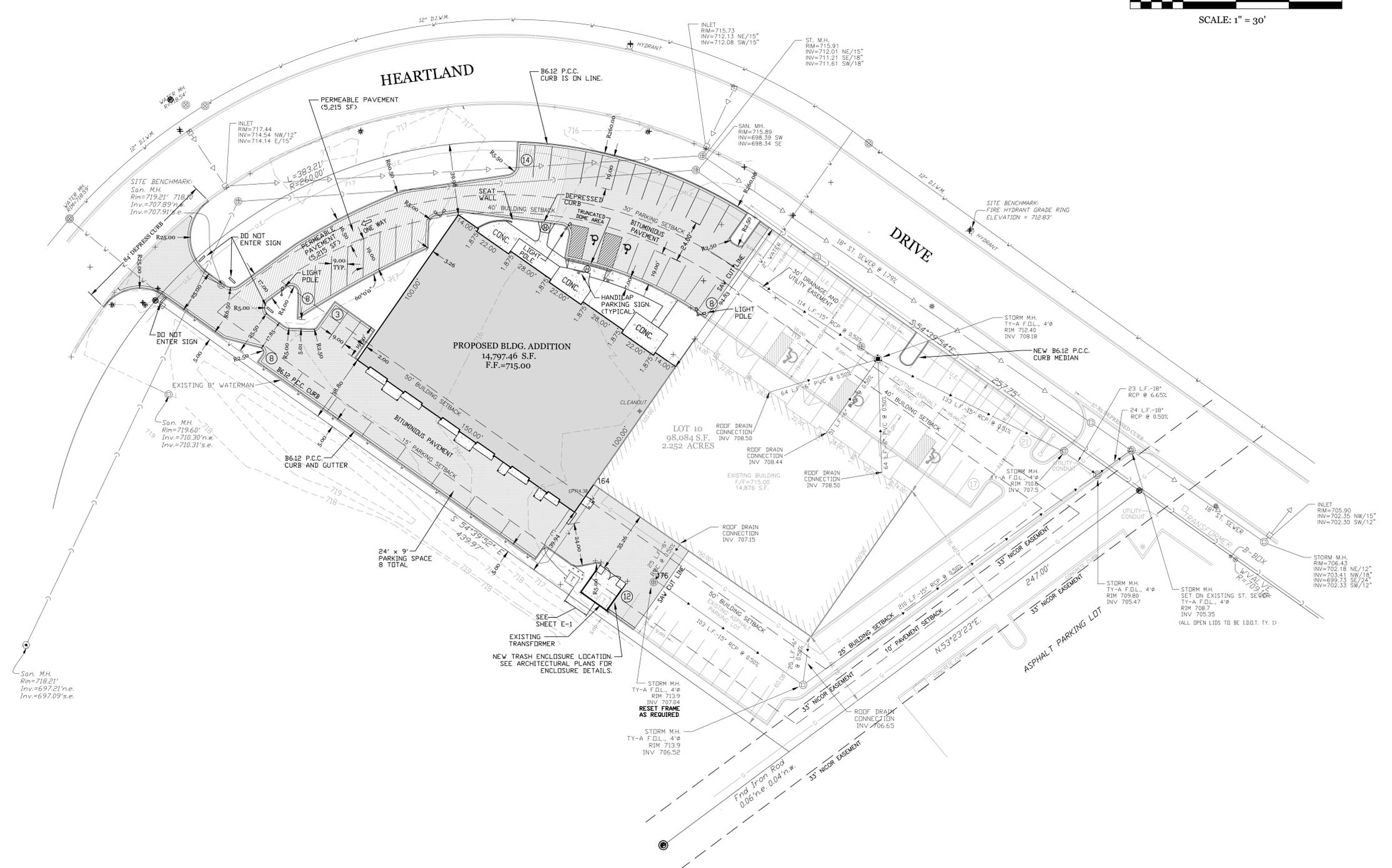
## 769 HEARTLAND DRIVE SUGAR GROVE, IL.



### LEGEND

EXISTING		PROPOSED
	CURB & GUTTER	
	WATER MAIN	
	SANITARY SEWER	
	STORM SEWER	
	STORM MANHOLE	
	SANITARY MANHOLE	
	CATCHBASIN	
	INLET	
	VALVE & VAULT	
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	STREET LIGHT	
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	SIGN	
	TREE	
	GAS METER	
	GAS VALVE	
	BURIED UTILITY LINE	
	OVERHEAD UTILITY LINE	

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E-ELECTRIC T-TELEPHONE C-COMMUNICATIONS G-GAS



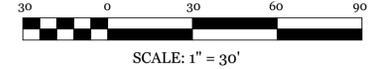
#### DEVELOPMENT SITE DATA

Parcel Numbers of the subject property: 00-00-000-000	Number of existing parking spaces provided: 45 Parallel Spaces 3 Handicapped Space
Current and proposed zoning: Commercial	Number of new parking spaces removed: 1 Parallel Space
Categories of proposed land use: Commercial	Number of new parking spaces provided: 41 Parallel Spaces 2 Handicapped Space
Size of Subject Property in square feet and acres: 98,084 S.F. / 2.252 Acres	Number of total parking spaces: 86 Parallel Spaces 5 Handicapped Space
Number of buildings: 1 (New Addition) / 1 (Existing)	Total disturbed area: 45,385 S.F.
Square footage of existing pavement and sidewalk before demolition: 26,800 S.F.	
Square footage of existing building: 14,876 S.F.	
Square footage of proposed pavement and sidewalk: 24,784 S.F.	
Square footage of proposed building: 14,797.46 S.F.	
Total site coverage after addition: 79,695 S.F.	

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07-29-15	D.J.	REVISED PER VILLAGE REVIEW																							

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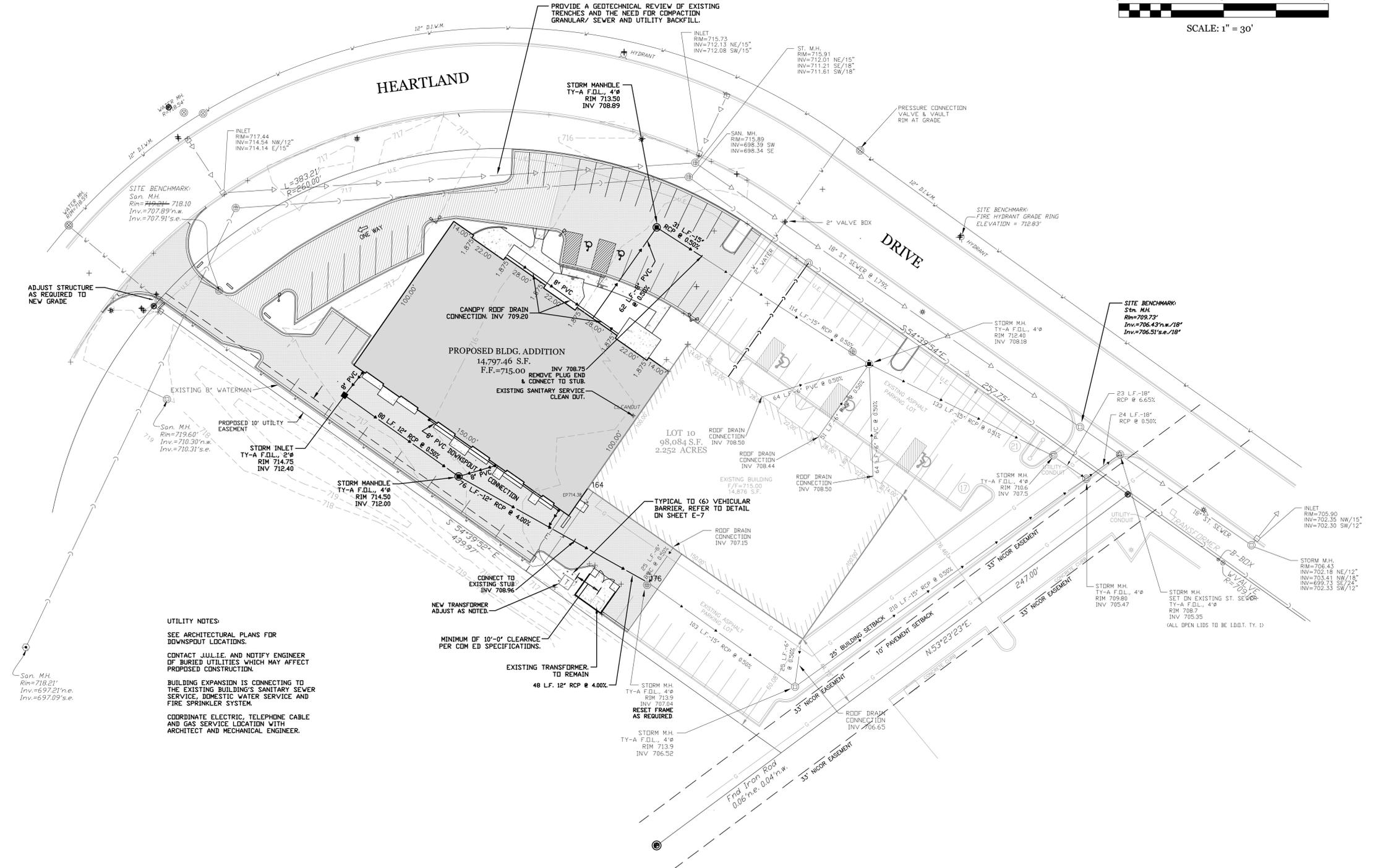
## 769 HEARTLAND DRIVE SUGAR GROVE, IL.



### LEGEND

EXISTING		PROPOSED
	CURB & GUTTER	
	WATER MAIN	
	SANITARY SEWER	
	STORM SEWER	
	STORM MANHOLE	
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	OVERHEAD UTILITY LINE	

FOR BURIED AND OVERHEAD UTILITIES:  
E=ELECTRIC T=TELEPHONE C=COMMUNICATIONS G=GAS

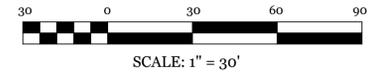


**UTILITY NOTES:**  
SEE ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS.  
CONTACT JULLIE AND NOTIFY ENGINEER OF BURIED UTILITIES WHICH MAY AFFECT PROPOSED CONSTRUCTION.  
BUILDING EXPANSION IS CONNECTING TO THE EXISTING BUILDING'S SANITARY SEWER SERVICE, DOMESTIC WATER SERVICE AND FIRE SPRINKLER SYSTEM.  
COORDINATE ELECTRIC, TELEPHONE CABLE AND GAS SERVICE LOCATION WITH ARCHITECT AND MECHANICAL ENGINEER.

<b>REVISIONS:</b> <table border="1"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>07-29-15</td> <td>D.J.</td> <td>REVISED PER VILLAGE REVIEW</td> </tr> </tbody> </table>		DATE	BY	DESCRIPTION	07-29-15	D.J.	REVISED PER VILLAGE REVIEW	<table border="1"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>05-28-15</td> <td>D.J.</td> <td></td> </tr> <tr> <td>05-28-15</td> <td>D.J.</td> <td></td> </tr> <tr> <td>05-28-15</td> <td>D.J.</td> <td></td> </tr> </tbody> </table>		DATE	BY	DESCRIPTION	05-28-15	D.J.		05-28-15	D.J.		05-28-15	D.J.		<b>DRAWN BY:</b> D.J. <b>DATE:</b> 05-28-15 <b>CHECKED BY:</b> D.J. <b>DATE:</b> 05-28-15 <b>APPROVED BY:</b> D.J. <b>DATE:</b> 05-28-15 <b>FILE:</b>		<b>DJA CIVIL ENGINEERS &amp; SURVEYORS</b> DAVE JOHNSON and ASSOCIATES, Ltd. 312 S. Hale Street Wheaton, IL 60187 ph. 630 752 8600 fax. 630 752 9556 e-mail: DJA@DJAonline.net		<b>CLIENT:</b> GLEASON ARCHITECTS, P.C. BUILDING 2 EXPANSION HEARTLAND DRIVE, SUITE A SUGAR GROVE, ILLINOIS		<b>TITLE:</b> UTILITY PLAN BUILDING 2 EXPANSION 769 HEARTLAND DRIVE SUGAR GROVE, ILLINOIS		<b>SCALE:</b> 1"=30' <b>DATE:</b> 05-28-15 <b>JOB NO:</b> 2481 <b>SHEET 3 of 11</b>	
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# PROPOSED BUILDING 2 EXPANSION

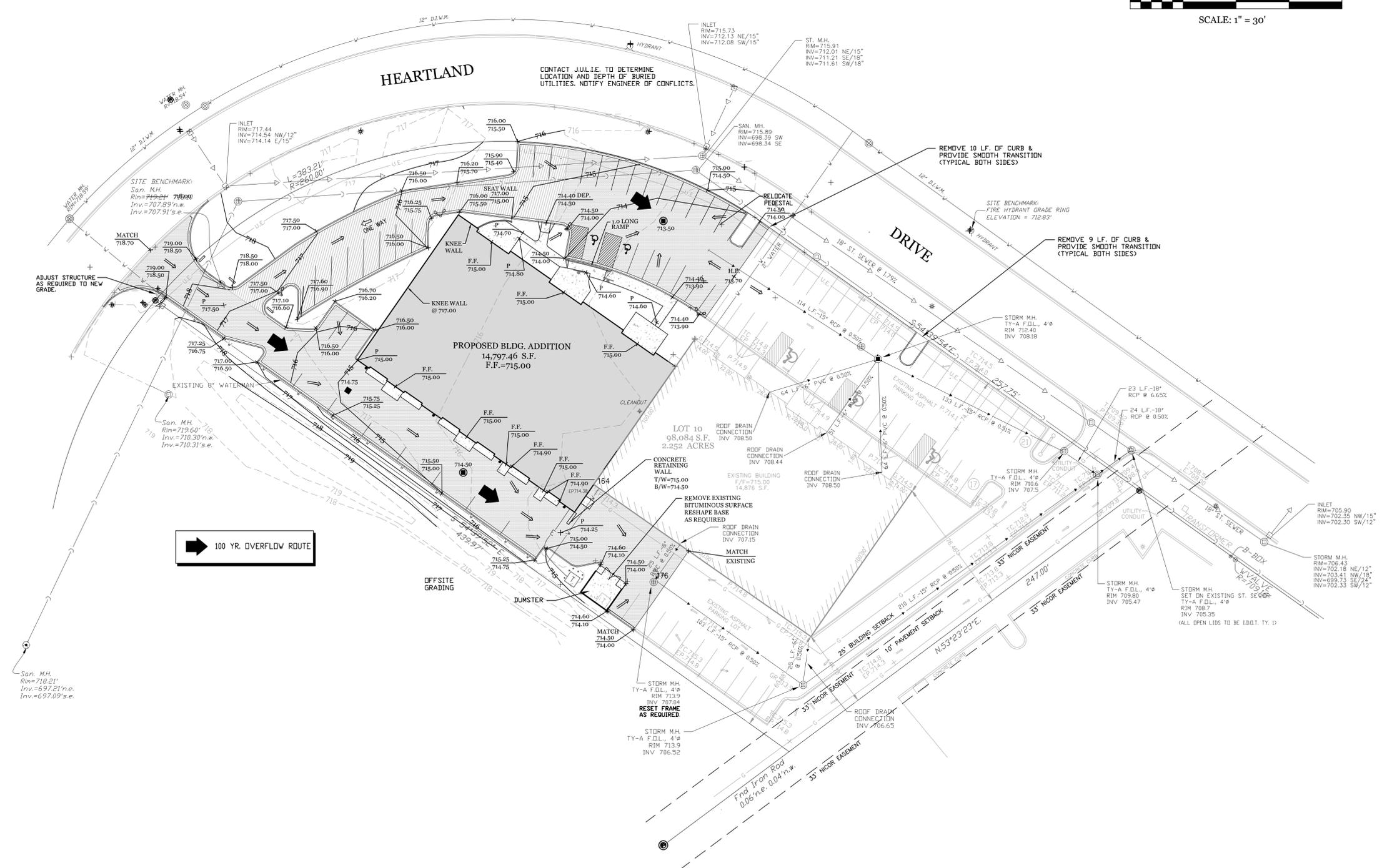
## 769 HEARTLAND DRIVE SUGAR GROVE, IL.



### LEGEND

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	CURB & GUTTER	
	WATER MAIN	
	SANITARY SEWER	
	STORM SEWER	
	STORM MANHOLE	
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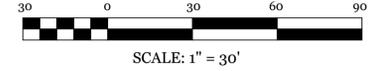
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# PROPOSED BUILDING 2 EXPANSION

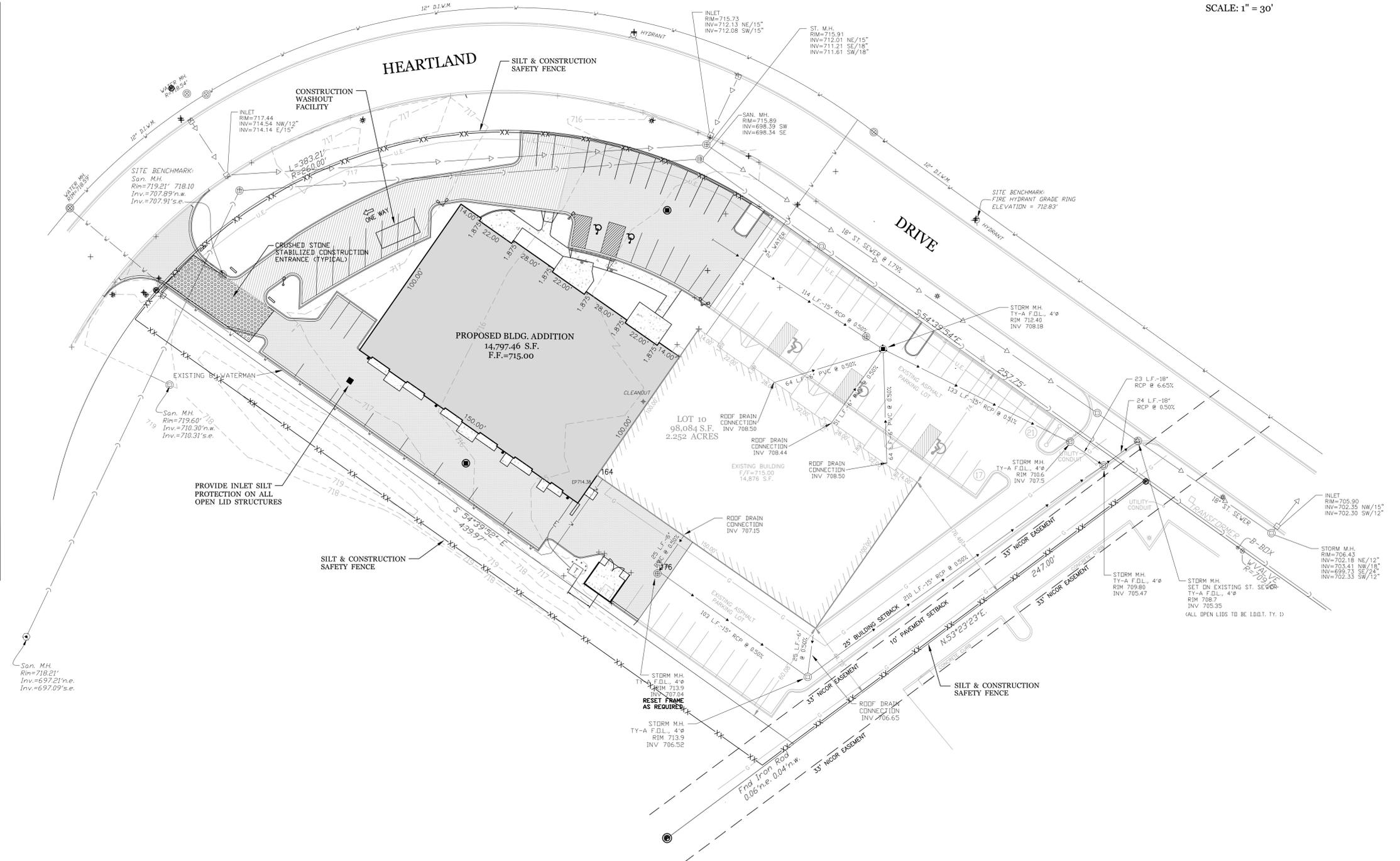
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### LEGEND

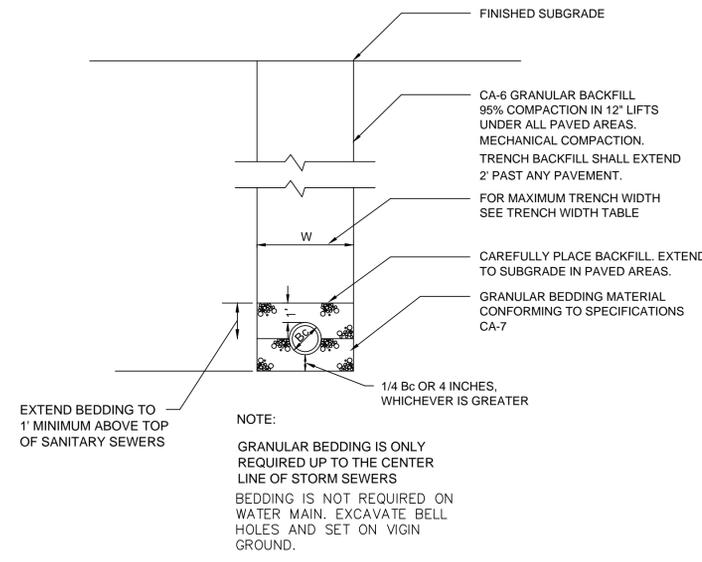
EXISTING		PROPOSED
	CURB & GUTTER	
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	SANITARY SEWER	
	STORM SEWER	
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	SANITARY MANHOLE	
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	VALVE & BOX	
	BUFFALO BOX	
	FIRE HYDRANT	
	FLARED END SECTION	
	HANDICAPPED RAMP	
	SPOT ELEVATION	
	CONTOUR	
	DRAINAGE FLOW	
	CULVERT	
	CONCRETE MONUMENT	
	PARKING SPACE COUNT	
	SURVEY CONTROL POINT	
	ELECTRIC METER	
	ELECTRIC TRANSFORMER	
	LIGHT STANDARD	
	STREET LIGHT	
	TRAFFIC LIGHT	
	POWER POLE	
	SIGN	
	TREE	
	GAS METER	
	GAS VALVE	
	FENCE	
	BURIED UTILITY LINE	
	OVERHEAD UTILITY LINE	

FOR BURIED AND OVERHEAD UTILITIES:  
E=ELECTRIC T=TELEPHONE C=COMMUNICATIONS G=GAS



<b>REVISIONS:</b> <table border="1"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>07-29-15</td> <td>D.J.</td> <td>REVISED PER VILLAGE REVIEW</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>		DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	07-29-15	D.J.	REVISED PER VILLAGE REVIEW				<b>DRAWN BY:</b> D.J. <b>DATE:</b> 05-28-15 <b>CHECKED BY:</b> D.J. <b>DATE:</b> 05-28-15 <b>APPROVED BY:</b> D.J. <b>DATE:</b> 05-28-15 <b>FILE:</b>		<b>DJA CIVIL ENGINEERS &amp; SURVEYORS</b> DAVE JOHNSON and ASSOCIATES, Ltd. 312 S. Hale Street Wheaton, IL 60187 ph. 630 752 8600 fax. 630 752 9556 e-mail: DJA@DJAonline.net		<b>CLIENT:</b> GLEASON ARCHITECTS, P.C. BUILDING 2 EXPANSION HEARTLAND DRIVE, SUITE A SUGAR GROVE, ILLINOIS		<b>TITLE:</b> EROSION CONTROL PLAN BUILDING 2 EXPANSION 769 HEARTLAND DRIVE SUGAR GROVE, ILLINOIS		<b>SCALE:</b> 1"=30' <b>DATE:</b> 05-28-15 <b>JOB NO:</b> 2481 <b>SHEET</b> 5 of 11	
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION																		
07-29-15	D.J.	REVISED PER VILLAGE REVIEW																					

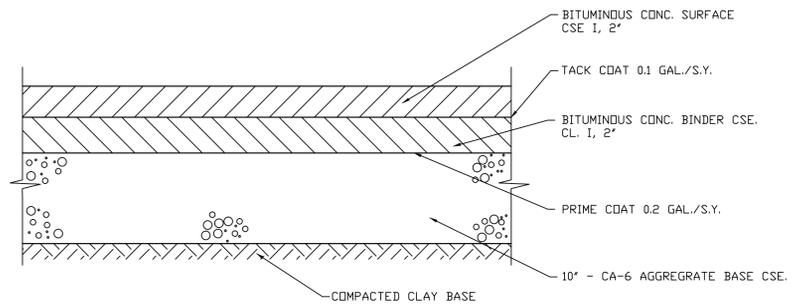
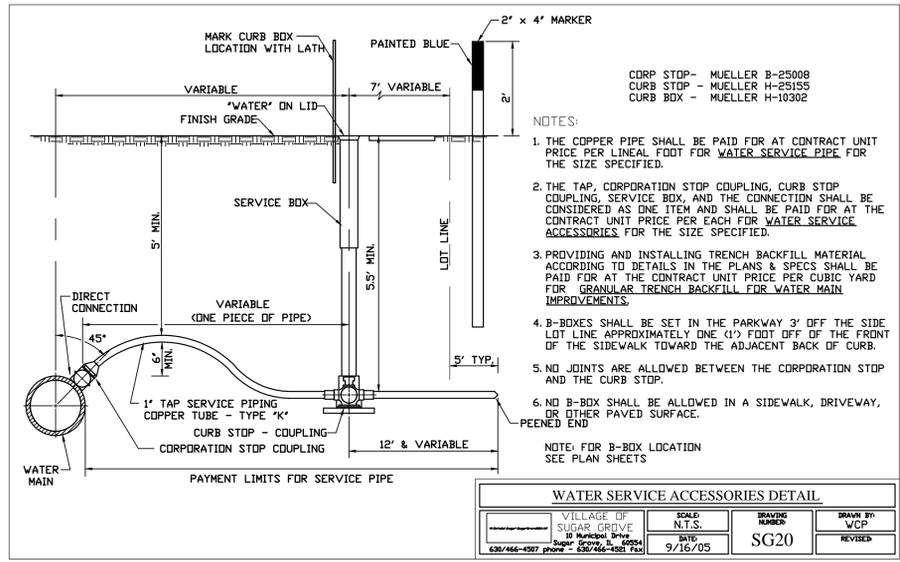




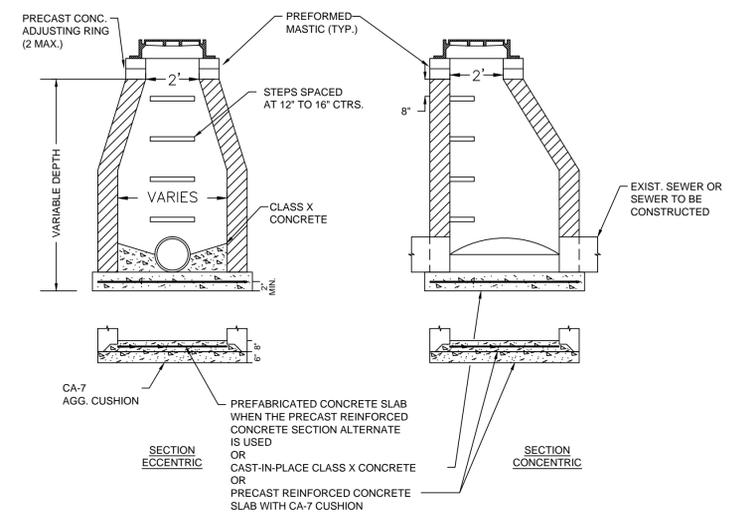
TRENCH DETAIL  
N.T.S.

INSIDE PIPE DIAMETER	MAXIMUM TRENCH WIDTH AT TOP OF PIPE (W)	GRANULAR TRENCH BACKFILL CY/FT OF DEPTH (W/27)
6"	3'-2"	0.117
12"	3'-4"	0.12

TRENCH WIDTH TABLE

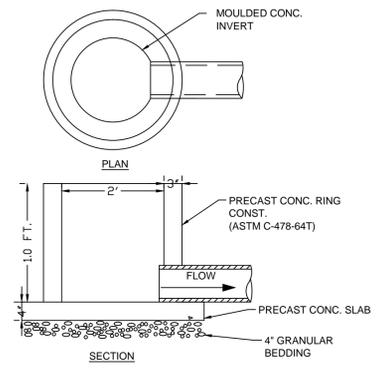


BITUMINOUS PAVEMENT DETAIL  
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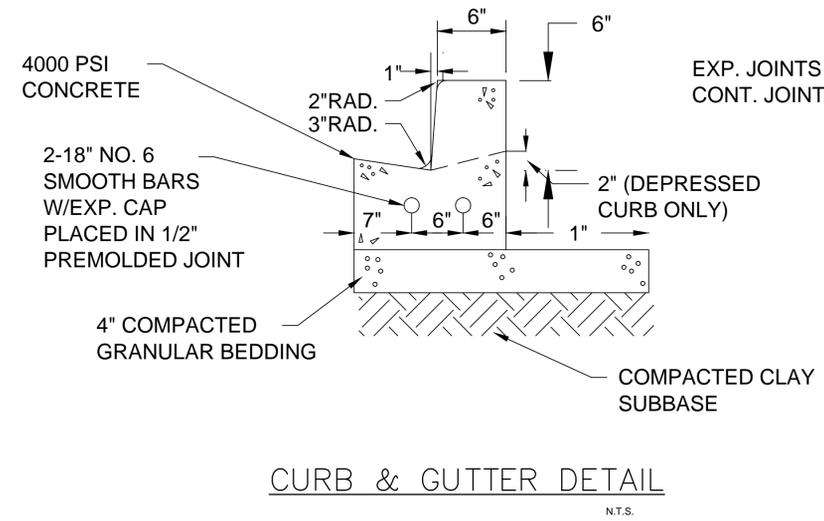


1. CAST IRON STEPS SHALL BE GRAY IRON CONFORMING TO THE REQUIREMENTS OF ARTICLE 710.7 OF THE STANDARD SPECIFICATIONS.
2. PROVIDE CA-6 AGGREGATE BACKFILL AROUND MANHOLE TO SUBGRADE ELEVATION IN PAVED AND DETENTION AREAS.
3. ALL JOINTS BETWEEN BARREL SECTIONS TO BE SEALED WITH FLEXIBLE BUTYL GASKET MATERIAL.

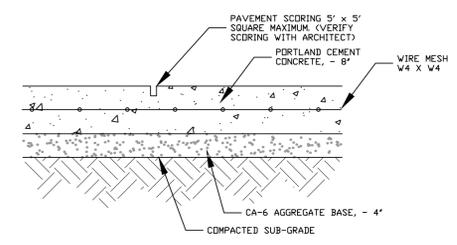
STORM MANHOLE  
N.T.S.



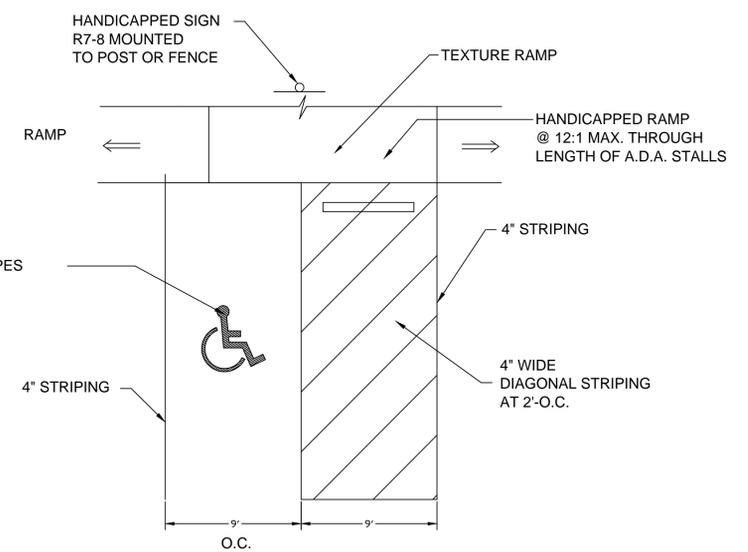
INLET TYPE "A"  
N.T.S.



CURB & GUTTER DETAIL  
N.T.S.



CONCRETE PAVING AND DUMPSTER PAD SECTION  
N.T.S.



REVISIONS:					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DRAWN BY:	D.J.	DATE:	05-28-15
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APPROVED BY:	D.J.	DATE:	05-28-15
FILE:			

**DJA** CIVIL ENGINEERS & SURVEYORS  
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CLIENT: GLEASON ARCHITECTS, P.C.  
HEARTLAND DRIVE, SUITE A  
SUGAR GROVE, ILLINOIS

TITLE: DETAILS  
BUILDING 2 EXPANSION  
769 HEARTLAND DRIVE  
SUGAR GROVE, ILLINOIS

SCALE:	NONE
DATE:	05-28-15
JOB NO.:	2481
SHEET	7 OF 11

**VILLAGE OF SUGAR GROVE WATER MAIN CONSTRUCTION**

All water main construction shall be in accordance with the "Standard Specifications for Water and Sewer Main Construction in Illinois", latest edition and revisions thereto, these improvement plans and details, special provisions and in accordance with codes and ordinances of the Village of Sugar Grove, Illinois. In case of conflict with Village codes, drawings, and these standard notes, the Village Engineer shall be contacted to confirm which is correct.

All water main shall be Ductile Iron Pipe Class 52 with either mechanical or push-on joints and shall conform to ANSI A21.51, AWWA C151 and ANSI A21.11, AWWA C111. Pipe shall be manufactured in the United States.

All fittings shall be Compact Ductile Iron and shall conform to ANSI/AWWA C153/A21.53-54. Fittings shall be UL Listed Class 350, Tyler, Griffin or approved equal. Fittings shall be manufactured in the United States.

All pipe and fittings shall be cement lined in accordance with ANSI/AWWA C104/A21.4.

All fittings shall be mechanical joint and installed with retainer glands unless otherwise shown on the drawings.

Long radius curves, either horizontal or vertical, may be laid with standard pipe by deflections at the joints. Maximum deflections at pipe joints and laying radius for the various pipe lengths shall be in accordance with ANSI/AWWA C600. When rubber gasketed pipe is laid on a curve, the pipe shall be jointed in a straight alignment and then deflected to the curved alignment. Trenches shall be made wider on curves for this purpose.

Sleeves shall be Rockwell D.1 Coupling Type 441 or equal. Sleeves shall be provided at locations shown on the plans or as required. The cost of sleeves is considered as incidental to the cost of the project.

All gate valves shall have a non-rising stem, shall have a standard operating nut and shall open in a counter-clockwise direction. Gate valves shall conform to American Flow Control Ductile Iron Resilient Wedge Gate Valves in accordance with AWWA C-509-80 Standard. All gate valves shall be installed in valve vaults.

All Valve Boxes shall be heavy wall high density polyethylene American Flow Control Trench Adapters. Lids to be marked "Water" valve box extensions if required are considered incidental. Open graded (C4-7) limestone shall be utilized to backfill around the operating nut on all valve boxes to prevent mud from penetrating the valve boxes.

All hydrants shall be in accordance with Section Four (4) of AWWA C502-54 standard and shall be an American Flow Control/Waterous Pacer Model No. WB-87-250 (break away style traffic design) with one 1/2" steamer nozzle and two 2 1/2" hose outlets, of which the threads conform with the standards of the Village of Sugar Grove, Illinois. All hydrants shall have an auxiliary gate valve. Hydrant installations shall have 5.5' depth of cover. Fire hydrants shall be placed 3' foot from the back of curb to the center of the hydrant, or where there is no curb and gutter, the face of the pumper nozzle shall be located five feet (5') from the paved road edge. Center line of pumper nozzle shall be eighteen inches (18") to twenty inches (20") above finish grade line (sidewalk to curb).

All fire hydrants shall be factory painted.

All mechanical joint fittings, valves and hydrants shall be restrained with retainer glands. Retainer glands shall be UNIFIT ANGLE SERIES 1400 Wedge Action retainer gland.

All pressure taps on an existing Village main shall be made with an American Flow Control Series 2600 Compact Ductile Iron Mechanical Joint Tapping Sleeve and an American Flow Control Series 2500 Ductile Iron Resilient Wedge Tapping Valve (MJ, a FL) and shall be constructed in a five (5) foot minimum diameter valve vault. All taps shall be performed by the Contractor after payment of applicable connection fees and shall be witnessed by the Village. The Village Engineer should be notified 48 hours in advance of any tap.

All tees, bends, valves, and fire hydrants shall be adequately supported with a concrete base, and supported laterally with precast concrete trust blocking (not poured-in-place) against undisturbed earth.

All water mains shall have a minimum depth of cover of 5.5' from the finish grade to the top of pipe or as noted on plans.

All vertical water main adjustments shall be accomplished by deflection, not bends in the water main.

All water services shall be one (1") inch diameter type "K" copper pipe with compression connections. No joints will be allowed between the corporation stop and the curb stop. Material and installation will be in general accordance with AWWA C200. The underground water service pipe and the building sewer shall be not less than ten feet (10') apart horizontally and shall be separated by undisturbed or compacted earth.

All corporation stops, curb stops, and curb boxes shall be as follows:

Brand	Municipal	
	1"	1.5"
Corporation Stop	B-25008	B-25008 B-25008
Curb Stop	B-25155	B-25155 B-25155
Curb Box	H-10302	H-10302-99007 H-10302-99007

	Ford		
	1"	1.5"	2"
Corporation Stop	FB1000-4-C	FB1000-6-C	FB1000-7-C
Curb Stop	B44-444-M3	B44-665-M3	B44-777-M3
Curb Box	B32-25-47	B32-25-47	B32-25-47

The buffalo boxes shall be set in the parkway between the back of curb and the sidewalk. Long services shall be set at the mid-point between the back of curb. Short services shall be set one foot off of the sidewalk.

The Contractor shall obtain, erect, maintain and remove all signs, barricades, flagmen and other control devices as may be necessary for the purpose of regulating, warning or guiding traffic. Placement and maintenance of all traffic control devices shall be in accordance with the applicable parts of Article 107.14 of the Standard Specifications and the Illinois Manual on Uniform Traffic Control Devices for Streets and Highways. Contractor shall furnish a traffic control plan for IDOT or Village approval if required.

All work and materials shall be in accordance with code requirements.

The Contractor shall restore any area disturbed to a condition equal to or better than its original use. This shall include finish grading, establishment of a vegetative cover (seeding or sod), general cleanup and pavement replacement.

The Contractor shall be responsible for providing safe and healthful working conditions throughout the construction of the proposed improvements.

Before acceptance by the Village all work shall be inspected and approved by the Village or its representatives.

Essements for the existing utilities, both public and private, and utilities within public rights-of-way are shown on the plans according to available records. The contractor shall be responsible for determining the exact location in the field of these utility lines and their protection from damage due to construction operations. If existing utility lines of any nature are encountered which conflict in location with new construction, the contractor shall notify the engineer so that the conflict may be resolved.

Water mains and water service lines shall be protected from sanitary sewers, storm sewers, combined sewers, house sewer service connections and drains in accordance with Title 32 Environmental Protection Agency Subtitle F - Public Water Supplies, Chapter II - Environmental Protection Agency, Parts 551-654 Technical Policy Statements, Section 653.119.

Whenever possible, a water main must be laid at least ten feet horizontally from any existing or proposed drain or sewer line. Should local conditions exist which would prevent a lateral separation of ten feet, a water main may be laid closer than ten feet to a storm or sanitary sewer provided that the water main invert is at least eighteen inches above the crown of the sewer, and is either in a separate trench or in the same trench on an undisturbed earth shelf located to one side of the sewer. If it is impossible to obtain proper horizontal or vertical separation as described above, then the sewer must also be constructed of water main type material (ductile iron pipe with slip-on or mechanical joints, prestressed reinforced concrete pipe with ASTM C-442 joints, etc.) and pressure tested to the maximum expected surcharge head to assure water tightness before backfilling.

Whenever water mains must cross house sewers, storm sewers or sanitary sewers, the water main shall be laid at such an elevation that the invert of the water main is eighteen inches above the crown of the drain or sewer. This vertical separation must be maintained for that portion of the water main located within ten feet horizontally of any sewer or drain crossed. This must be measured at the normal distance from the water main to the drain or sewer. If it is impossible to obtain the proper vertical separation as described above or if it is necessary for the water main to pass under a sewer or drain, then the sewer must be constructed of water main type material (as noted in item 23). This construction must extend on each side of the crossing until the normal distance from the water main to the sewer or drain line is at least ten feet. In making such crossings, center a length of water main pipe over/under the sewer to be crossed so that the joints will be equidistant from the sewer and as remote therefrom as possible. Where a water main must cross under a sewer, a vertical separation of eighteen inches between the invert of the sewer and the crown of the water main shall be maintained, along with means to support the larger sized sewer lines to prevent their settling and breaking the water main.

Valve vault frames shall be IDOT Type 1 (Standard 604001) and all lids shall have "Sugar Grove" and "Water" cast into them.

Valve vaults shall be adjusted with precast concrete adjusting rings to a maximum of eight (8") inches.

Hydrostatic Tests - The Contractor shall perform Hydrostatic Tests in accordance with Division IV, Section 41 of the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition, and applicable provisions of AWWA C-500 and C-600. The water mains shall be pressure tested at 150 PSI. Allowable leakage shall be as set forth in AWWA C-800 latest edition. The maximum allowable leakage shall be based off of the first 1,000 feet of pipe (i.e. if 2,000 feet of pipe is being tested, the allowable leakage will be based on the first 1,000 feet only). The duration of the test shall be for two hours minimum, and the maximum pressure drop during this two hour period is a cumulative 2 psi. To meet the testing requirements, the water main shall satisfy the pressure drop and the allowable leakage requirements. The gauge will be zeroed out before the pressure test begins. In addition, the pressure gauge used in the hydrostatic test shall be in 2psi increments or less and have a minimum of a 3 1/2" diameter face.

Disinfection of the Water Mains - Upon completion of the newly laid water mains, the water mains shall be disinfected in accordance with the American Water Works Association, Procedure Designation, AWWA C-651, latest edition. The Contractor is responsible for collecting samples and having bacteriological testing performed as required by the IEPA. The Contractor shall furnish to the Village the required documentation, test results, etc., required by the IEPA for placing the water mains or service lines in service and/or securing an operating permit.

Water valves and fire hydrants shall be operated by Village of Sugar Grove Personnel only.

The Developer/Contractor shall contact the Village Engineer to schedule operation of valves, flush and fill, pressure test, chlorination, and sampling. The Village Engineer will contact the Village accordingly. The Developer/Contractor shall provide 48 hours notice prior to performing any of these work items. The following activities must be scheduled with the Village Engineer on independent days:

- ✓ Flush and fill (Water main/service shall then be pre-tested.)
- ✓ Pressure Test (The gauge shall be zeroed out before the start of the test.)
- ✓ Chlorination
- ✓ 1<sup>st</sup> Day of Sampling
- ✓ 2<sup>nd</sup> Day of Sampling

The Village shall witness all service taps greater than 1" in diameter. Accordingly, the Developer/Contractor shall contact the Village Engineer 48 hours in advance of the tap.

For Metro Water Reclamation District shall be contacted by the Developer/Contractor to observe the construction of all water service lines to a building/house. Their observation is required from the service valve to the building/house.

All water main shall be pre-pressure tested prior to the actual test. The Village Engineer and/or the Village witnesses.

**VILLAGE OF SUGAR GROVE  
STANDARD NOTES FOR PARKING LOT CONSTRUCTION**

Construction materials and methods for parking lot construction shall meet the requirements of the "Standard Specifications for Road and Bridge Construction", latest edition.

Prior to the construction of any parking lot pavement, all of the major underground work shall be completely installed.

The Village Engineer shall be notified 48 hours prior to the pouring of the curb and gutter in order to review the aggregate base and string line/formwork of the curb and gutter. The curb and gutter within the parking lot shall be machine placed and shall be completed in a monolithic installation unless previously approved by the Village Engineer.

Curing and weather protection of all exposed concrete surfaces shall be in accordance with the IDOT Standard Specifications, latest edition, including any revisions. No honeycombing of the concrete will be accepted.

Proofrolls are required on the sub-grade, aggregate base, and the binder course, and shall be witnessed by the Village Engineer. The Village Engineer shall be provided a minimum of 60 hours advanced notice prior to the proofroll. Each proofroll shall be at the cost of the Contractor and shall be to the satisfaction of the Village Engineer as follows:

- a. A loaded truck provided by the Contractor shall be driven over the area to be tested at a speed pattern and number of cycles to be determined by the Village Engineer. The test truck shall be the common tractor trailer type with no more than five (5) axles with a total of eighteen (18) wheels loaded to a net weight of no less than twenty two (22) tons. The load ticket shall be provided the Village Engineer for record.
- b. Any unstable or damaged subgrade, aggregate sub-base, or binder course shall be removed and replaced to the satisfaction of the Village Engineer at no cost to the Village.
- c. The Village Engineer is responsible for indicating whether the proofroll passes or fails. The Contractor is responsible for determining how to fix any unsatisfactory areas.

The Village Engineer shall be notified 48 hours prior to the start of any paving.

Final placement of hot mix asphalt surface course shall be delayed for a minimum of one full winter unless otherwise approved by the Village and Village Engineer. Before the placement of the surface course, all underground utility punch list items for final inspection shall be completed and approved. Also, the binder course patches must be completed and the curb and gutter repaired as required by the Village Engineer.

The hot mix asphalt binder course and surface course mixtures shall be laid on a surface, which is dry and only when weather conditions meet all standards stated in the IDOT Standard Specifications for Road and Bridge Construction. The hot mix asphalt binder course shall be placed only when the temperature in the shade is at least forty degrees Fahrenheit (40°F), when the temperature in the shade for the previous twenty four (24) hours is at least thirty two degrees Fahrenheit (32°F) and when the forecast is for rising temperatures. The surface course shall be placed only when the temperature in the shade is at least forty-five degrees Fahrenheit (45°F), when the temperature in the shade for the previous twenty four (24) hours is at least forty degrees Fahrenheit (40°F), and when the forecast is for rising temperatures.

Immediately prior to placing hot mix asphalt surface course, the pavement shall be thoroughly cleaned, flushed and primed with bituminous material (SS-1) at a rate not to exceed one-tenth (0.1) gallon per square yard. When bituminous materials (SS-1) are applied under traffic conditions, sanding at the approximate rate of four (4) pounds per square yard will be required.

All hot mix asphalt shall be delivered and handled so that the hot mix asphalt immediately behind the paver screen is at or above two hundred seventy degrees Fahrenheit (270°F). All asphalt delivered to the project shall be covered when the temperature is at or below seventy degrees Fahrenheit (70°F).

The mix design shall be submitted the Village Engineer 48 hours in advance of paving.

All testing shall be per IDOT specifications. A certified nuclear density technician must be on site to set the asphalt pavement rolling pattern and confirm compaction densities. The technician shall revise the rolling pattern as deemed necessary. The technician shall stop the paving operation if the required densities are not being met. Density test results shall be submitted to the Village Engineer within one week of completion of the paving operation. The Contractor shall be responsible for Quality Control testing. The Village reserves the right to perform Quality Assurance testing. The Village Engineer reserves the right to stop paving operations if the Contractor does not have a qualified tester on site at the start of the paving operations.

All hot mix asphalt plants shall be approved by the State. In addition, all paving contractors performing work within the right of way shall furnish an IDOT Certificate of Eligibility to the Village prior to the start of paving.

Load tickets shall be furnished the Village Engineer at the time of paving.

REVISIONS:					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DRAWN BY:	D.J.	DATE:	05-28-15
CHECKED BY:	D.J.	DATE:	05-28-15
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FILE:			

**DJA CIVIL ENGINEERS & SURVEYORS**  
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CLIENT: **GLEASON ARCHITECTS, P.C.**  
**HEARTLAND DRIVE, SUITE A**  
**SUGAR GROVE, ILLINOIS**

TITLE: **NOTES**  
**BUILDING 2 EXPANSION**  
**769 HEARTLAND DRIVE**  
**SUGAR GROVE, ILLINOIS**

SCALE: NONE  
DATE: 05-28-15  
JOB NO: 2481  
SHEET 8 OF 11

GENERAL NOTES  
FOR SANITARY SEWER CONSTRUCTION IN THE FOX METRO WATER RECLAMATION DISTRICT

1. All sanitary sewer construction shall be performed in accordance with the "Fox Metro Water Reclamation District Sewer Use Ordinance No. 829, the "Standard Specifications for Water and Sewer Main Construction in Illinois", and "77 Illinois Administrative Code, part 890, Illinois Plumbing Code", latest edition.
2. Final approved set of plans and specifications must be kept on the job site. Failure to comply with this provision may result in a fine and/or be considered cause to stop the job.
3. The sanitary sewer contractors for all sanitary sewer main extension projects shall notify the Fox Metro Water Reclamation District's Engineering Department two (2) working days prior to start of work. Notification shall be done via telephone at (630) 301-6882, and fax at (630) 897-6094 to the Engineering Department. For service connections, call twenty-four (24) hours in advance to schedule an inspection at (630) 301-6811.
4. To prevent any possible infiltration or inflow from entering the existing downstream sanitary system, a factory-made plug shall be placed in the manhole by the contractor, as indicated on the final approved plans. The placement of the plug(s) should not interrupt the service of any user. This plug is to be removed only upon approval by the Engineering Department, and only after any accumulated water and/or construction drainage has been properly removed. Under no circumstances is overland surface drainage allowed to drain into the existing sanitary system.
5. All sanitary sewers shall be tested in accordance with Section 31-1.11 of the "Standard Specifications for Water and Sewer Main Construction in Illinois". In addition, all manholes shall be vacuum tested (Manhole testing will be in accordance with ASTM-1244-98 or in accordance with Fox Metro W.R.D. requirements). In case of testing specification conflict, where deeper manholes are constructed, the more stringent requirement will apply.
6. When connecting to an existing sanitary main when a tee or wye is not provided, an "Insera Tee" fitting must be installed. The minimum distance between fittings is 4 feet center to center. Disruption of any existing sanitary main by breaking or cutting in a wye tee is prohibited unless the existing main is cracked or broken at the point of connection. The angle of any new connection shall not exceed 1/1 or 45 degrees.
7. "Adaptor-Seal", "Infi-Shield", "Canusa (Wrapid Seal)", "FlexRib" or approved equal chimney seals shall be installed on all manholes and grease traps. No unapproved seal shall be installed in the District.
8. Only PVC transition fittings shall be used in all new construction when joining PVC pipes which are damaged during construction or have different outside diameters. Refer to Fox Metro "Manhole/Sewer Pipe Specifications" for information relating to repairs of mains damaged during construction.
9. All existing sanitary interceptor (mains 15" in diameter or greater) manhole frames located within any proposed development will be required to be adjusted to grade. Under no circumstances may the amount (two total) of adjusting rings exceed eight (8) inches (see our type A manhole detail). Extreme care should be taken when working near all sanitary manholes.
10. Cast iron clean-out covers are required for all sewer services that are proposed in paved areas (see Fox Metro Manhole/Sewer Pipe Specifications).
11. Ductile iron and cast iron pipe is not allowed for the use of gravity sewers in the Fox Metro Water Reclamation District. Ductile iron or cast iron pipe may be used in the construction of "casings" or "sleeves" around PVC carrier pipes, as well as in the construction of pump station piping and force mains.
12. Landscaping within any Fox Metro easement is prohibited without review and subsequent plan approval. It is vital for all Fox Metro personnel to be able to access the entire length of any interceptor easement for the purpose of maintaining the integrity of the sanitary sewer system or dealing with emergencies. The easement shall be graded so that the ground surface does not exceed a six percent (6%) gradient in all directions, unless otherwise approved by the District.

13. When the developer desires gravity sanitary service connections, all sanitary risers shall be required to be constructed to a depth of no greater than nine (9) feet deep. In the event the developer proposes all overhead or "hung" sewers, said sewer risers shall be constructed to a depth of no greater than 6'-7" feet deep (or as shallow as possible in order to avoid conflict issues). If a conflict arises, Illinois EPA water & sewer separation requirements take precedence over Fox Metro's maximum riser depth requirements.
14. Whether any grease trap is newly constructed or "retrofitted" to an existing building, all Fox Metro guidelines pertaining to minimum slope and cover depth for sanitary construction shall be strictly adhered to. Refer to applicable Fox Metro specifications and construction details for specific information.
15. Minimum design slopes shall be 1.00% for six (6) inch building sewers, .40% for eight (8) inch sewers, and .28% for ten (10) inch sewers with all other design slopes conforming to the requirements of the "Standard Specifications for Water and Sewer Main Construction in Illinois".
16. The inverts of all pipes entering a manhole where the existing or proposed outlet sewer is fifteen (15) inches in diameter or larger shall be set so as to match the eighty percent (80%) flow line of the new pipe and the pipe leaving the manhole. The inverts of all pipes entering a manhole where the existing or proposed outlet sewer is fourteen (14) inches in diameter or smaller shall be determined by matching the elevations of the tops of all pipes.
17. All manhole barrel sections (including those sections of existing manholes which have been exposed during construction) shall be required to be externally sealed with a 1/2" or xx9" wide (min.) sealing band of rubber and mastic. The band shall have an outer layer of rubber or polyethylene with an under layer of rubberized mastic (with a protective film), meeting the requirements of ASTM C-877, type II or type III.
18. All sags, leaks, pipe defects, or other related issues with any newly televised sewer shall be repaired by the developer's contractor at the discretion of the District. For approval of repairs, these areas will need to be confirmed in writing as completed by the appropriate municipality or re-televised by the District. At the District's discretion, connection permits may be withheld if confirmation of completed repairs cannot be obtained.
19. Any contractor, who fails to perform in accordance with the District's expectations, specifications, and rules and regulations as provided, shall be prohibited from performing work in the District. The District reserves the right to revoke or disallow any contractor's bond.
20. The District shall schedule televising of all sewers eight (8) inches in diameter or greater. Prior to televising, the developer shall flush and clean all sewers. The developer shall also be responsible for providing a smooth, level area of sufficient width along the sanitary sewer system with access to each manhole for televising and flushing equipment. The District shall be notified by the municipality or developer that the system is completed, properly cleaned and prepared for televising. The developer may incur additional charges if proper access to all manholes is not provided and/or for cleaning of sewers by the District's contractor if the sewers are found not to be clean during televising.

SECTION 3 - GREASE REMOVAL SYSTEM REQUIREMENTS

All FSEs and NFDs shall have an adequate grease removal system installed and exercise proper kitchen best management practices to ensure that excess concentrations of FOG are not discharged to the POTW.

3.1 New Construction

All new construction FSEs and NFDs shall submit plumbing plans for all potential grease discharging lines, all GRSs, and connecting piping to the Pretreatment Department for approval prior to construction. The plumbing shall be installed in accordance with the approved plans. Failure to submit plans or construct in accordance with approved plans is a violation of this ordinance.

- A. All new Food Service Establishment single occupancy buildings shall install properly sized interceptor-style grease removal systems. Where space or gradient limitations make the use of an interceptor-style GRS impractical, and with prior approval of the Pretreatment Department, a FSE may install properly sized trap-style GRSs. All kitchen drains and any other drains that may carry grease-laden waste shall be connected to this GRS, this includes but is not limited to; vegetable sinks, prep sinks, hand sinks, mop basins, floor drains, bar sinks and chemical rinse dishwashers (high temp dishwashers MAY NOT be routed through the GRS).
- B. All new construction multi-tenant buildings (strip centers) shall include a separate waste line for all leasable spaces that discharges to a common 1500 gallon or larger interceptor. When a space is leased, sold, or rented to a FSE or NFD, all kitchen drains and any other drains that may carry grease-laden waste shall be connected to this waste line. This includes but is not limited to; vegetable sinks, prep sinks, hand sinks, mop basins, floor drains, bar sinks and chemical rinse dishwashers (high temp dishwashers MAY NOT be routed through the GRS), no domestic sewage may be connected to this line. The property owner shall be responsible for proper maintenance of this interceptor in accordance with the provisions of this ordinance.
- C. All new Non-FSE FOG Discharger single occupancy buildings shall install a properly sized GRS. All kitchen drains and any other drains that may carry grease-laden waste shall be connected to this GRS, this includes but is not limited to; vegetable sinks, prep sinks, hand sinks, mop basins, floor drains, bar sinks and chemical rinse dishwashers (high temp dishwashers MAY NOT be routed through the GRS).
- D. Any FSE or NFD undertaking a Substantial Remodel, as defined herein, will be considered to be new construction for the purposes of this ordinance.

REVISIONS:					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DRAWN BY:	D.J.	DATE:	05-28-15
CHECKED BY:	D.J.	DATE:	05-28-15
APPROVED BY:	D.J.	DATE:	05-28-15
FILE:			

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CLIENT: **GLEASON ARCHITECTS, P.C.**  
 HEARTLAND DRIVE, SUITE A  
 SUGAR GROVE, ILLINOIS

TITLE: **FOX METRO NOTES AND DETAILS**  
 BUILDING 2 EXPANSION  
 769 HEARTLAND DRIVE  
 SUGAR GROVE, ILLINOIS

SCALE: NONE
DATE: 05-28-15
JOB NO: 2481
SHEET 9 OF 11

FOX METRO WATER RECLAMATION DISTRICT  
MANHOLE /SEWER PIPE MATERIALS AND INSTALLATION SPECIFICATIONS MATERIALS

1. PIPE & FITTINGS

Pipe and fittings used in sanitary sewer construction shall be polyvinyl chloride (PVC) pipe. PVC pipe and fittings dated over one year old shall not be permitted for use. No glued joints shall be allowed outside of the foundation wall of any building.

The types of PVC pipe and fittings that shall be used in the District include:

Poly Vinyl Chloride (PVC) Sewer Pipe and Fittings (ASTM –SDR series), conforming to ASTM Numbers D-1784, D-3034, D-3212, F-412, and F-477.

Poly Vinyl Chloride (PVC) Pressure Rated Pipe and Fittings (ASTM –SDR series), conforming to ASTM Numbers D-1784, D-2241, D-3139, F-412 and F-477.

Poly Vinyl Chloride (PVC) Pressure Rated Pipe and Fittings (AWWA DR-series) conforming to AWWA C-900, AWWA C-905, and ASTM Numbers D-1784, D-3139, F-412, and F-477.

All PVC plastic pipe and fittings shall have a cell classification of 12454 as defined in ASTM D-1784 and shall have minimum pipe stiffness as shown below in Table 1. The required Standard Dimension Ratio (SDR) or Dimension Ratio (DR) for PVC pipe and fittings shall be selected based upon the depth of cover, as also shown in Table 1.

Depth of Cover	Pipe Diameter	FoxMetro WRD Minimum Thickness	National Standard	Minimum Pipe Stiffness
0'-15'	6"-12"	SDR26	ASTM 0-3034	115
0'-15'	6"-12"	SDR26	ASTM 0-2241	115
0'-20'	6"-12"	SDR21	ASTM 0-2241	224
0'-30'	6"-12"	DR-18	AWWA C-900	364
0'-30'	14"	DR18	AWWA C-905	364

PVC pipe fittings conforming to ASTM 0-3034 and ASTM 0-2241 shall have a minimum wall thickness of SDR 26 plastic pipe as defined in table 1 (ASTM 0-3034 or ASTM 0-2241), and at least the same thickness of the main sewer line in which they are being installed.

Fittings in sizes through twelve (12) inches shall be molded in one piece (re-designed 3-piece Plastic trends fittings included) with elastomeric joints and minimum socket depths as specified in each respective section. Fittings above twelve (12) inches shall be molded or fabricated with elastomeric joints in accordance with ASTM standards 0-1784 and 0-3139 incorporating the manufacturer's standard pipe bells and gaskets. Gaskets shall conform to ASTM F-477 and ASTM F-913.

Joints shall meet the requirements of ASTM Standard 0-3212 or 0-3139, whichever is applicable. Fittings with a gasket retention race formed by heating or crimping are not permitted throughout the District. Fox Metro Water Reclamation District reserves the right to approve/reject all pipe and fittings on a case-by-case basis.

2. BEDDING, HAUNCHING, AND INITIAL BACKFILL

Bedding material shall be CA-7 Class 1A, as outlined in ASTM 0-2321 and shall be certified by the manufacturer and approved by the District prior to installation, to have the following characteristics:

Description: Shall be crushed stone or crushed gravel, as produced from crushing by mechanical means.

Gradation: Shall meet the 100T gradation of CA-7, Class 1A.

Plasticity Index: Shall meet a plasticity index of 0 to 4 percent as determined by the method given in AASHTO T 90.

Specific Gravity: Shall have a specific gravity (dry) of greater than 2.45.

Sources of Supply: All sources of supply shall be approved by the District. Only coarse (fractured) aggregates from these sources shall be used on the job unless approval in writing is obtained from the District.

LABORATORY TEST

The District reserves the right to require a contractor to submit certified copies of all reports of tests conducted by an independent laboratory before installation of PVC plastic pipe. Tests shall be conducted in accordance with Standard Method of Test for "External Loading Properties of Plastic Pipe by Parallel-Plate Loading."

INTERNAL DIAMETER

Pipe shall be constructed so that the internal diameter does not decrease by more than five (5) percent, in order to provide the complete hydraulic carrying capacity, and to obtain the joint performance at five (5) percent maximum diametric deflection.

PIPE INSTALLATION AND FIELD TESTING

1. INSTALLATION

When a span due to over-dig at any wall or foundation exceeds two (2) feet, or where a new house service must be constructed through a "porch box", a six (6) inch SDR 21 (or thicker) PVC pipe sleeve through the wall(s) shall be added through the span of the over-dig area(s). This sleeve must extend an additional two (2) feet beyond the over-dig area, with a stone base for the entire building sewer resting on undisturbed soil. This sleeve will accommodate a four (4) inch PVC schedule 40 (or approved equal) pipe that must be sealed at the sleeve, using a six (6) inch x four (4) inch regular brand mission coupling. The sleeve pipe shall increase as necessary to accommodate a larger sewer service pipe when required, and shall be supported by CA-7 Class 1A crushed stone or gravel. See Fox Metro's "trench detail for sanitary sewer & mains" and "sanitary service through porch box wall".

Trench widths should be stable or supported, provide a width sufficient, but no greater than necessary to ensure working room to properly and safely place and consolidate haunching and other embedment materials. The space between the pipe and trench wall must be wide enough to hand-work and place said haunching material. From the trench floor to twelve (12) inches above the top of pipe, the minimum trench width shall be the outside diameter of the pipe plus sixteen (16) inches and the maximum trench width shall be the diameter of the pipe plus twenty four (24) inches.

When trench wall supports, such as trench sheeting, trench jacks, trench shields or boxes are used, ensure the support of the pipe and its embedment is maintained throughout installation, including during and after the removal of such supports.

Pipe size shall be a minimum of 8" for sewer mains and 6" for sewer services. Pipes shall be laid in a manner which provides uniform support over the entire length. No blocking of any kind shall be used to adjust the pipe to grade except when embedment concrete is used. Bedding shall be a minimum of six (6) inches in depth. The bedding material shall be placed and worked in around pipe by hand to provide uniform support, then around and over the crown of the pipe by a minimum thickness of twelve (12) inches. The granular embedment material shall be placed and consolidated the full width of the trench. The contractor shall be required to install the pipe in such a manner that the diametric deflection of the pipe shall not exceed five (5) percent.

PVC transition fittings shall be used in all new construction when joining PVC pipes of different outside dimensions.

Service connections to new mains shall be with a tee/wye fitting with a 6" branch and shall connect to the main at a (max.) forty-five (45) degree angle.

Cast iron clean out covers conforming to ASTM class 25 or higher shall be required for all sanitary sewer services located in any paved surface. Locations of said covers shall be limited to a spacing of no greater than one hundred (100) feet or that constructed per the approved engineering plan.

The use of ductile iron & cast iron pipe is not allowed for the use of gravity sewers in the Fox Metro Water Reclamation District. Ductile iron or cast iron pipe may be used in the construction of "casings" or "sleeves" around PVC carrier pipes, as well as in the construction of pump station piping and force mains.

4" X 6" non-shear couplings shall be used to connect the building drain to the building sewer. Whether any grease trap is newly constructed or "retrofitted" to an existing building, all Fox Metro guidelines pertaining to minimum slope and cover depth for sanitary construction shall be strictly adhered to.

2. TESTING

Before final acceptance, all sanitary sewers shall be tested in accordance with Section 31-1.11 of the "Standard Specifications for Water and Sewer Main Construction in Illinois" (\*see item #2 under "Manhole Installation and Field Testing" below for vacuum testing). Specifically, all pipelines constructed of polyvinyl chloride (PVC) shall be subject to air exfiltration, deflection, vacuum and televising tests.

The deflection test shall be performed no sooner than thirty (30) days of the backfilling operation and shall consist of measuring the pipe for vertical ring deflection. Maximum ring deflection of the pipeline under load shall be limited to five (5) percent of the internal pipe diameter. All pipes exceeding this deflection shall be considered to have reached the limit of its serviceability and shall be re-laid or replaced by the contractor at their sole expense.

The cost of all deflection testing shall be borne by the contractor and shall be accomplished by pulling a mandrel, sphere, or pin-type "go/no go" device, with a diameter equal to ninety-five (95) percent of the un-deflected inside diameter of the flexible pipe, through the pipeline. DR 18 pipe is exempt from mandrel testing in the Fox Metro W.R.D. service area.

All sanitary sewer (public or private) having a diameter of eight (8) inches or greater shall be televised by the District. Said televising work is scheduled once all sanitary testing (air & vacuum) has been received by Fox Metro. Any defects in said sewer shall be required to be excavated and repaired at the contractor's or developer's sole expense. Caution should be taken before constructing roads, curbs, sidewalks or any other infrastructure, whether it is above or below the ground surface. It is the responsibility of the utility contractor and the developer to contact Fox Metro prior to installing any of these utilities or infrastructure. Repairs to defective sanitary sewers shall be performed regardless of the status of other construction.

MANHOLE INSTALLATION AND FIELD TESTING

1. INSTALLATION

All manhole castings, adjusting rings and manhole sections shall be set in BUTYL rope or approved equal. The inside joints of manhole sections, adjusting rings, and frame shall not be mortared. However, the area between the pipe and flow channel shall be filled with cement mortar to provide a flush smooth surface.

Each manhole cone and barrel section joint shall also be externally sealed with a \*6" or \*\*9" wide (min.) sealing band of rubber and mastic (see "REPAIRS" below). The band shall have an outer layer of rubber or polyethylene with an under layer of rubberized mastic (with a protective film), meeting the requirements of ASTM C-877, \*\*type or \*type III.

Pipe connections to all manholes through openings (castor core-drilled) shall be provided with a flexible rubber watertight connector conforming to ASTM C-923, "Standard Specifications for, Resilient Connectors between Reinforced Concrete Manhole Structures and Pipes".

A maximum of 8 inches of adjusting rings (2 total rings) is allowed. The frame, chimney, and top "lip" of the cone section shall be required to be sealed with a chimney seal.

Only "Adaptor-Seal", "Infi-Shield", Canusa (Wrapid Seal), FlexRib or an approved equal will be allowed. Do not use unapproved seals.

When a new manhole is approved to be constructed on an existing public sewer, only Cascade brand (CR style), or approved equal, stainless steel repair clamps shall be installed. Only repair clamps conforming to ANSI/NSF-61 shall be allowed. This work shall be inspected by Fox Metro W.R.D.

2. TESTING

Each new manhole shall be vacuum tested after manhole is at finished grade. All lift holes shall be plugged with a non-shrinking grout. The manhole frame, adjusting rings and chimney seals shall be in place when testing. No grout shall be placed in the horizontal joints before, after or during testing in order to achieve a passing test result. All pipes entering the manhole shall be plugged, taking care to securely brace the plugs from being drawn into the manhole. A vacuum of ten (10) inches of mercury shall be drawn and the vacuum pump shut off. With the valves closed, the time shall be measured for the vacuum to drop to nine (9) inches of mercury (Hg) for the following time periods for each size manhole:

- \*Forty-eight (48) inches Diameter –sixty (60) seconds
- \*Sixty (60) inches Diameter –seventy-five (75) seconds
- \*Seventy-two (72) inches Diameter –ninety (90) seconds

\*Manhole testing will be in accordance with ASTM-1244-93 or in accordance with Fox Metro W.R.D. requirements. In case of conflict, the more stringent requirement will apply (e.g. where deeper manholes are constructed).

The contractor shall provide all material and equipment necessary for testing. Should the manhole fail the vacuum test, all leaks shall be disassembled and repaired with mastic or butyl rope. After the repair is complete, the manhole shall be re-tested until a satisfactory result is obtained.

REPAIRS & REHABILITATION OF EXISTING PIPES AND MANHOLES

1. PIPES,

Pipe connections of dissimilar materials shall be made with a non-shear flexible neoprene "Mission" brand connector with stainless steel bands, where no "hub" exists.

Where a new home is constructed on any lot where the sanitary service is made of rigid materials such as vitrified clay, cast iron, or ductile iron, said service will be required to be removed or lined to the public main. Any existing sanitary sewer main or service, which is required to be lined, shall be repaired with a cured-in-place pipe (CIPP) meeting the requirements of ASTM F1216, 05813, 0790 and 02990. Said CIPP shall be installed using the inversion method only. Hot water or steam shall be used to cure all liners.

Where a newly constructed sanitary main needs to be repaired due to damage having occurred during construction, Cascade brand (CR style), or approved equal, stainless steel repair clamps shall be required. Only repair clamps conforming to ANSI/NSF-61 shall be allowed. When the damage occurs within 30 feet of a manhole, the contractor shall remove and replace the damaged main from the nearest joint to the manhole.

2. MANHOLES

Each manhole, which has been disturbed in any way, including being raised or lowered, should be cleaned and dried before re-sealing. Each cone and barrel section joint shall require a double-layer of butyl rope and also be externally sealed with a \*6" or \*\*9" wide (min.) sealing band of rubber and mastic. The band shall have an outer layer of rubber or polyethylene with an under layer of rubberized mastic (with a protective film), meeting the requirements of ASTM C-877, \*\*type II or \*type III.

A maximum of 8 inches of adjusting rings (2 total rings) is allowed in any repair. The frame and chimney of the cone section shall be required to be sealed with a chimney seal. Only "Adaptor-Seal", "Infi-Shield", Canusa (Wrapid Seal), FlexRib or approved equal will be allowed.

REVISIONS:						DRAWN BY: D.J.		DATE: 05-28-15		<b>DJA CIVIL ENGINEERS &amp; SURVEYORS</b> DAVE JOHNSON and ASSOCIATES, Ltd. 312 S. Hale Street Wheaton, IL 60187 ph. 630 752 8600 fax. 630 752 9556 e-mail: DJA@DJAonline.net	CLIENT:		TITLE:		SCALE: NONE	
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	CHECKED BY: D.J.		DATE: 05-28-15			GLEASON ARCHITECTS, P.C.		FOX METRO NOTES AND DETAILS		DATE: 05-28-15	
						APPROVED BY: D.J.		DATE: 05-28-15			HEARTLAND DRIVE, SUITE A		BUILDING 2 EXPANSION		JOB NO: 2481	
						FILE:					SUGAR GROVE, ILLINOIS		769 HEARTLAND DRIVE		SHEET 10 OF 11	

# CONTRACTOR NOTICE

## Fox Metro Water Reclamation District

**IMPORTANT – PLEASE READ!!**

We strongly urge you to have every contractor and/or subcontractor performing work on your project, read and initial this notice. The following list represents costly problems or violations that commonly occur during or after construction. Our goal is to make everyone aware of these problems and hopefully reduce unnecessary delays, expenses, and fines.

In order to perform new construction or repair work on any private sanitary or water service, the following must be completed before work may commence:

A \$25,000 license & permit bond made out to the Fox Metro Water Reclamation District must be received and approved for new construction or repair work.

A Fox Metro W.R.D. permit (connection permit for new construction or a repair permit) is required.

An inspection (performed by Fox Metro) must be scheduled 24 hours prior to any work in order to check status of permit. No work shall commence before this permit is issued.

1. All sanitary sewer main construction must have an ILEPA permit and plan approval letter on file at Fox Metro Water Reclamation District prior to commencing. Please provide our office with 48-hour notification to verify this before starting construction. If construction does not commence within two (2) days of the initial notice, start notification must be resubmitted.

2. All new sanitary construction must be securely plugged and maintained by the contractor in order to prevent unnecessary flow or discharge into the existing sanitary system. The plug(s) may only be removed after permission has been obtained from Fox Metro's Engineering Department and all construction drainage has been properly removed from the new sanitary sewer system.

3. All private sanitary sewer service connections (6" or 8" pipe) must have a connection permit from Fox Metro Water Reclamation District, and shall be inspected by Fox Metro. Please call (630) 301-6811 to schedule inspections twenty-four (24) hours from starting construction. No service pipe shall be installed until all proposed mains have been tested and approved by Fox Metro and a final recorded subdivision plat is submitted.

4. All domestic water service installations (except for the Village of Oswego and the United City of Yorkville) are to be inspected by Fox Metro. Any/all final connections to any building, made by any plumber or excavator, shall also be inspected by Fox Metro.

5. All sanitary manholes are to be sealed (exterior of chimney & barrels) and vacuum tested. Any disruption of these manholes will break the seal(s), requiring a costly resealing and retesting process, usually paid for by the developer because the responsible party is rarely found. Please stay clear of all manholes.

6. Contractors are using the sanitary sewer system to drain newly excavated basements by pumping into the service line or directly into a nearby manhole. During heavy rain events this will cause the system to backup into occupied basements creating damage and endangering the health and safety of others. Heavy fines and fees will be levied for these violations of Fox Metro W.R.D. Ordinance #829.

7. Ductile iron & cast iron pipe is not allowed for the use of gravity sewers in the Fox Metro Water Reclamation District. Ductile iron or cast iron pipe may be used in the construction of "casings" or "sleeves" around PVC carrier pipes, as well as in the construction of pump station piping and force mains.

For questions regarding permitting and new construction call Engineering at (630) 301-6882. For questions regarding inspections, construction, or to report violations or open manholes, please call (630) 301-6811.

**TYPE "A" MANHOLE**

DESIGNED FMWRD 2012  
 DRAWN KWZ 0/26/06  
 APPROVED MF 0/26/06  
 DATE 05-12-00  
 SCALE NTS  
 SHEET 1 OF 1

REVISION  
 1 G

**SERVICE CONNECTION**

DESIGNED FMWRD 2012  
 DRAWN KWZ 0/26/06  
 APPROVED MF 0/26/06  
 DATE 05-12-00  
 SCALE NTS  
 SHEET 1 OF 1

REVISION  
 1 G

**TRENCH DETAIL FOR SANITARY SERVICES & MAINS**

DESIGNED FMWRD 2012  
 DRAWN KWZ 12/1/04  
 APPROVED MF 0/26/06  
 DATE 05-12-00  
 SCALE NTS  
 SHEET 1 OF 1

REVISION  
 1 E

**SANITARY SEWER SERVICE ABANDONMENT/RECONSTRUCTION**

DESIGNED FMWRD 2012  
 DRAWN KWZ 0/26/06  
 APPROVED MF 0/26/06  
 DATE 05-09-08  
 SCALE NTS  
 SHEET 1 OF 1

REVISION  
 1 B

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DRAWN BY:	D.J.	DATE:	05-28-15
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CLIENT: **GLEASON ARCHITECTS, P.C.**  
 HEARTLAND DRIVE, SUITE A  
 SUGAR GROVE, ILLINOIS

TITLE: **FOX METRO NOTES AND DETAILS**  
 BUILDING 2 EXPANSION  
 769 HEARTLAND DRIVE  
 SUGAR GROVE, ILLINOIS

SCALE: NONE  
 DATE: 05-28-15  
 JOB NO: 2481  
 SHEET 11 OF 11

**VILLAGE PRESIDENT**

P. Sean Michels

**VILLAGE ADMINISTRATOR**

Brent M. Eichelberger

**VILLAGE CLERK**

Cynthia Galbreath



**COMMUNITY DEVELOPMENT DEPARTMENT**

**VILLAGE TRUSTEES**

Robert Bohler

Kevin Geary

Sean Herron

Mari Johnson

Rick Montalto

David Paluch

**R E C O M M E N D A T I O N**  
**PC15-04**

**TO:** Village President and Board of Trustees

**FROM:** Plan Commission

**DATE:** Meeting of June 24, 2015

**CASE FILE:** 15-010 769 N. Heartland Drive PUD

**PROPOSAL**

The property owner is requesting both a Preliminary Planned Unit Development and a Final Planned Unit Development for a single lot. The existing nonconforming multi-tenant warehouse building and parking lot on Lot 10 of Sugar Grove Research Park is proposed to be expanded with multiple deviations from the zoning requirements.

**GENERAL INFORMATION**

**MEETING DATE:** June 24, 2015

**PROJECT NAME:** 769 N. Heartland Drive PUD

**APPLICANT:** Monterey Enterprises, LLC

**LOCATION:** 769 N. Heartland Drive

**PARCEL NUMBER(S):** 14-08-253-003

**PARCEL SIZE:** 2.25 acres

**CURRENT ZONING:** M-1 Limited Manufacturing District

**CONTIGUOUS ZONING:** NORTH: (across Heartland Drive) B-3 Regional Business District

SOUTH: M-1 Limited Manufacturing District

EAST: M-1 Limited Manufacturing District

WEST: (across Heartland Drive) B-3 Regional Business District and M-1 Limited Manufacturing District

**CURRENT LAND USE:** Multi-tenant warehouse building

**CONTIGUOUS LAND USE:** NORTH: (across Heartland Drive) Open / Vacant

SOUTH: Open / Vacant  
EAST: American Heartland Bank  
WEST: (across Heartland Drive) Open / Vacant, Multi-tenant warehouse building

LAND USE PLAN DESIGNATION: Business Park

### **CHARACTER OF AREA**

The site is one lot within Sugar Grove Research Park, primarily an industrial warehouse subdivision. The lots north of this site (also within Sugar Grove Research Park) are zoned for commercial development. Areas east and west of this northern portion of Sugar Grove Research Park are unincorporated farmed agricultural land.

### **BACKGROUND & HISTORY**

The subject property is Lot 10 of Sugar Grove Research Park. Sugar Grove Research Park was annexed and zoned March 19, 1990. The annexation agreement from the same date specified that the Village's zoning ordinance in effect at the time continue to be used for the length of the agreement. The agreement lasted 20 years. When the annexation agreement expired March 19, 2010 so did the application of the 1990 zoning ordinance. The current zoning ordinance now applies to the subdivision. The subdivision is not in a Planned Unit Development (PUD).

The current building and site improvements on Lot 10 were constructed in 2003 with no Plan Commission or Village Board review (by building permit only). The property was not reviewed by the Plan Commission or Village Board since it is not located in a PUD, nor were variances identified as being needed under the 1990 zoning ordinance.

Both the building permit plans from 2003 and a later concept plan from 2006 show a building addition in approximately the same location as the building addition currently proposed. The property owner had no guarantees of being able to build such an addition, either under the zoning prior to 2010 or since. Building permit plans only permit work to be done at the time (not future work). And the concept plan was not reviewed to any significant extent before the applicant decided not to pursue the expansion in 2006-2007.

Since the current zoning ordinance is generally more restrictive than the zoning ordinance from 1990, the proposed building and site improvements would require many variances as detailed in the Evaluation section below. It would be possible under current zoning to build both a building and parking lot addition (smaller than that proposed) that would not require any variances. However, with this being the only subdivision in the Village where the zoning requirements have changed significantly in recent years and with this site having been partially built in the manner it was, the applicant decided to proceed with the development as proposed.

The development could be accommodated under either multiple variance requests or a single PUD request (with multiple deviations). Staff reviewed both options in consultation with the Village Attorney

and the applicant, and it was determined that the PUD request is the best approach in the case. The PUD request can allow for the construction of the addition in a manner somewhat more consistent with the existing building.

On May 26, 2015, the Village Board authorized issuing an "at-risk foundation permit" to begin construction to begin on this site. At this time, the permit has not yet been issued. On June 16, 2015, the Village Board approved the concurrent (as opposed to consecutive) review of Preliminary and Final Planned Unit Development review for this site.

### **COMPREHENSIVE PLAN RECOMMENDATIONS**

The Comprehensive Plan designates the site as "Business Park". Contiguous properties to the east, south, and west are designated "Business Park". Contiguous property to the north is designated "Corridor Commercial". The proposed use of the building addition is covered under case file 15-011.

### **EVALUATION & DISCUSSION**

Generally, this development is required to conform to the Village of Sugar Grove Zoning Ordinance, including the requirements of the M-1 Limited Manufacturing District. The following evaluation is based on the Zoning and Subdivision Ordinance requirements, Comprehensive Plan guidelines, and the staff reviews.

When a site is partially developed and a significant addition is proposed typical policy is to bring the entire site into conformance with the zoning and subdivision ordinances.

As of the June 24, 2015 Plan Commission meeting, the plans were not revised to address staff comments.

1. Land Use / General – The land use as an industrial warehouse building is a permitted use in the M-1 Limited Manufacturing District.
  
2. Existing Conditions – There are no existing trees, power lines, historical structures, etc. that would be impacted by the development. There is no existing wetland or floodplain. The existing building and parking lot would be modified where the new additions are proposed.
  
3. Lots, Easements & Buildings – Lot 10 meets and exceeds minimum lot size and lot width requirements and this will not change with the plan.

The lot coverage table needs to be provided in the Geometric Plan in the format requested previously by staff. Also, the existing pavement and concrete square footage is not provided in the Geometric Plan.

The existing development easily meets the current maximum lot coverage requirement of 75%. However, the proposed lot coverage is 79.37%. A deviation is requested by the applicant. Changes to the plan discussed below may reduce the lot coverage, but a deviation will likely still be requested.

The Village Engineer has requested a Plat of Easement so the water main valves can be included in a Village utility and drainage easement.

The building height is approximately 26 feet and meets the maximum height requirement.

4. Building Setbacks – The existing building meets and exceeds the current building setback requirements.

The proposed addition meets the required minimum building setback of 40 feet along the front (Heartland Drive) at 40.03 feet. However, the proposed addition does not meet the required minimum building setback of 50 feet at the rear of the building at 38.80 feet. A deviation is requested by the applicant.

The 20' front building setback line should be removed from the plan. The 40' front building setback line should be extended across the entire property. The 5' building setback line along the east property line should be corrected to 25'.

5. Parking / Islands / Loading / Drive Aisles – The parking table needs to be provided in the format requested previously by staff. The parking space figures listed in the Geometric Plan are inaccurate.

There are 54 existing parking spaces (including 3 handicap accessible). The existing building requires 48 parking spaces based on existing uses (39) and an assumption of 50% office / 50% warehouse for the two vacant tenant spaces (9). The current parking requirement is met in the existing parking lot.

The proposed addition would require 44 parking spaces for the proposed use (gymnasium).

With the parking lot addition, the plan shows 93 total parking spaces (including 5 handicap accessible). The parking requirement is 92 parking spaces (including 4 handicap accessible). The parking requirement is met.

Although the site has some existing parking islands and more parking islands are included in the parking lot addition, an additional 4 required islands are not shown in the plan. Staff recommends adding one more island in the row of parking closest to the street. Even if that island is added, a deviation is still requested by the applicant.

A single 12' x 60' loading space is not included in the plan. A deviation is requested by the applicant.

The drive aisle at the front of the building is a minimum of 24 feet in width, meeting the requirement for a two-way drive aisle. However, much of the drive aisle (west of the double-loaded parking spaces) is serving very few parking spaces northwest of the building. This portion of the drive aisle should be reduced in width to 16 feet with 60 degree parking spaces and be signed for one-way traffic heading east to decrease the impervious lot coverage.

The new portion of the drive aisle at the rear of the building is a minimum of 17 feet in width and needs to be signed for one-way traffic heading west.

A curb and green space (2 to 3 feet) should be added between the southwest corner of the building and the first parking space so that the pavement is not directly next to the building. Similarly, such an area should be added between the trash enclosure and adjacent parking space. This improves the aesthetics and prevents car door damage.

The curb next to the east end of the parallel parking shall be revised to remove unnecessary pavement.

6. Pavement Setbacks – The existing pavement meets the current pavement setback requirement along the east property line, but not along the front (Heartland Drive) and rear property lines.

The proposed pavement addition does not meet the required minimum pavement setback of 30 feet along Heartland Drive at zero (0) feet. A deviation is requested by the applicant. The proposed pavement addition does not meet the required minimum pavement setback of 15 feet along the rear property line at 5 feet. A deviation is requested by the applicant. The proposed pavement setbacks do not allow for sufficient room to plant the required landscaping, but are similar to the existing pavement setbacks on this site.

The 5' pavement setback line along the east property line should be corrected to 10'.

7. Sidewalk / Path Access – A public sidewalk along Heartland Drive is not included in the plan. A sidewalk is required by the zoning ordinance. The policy of waiving sidewalks for M-1 zoned properties in Sugar Grove Research Park and other industrial parks has been continued by staff. But formally, a deviation is requested by the applicant.

There is a building sidewalk shown at the front of the building. This sidewalk will need to be widened to 7 feet where next to parking spaces to accommodate car overhang.

8. Street Access / Traffic Study – Vehicular access to the site would be provided from the existing driveway and a new driveway along Heartland Drive. The new driveway would not align with the driveway across the street and would be located at the large curve of Heartland Drive.

9. Landscaping – The plan needs to be revised to show the existing landscaping so that all deviations can be accounted for.

**Parkway Trees** – It is known that the Heartland Drive right-of-way next to this site does not have any parkway trees and therefore the parkway tree requirement is not met. Fifteen (15) parkway trees shall be added to the landscape plan.

**Buffer Trees and Shrubs** – It is known that there are zero (0) existing buffer trees and shrubs in all three sides and therefore the existing requirements are not met currently. The proposed buffer trees and shrubs are discussed below.

Along the Heartland Drive front property line: The length is 641'. The requirement is 21 shade trees and 128 shrubs. The plan shows 2 shade trees, 3 ornamental trees, and 12 shrubs. A

deviation is requested by the applicant. All proposed trees and shrubs are shown in the one area of the front yard without a 0' pavement setback. This area is about 300 feet in length and is able to accommodate 10 trees and 60 shrubs. The plan should be revised to address, but a deviation will still be needed for the remainder of the front buffer.

Along the south rear property line: The length is 440'. The requirement is 11 shade trees and 66 shrubs. The plan shows 5 shade trees and 0 shrubs. A deviation is requested by the applicant, but may be avoided. The pavement setback on this side is 5'. This is wide enough to plant all required trees and shrubs. The plan should be revised to show all 11 trees and 66 shrubs.

Along the east side property line: The length is 247'. The requirement is 6 shade trees and 37 shrubs. The plan shows 0 shade trees and 0 shrubs. A deviation is requested by the applicant. This yard is a major Nicor utility easement and an argument could be made for not landscaping this yard.

Parking Island Trees – It is known that there is at least one shade tree in an island on the site currently and the parking island tree requirement is not met. There are eleven (11) parking islands (or ends of parking rows) on the plan requiring 11 trees. The plan shows 2 shade trees, 3 ornamental trees, and 19 shrubs. A deviation is requested by the applicant. The ornamental trees should be revised to shade trees and more shade trees can be added on the plan (including the existing one). The plan can be improved, but a deviation will still be needed at least for the island where the existing ground sign is located.

Foundation Plantings – It is known there are 7 trees next to the front foundation of the building. The number of existing shrubs is unknown and needs to be provided. The 400' of building frontage along Heartland Drive requires 20 ornamental trees and 120 shrubs in an 8' wide area. The plan shows 2 ornamental trees and 39 shrubs by the addition. The foundation planting area is not 8' wide as required given the site design. A deviation is requested by the applicant from the quantity and width requirements. No additional landscaping can be added in the foundation area given the site design.

Trash Enclosure / Transformer Plantings – A new trash enclosure and transformer are proposed. Five (5) deciduous shrubs are shown next to one side of the trash enclosure. The plan should be revised to show one 6' evergreen every 5 feet on either side of the combined enclosure and transformer area.

Groundcover is shown as "Lawn" throughout the site and should be revised to read "Sod". There are no larger areas where "Seed" would be more appropriate.

Also, there are "5 GSJ" identified on the plan that are not listed in the tables on both sheets.

10. Architecture – The existing building does not meet building material requirements for the M-1 District which requires 100% of facades facing a public right-of-way and 50% of other facades to be constructed of masonry, brick, stone, decorative concrete block, architectural steel and glass, or precast panels. Less than 50% of the front elevation is split face block, with the remainder being metal siding. Nearly all of the west elevation and the entire rear elevation are metal siding.

The Building Elevation Plan shows the proposed addition to match the existing building materials and colors. A deviation is requested by the applicant.

Roof-top and wall-mounted equipment (HVAC units, flues, meters, etc.) are not shown on the plan and need to be added. Existing roof-top equipment is visible from the rear of the building. All existing and proposed roof-top equipment needs to be screened. Once wall-mounted equipment locations are provided, proper screening will need to be determined.

11. Signage – There is an existing ground sign on site that includes six tenant panels. No ground sign is proposed. Existing unused tenant panels will need to be removed.

There is an existing channel letter wall sign for the dentist. A comprehensive plan for wall signs has not been submitted at this time. Staff will provide direction to the applicant on preparing a comprehensive wall sign plan for the building that conforms to Section 11-14 of the Zoning Ordinance. A sign plan will need to be submitted.

12. Lighting – The photometric plan needs to be revised to show the existing lighting so that a complete review can be provided.

There are several existing pole-mounted lights around the existing parking lot. Information needs to be provided on these (height, color, type of light, etc.). The parking lot lighting will need to match across the site.

There are several existing wall-mounted lights on the building. Information needs to be provided on these (mounting height, color, type of light, etc.). The wall-mounted lighting will need to match across the building. In addition, it is known that the existing wall packs are not shielded to prevent horizontal light. The existing lights will need to be shielded at a minimum.

The plan proposes pulse-start metal halide pole-mount lighting and metal halide wall-mount lighting. The ordinance requires pulse-start metal halide lighting.

The plan shows the foot candles at the property line and maximum foot candles exceeding requirements. The plan should be revised to one lamp per pole and the foot candle requirements shall be met.

The plan needs to be revised to include an elevation detail for the poles. The detail should show the foundation, base, pole, and rectangular style lamp housing. It should be labeled for height and color.

13. Trash – The existing trash enclosure would be removed. A new vinyl fence trash enclosure is proposed at the rear of the building. This will need to be revised to masonry matching the building to be in compliance with Section 11-4-7-K of the Zoning Ordinance.

14. Engineering – EEI reviewed the plans and their review letter is attached. At this time, the plans have not been revised to address the comments.

15. Water supply – The plan shows both the existing 2" domestic service and a new 2" domestic service

at the front of the building connecting to the 12" main along Heartland Drive. The plan also shows both an existing 6" fire service and a new 6" fire service at the rear of the building also connecting to the 12" main along Heartland Drive. This configuration will need to be reviewed by the Building Division, EEI, and the Fire District. Normally, there would be one domestic service and one fire service for one building.

16. Sanitary sewer – The plan shows sanitary sewer service provided from the existing portion of the building to the 18" sanitary main along Heartland Drive.

17. Stormwater management – The existing parking lot includes stormwater lines and existing building downspouts are connected to the lines. The plan shows additional stormwater lines would be installed in the parking lot addition, but does not show the downspouts tied into the lines. The plan will need to be revised. Sugar Grove Research Park includes shared retention ponds nearby.

18. Building / Fire / Police – The Building Division and Fire District comments are not available. However, they will be concerned with handicap accessibility and fire connections initially.

Staff provided a description of the proposed development. The Plan Commission had no further comment. The Plan Commission asked staff to ensure that the plans are revised to address the comments in this section and make any adjustments to the specific deviations as may result from plan revisions prior to Village Board review.

## **PUBLIC RESPONSE**

After due notice, the Plan Commission held a public hearing to consider the proposed amendment. No objectors were present.

## **RECOMMENDATION**

The Plan Commission recommends the Village Board approve the Preliminary PUD and Final PUD for an expansion of the multi-tenant building on Lot 10 of Sugar Grove Research Park (2.25 acres), pursuant to Section 11-11-6 of the Sugar Grove Zoning Ordinance, subject to the following conditions:

1. That the Preliminary PUD and Final PUD shall conform to:
  - a. the Building Floor Plan, titled "Sugar Grove Addition Floor Plan", prepared by Gleason Architects, P.C., Sheet A1, dated May 1, 2015
  - b. the Building Elevation Plan, titled "Sugar Grove Addition Exterior Elevations", prepared by Gleason Architects, P.C., Sheet A5, dated May 1, 2015
  - c. the Site Landscape Plan, titled "Multi-Tenant Office / Warehouse Expansion Landscape Plan", prepared by Gleason Architects, P.C. and Heller & Associates, LLC, Sheet L1.0 and L1.1, dated May 27, 2015
  - d. the Site Photometric Plan, titled "Sugar Grove – Parking Lot Lighting Layout",

prepared by Villa Lighting, Sheet 1 of 1, dated June 1, 2015

- e. the Site Engineering Plans, titled "Proposed Building 2 Expansion", prepared by DJA Civil Engineers & Surveyors, Sheets 1-8 of 8, dated May 28, 2015

except as such plans will be revised to address the reviews and conform to Village codes and ordinances and the conditions below.

2. That the following deviations from the Zoning Ordinance are hereby granted:
  - a. an increase of 4.37% in the maximum impervious lot coverage from a maximum of 75% to a maximum of 79.37%.
  - b. a reduction of 11.2 feet in the minimum rear (south) building setback from a minimum of 50 feet to a minimum of 38.8 feet.
  - c. a reduction of the parking island requirement to that shown on the plan.
  - d. a waiving of the requirement for one (1) 12' x 60' loading space.
  - e. a reduction of 30 feet in the minimum front (north) pavement setback from a minimum of 30 feet to a minimum of zero (0) feet.
  - f. a reduction of 10 feet in the minimum rear (south) pavement setback from a minimum of 15 feet to a minimum of 5 feet.
  - g. a waiving of the requirement to install a sidewalk in the right-of-way adjacent to the site.
  - h. a reduction of 19 shade trees and 116 shrubs in the front (north) yard landscape requirement from 21 shade trees and 128 shrubs to two (2) shade trees, three (3) ornamental trees, and 12 shrubs.
  - i. a reduction of six (6) shade trees and 66 shrubs in the rear (south) yard landscape requirement from 11 shade trees and 66 shrubs to five (5) shade trees and zero (0) shrubs.
  - j. a reduction of six (6) shade trees and 37 shrubs in the side (east) yard landscape requirement from six (6) shade trees and 37 shrubs to zero (0) shade trees and zero (0) shrubs.
  - k. a reduction of the parking island tree requirement to that shown on the plan.
  - l. a reduction of the foundation planting requirement from 20 ornamental trees and 120 shrubs to that shown on the plan.
  - m. a waiver of the building material requirements to allow the building materials for the addition to match the existing building.
3. That the plans are revised prior to Village Board review to address all items in blue in

the Evaluation section.

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**VILLAGE OF SUGAR GROVE  
BOARD REPORT**

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**TO:** VILLAGE PRESIDENT & BOARD OF TRUSTEES  
**FROM:** WALTER MAGDZIARZ, COMMUNITY DEVELOPMENT DIRECTOR  
MIKE FERENCAK, VILLAGE PLANNER  
**SUBJECT:** ORDINANCE: GRANTING A SPECIAL USE TO ESTABLISH AND  
OPERATE A GYMNASIUM AT 769 N. HEARTLAND DRIVE  
**AGENDA:** AUGUST 4, 2015 REGULAR VILLAGE BOARD MEETING  
**DATE:** JULY 30, 2015

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**ISSUE**

Should the Village Board consider a request for a Special Use to establish and operate an indoor sports training facility within the multi-tenant building at 769 N. Heartland Drive.

**DISCUSSION**

On July 21, 2015, the Committee of the Whole reviewed the request for a Special Use and directed staff to prepare an ordinance for tonight's meeting.

The applicant, Top Pick Athletic Co., would like to locate an indoor sports training facility in the proposed building addition at 769 N. Heartland Drive, Lot 10 of Sugar Grove Research Park. The building addition would consist of six tenant spaces and Top Pick Athletic Co. would occupy all six. The building addition is the subject of the Planned Unit Development request on tonight's agenda.

A Special Use is requested as health clubs and gymnasiums are a Special Use in the M-1 Limited Manufacturing District. No exterior improvements are proposed or requested under this application. The request is simply for establishing and operating the use in the building. The Plan Commission recommended the Special Use be granted subject to conditions as originally recommended by staff.

**ATTACHMENTS**

- Ordinance 2015-0804\_ An Ordinance Granting a Special Use for the property at 769 N. Heartland Drive.
- Plan Commission Recommendation PC15-05

**COSTS**

All costs associated with the review of this proposal will be paid for by the applicant.

**RECOMMENDATION**

That the Board adopt Ordinance 2015-0804\_B An Ordinance Granting a Special Use for the property at 769 N. Heartland Drive.



**VILLAGE OF SUGAR GROVE  
KANE COUNTY, ILLINOIS**

**ORDINANCE NO. 2015-0804B**

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**AN ORDINANCE GRANTING A SPECIAL USE  
TO ESTABLISH AND OPERATE A GYMNASIUM  
AT 769 N. HEARTLAND DRIVE  
IN THE VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS  
(TOP PICK ATHLETIC Co.)**

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Adopted by the  
Board of Trustees and President  
of the Village of Sugar Grove  
this 4<sup>th</sup> day of August, 2015.

Published in Pamphlet Form  
by authority of the Board of Trustees  
of the Village of Sugar Grove, Kane County,  
Illinois, this 4<sup>th</sup> day of August, 2015.

**ORDINANCE NO. 2015-0804B**

**AN ORDINANCE GRANTING A SPECIAL USE  
TO ESTABLISH AND OPERATE A GYMNASIUM  
AT 769 N. HEARTLAND DRIVE  
IN THE VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS  
(TOP PICK ATHLETIC CO.)**

**BE IT ORDAINED** by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows;

**WHEREAS**, the Village of Sugar Grove is not a home rule municipality within Article VII, Section 6A of the Illinois Constitution and, pursuant to the powers granted to it under 65 ILCS 5/1-1 *et seq.*; and,

**WHEREAS**, Top Pick Athletic Co. has requested a Special Use to establish and operate a gymnasium (indoor sports training facility) at 769 N. Heartland Drive on property legally described in SECTION ONE; and,

**WHEREAS**, a public hearing has been conducted on the request by the Plan Commission of the Village of Sugar Grove on June 24, 2015, and the Commission recommended 4-1 approval of the Special Use; and,

**WHEREAS**, the Village Board has reviewed the request and has deemed that approval of the Special Use would be in compliance with the Zoning Ordinance of the Village of Sugar Grove;

**NOW, THEREFORE, BE IT ORDAINED** by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

**SECTION ONE: SPECIAL USE**

The subject property described in **Exhibit A** is hereby granted a Special Use pursuant to Section 11-13-12 of the Village of Sugar Grove Zoning Ordinance. Said Special Use is conditioned upon compliance with the conditions enumerated on **Exhibit B** which is attached and made part of this ordinance.

**SECTION TWO: GENERAL PROVISIONS**

**REPEALER**: That all ordinances or portions thereof in conflict herewith are hereby repealed to the extent of any such conflict.

**SEVERABILITY**: Should any provision of this ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and effect the same as if the invalid provision had not been a part of this ordinance.

EFFECTIVE DATE: This ordinance shall be in full force and effect on and after its approval, passage and publication in pamphlet form as provided by law.

**PASSED AND APPROVED** by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, this 4<sup>th</sup> day of August, 2015.

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P. Sean Michels  
President of the Board of Trustees  
of the Village of Sugar Grove,  
Kane County, Illinois

ATTEST:

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Cynthia L. Galbreath  
Clerk, Village of Sugar Grove

	<b>Aye</b>	<b>Nay</b>	<b>Absent</b>	<b>Abstain</b>
Trustee Kevin Geary	___	___	___	___
Trustee Sean Herron	___	___	___	___
Trustee Mari Johnson	___	___	___	___
Trustee Ted Koch	___	___	___	___
Trustee David Paluch	___	___	___	___
Trustee Rick Montalto	___	___	___	___
President P. Sean Michels	___	___	___	___

**Exhibit A**

*Legal Description*

LOT 10 IN SUGAR GROVE RESEARCH PARK, IN THE VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS.

**Exhibit B**

*Conditions of Approval*

1. The Special Use is limited to Units G, H, I, J, K, and L of the building at 769 N. Heartland Drive and cannot be expanded unless the Special Use is amended.
2. The applicant shall obtain all required building permits prior to any interior modifications or exterior sign installation.
3. The applicant shall obtain a certificate of occupancy prior to occupying the space.

**VILLAGE PRESIDENT**

P. Sean Michels

**VILLAGE ADMINISTRATOR**

Brent M. Eichelberger

**VILLAGE CLERK**

Cynthia Galbreath



**COMMUNITY DEVELOPMENT DEPARTMENT**

**VILLAGE TRUSTEES**

Robert Bohler

Kevin Geary

Sean Herron

Mari Johnson

Rick Montalto

David Paluch

**R E C O M M E N D A T I O N**  
**PC15-05**

**TO:** Village President and Board of Trustees  
**FROM:** Plan Commission  
**DATE:** Meeting of June 24, 2015  
**CASE FILE:** 15-011 769 N. Heartland Drive SU

**PROPOSAL**

The applicant is requesting a Special Use to establish and operate a gymnasium located in an expanded multi-tenant warehouse building on Lot 10 of Sugar Grove Research Park.

**GENERAL INFORMATION**

**MEETING DATE:** June 24, 2015  
**PROJECT NAME:** 769 N. Heartland Drive SU  
**APPLICANT:** Top Pick Athletic Co. (Perry Clark)  
**LOCATION:** 769 N. Heartland Drive  
**PARCEL NUMBER(S):** 14-08-253-003  
**PARCEL SIZE:** 2.25 acres  
**CURRENT ZONING:** M-1 Limited Manufacturing District  
**CONTIGUOUS ZONING:** NORTH: (across Heartland Drive) B-3 Regional Business District  
SOUTH: M-1 Limited Manufacturing District  
EAST: M-1 Limited Manufacturing District  
WEST: (across Heartland Drive) B-3 Regional Business District and M-1 Limited Manufacturing District  
**CURRENT LAND USE:** Multi-tenant warehouse building  
**CONTIGUOUS LAND USE:** NORTH: (across Heartland Drive) Open / Vacant  
SOUTH: Open / Vacant  
EAST: American Heartland Bank

WEST: (across Heartland Drive) Open / Vacant, Multi-tenant warehouse building

LAND USE PLAN DESIGNATION: Business Park

### **CHARACTER OF AREA**

The site is one lot within Sugar Grove Research Park, primarily an industrial warehouse subdivision. The lots north of this site (also within Sugar Grove Research Park) are zoned for commercial development. Areas east and west of this northern portion of Sugar Grove Research Park are unincorporated farmed agricultural land.

### **BACKGROUND & HISTORY**

The applicant, Top Pick Athletic Co. (Perry Clark), has submitted a request for Special Use to permit a gymnasium in six tenant spaces (Unit G through L) of the future building addition at 769 N. Heartland Drive. Top Pick Athletic Co. is currently located in North Aurora.

The subject property is Lot 10 of Sugar Grove Research Park. Sugar Grove Research Park was annexed and zoned March 19, 1990. The annexation agreement from the same date specified that the Village's zoning ordinance in effect at the time continue to be used for the length of the agreement. When the annexation agreement expired March 19, 2010 so did the application of the 1990 zoning ordinance. The current zoning ordinance now applies to the subdivision. The property is zoned M-1 Limited Manufacturing District. The subdivision is not in a Planned Unit Development (PUD).

The current building and site improvements on Lot 10 were constructed in 2003. The building currently houses Gleason Architects in Unit A, Home For Life Advantage Inc. in Unit B (a handicap accessibility provider), Modern Dentistry in Unit C, and Sign FX in Unit E. Unit D and F are vacant. Gymnasiums and health clubs are listed as a Special Use in the M-1 Limited Manufacturing District.

The applicant completed submittal June 17, 2015. There are no plans involved with the request as no exterior improvements are proposed or requested under this application. The attached plans are provided for reference only. Any interior improvements or sign requests will require a building permit. A certificate of occupancy will also be required.

### **COMPREHENSIVE PLAN RECOMMENDATIONS**

The Comprehensive Plan designates the site as "Business Park". The Comprehensive Plan does not provide any policy regarding specific uses allowed in various districts of the Zoning Ordinance.

Contiguous properties to the east, south, and west are designated "Business Park". Contiguous property to the north is designated "Corridor Commercial". The proposed use of gymnasium could be compatible with surrounding uses, though the use does not truly fit the purpose of the business park area. Gymnasiums and health clubs are sometimes found in business parks due to their requirements for a larger space.

## **EVALUATION & DISCUSSION**

Generally, this development is required to conform to the Village of Sugar Grove Zoning Ordinance, including the requirements of the M-1 Limited Manufacturing District. The following evaluation is based on the Zoning Ordinance requirements.

1. Land Use / General – With a Special Use permit, a gymnasium is permitted in the M-1 Limited Manufacturing District.

2. Parking – With the parking lot addition currently proposed as part of Petition 15-010, there would be sufficient parking on the site for this use.

3. Signage / Interior Improvements – Please see the discussion on signage in Petition 15-010. Any wall signs or panels on the ground sign will require a building permit. Any interior improvements will require a building permit. A certificate of occupancy will also be required.

4. Trash – With the trash enclosure currently proposed as part of Petition 15-010, there would be sufficient trash storage on the site for this use.

The applicant provided a description of the existing business which is currently located in a nearby community. The Plan Commission discussed the proposed Special Use and asked the applicant questions about the use, business program and operations. The Plan Commission was satisfied with the responses.

## **PUBLIC RESPONSE**

After due notice, the Plan Commission held a public hearing to consider the proposed amendment. No objectors were present.

## **RECOMMENDATION**

The Plan Commission recommends the Village Board **approve** the Special Use for a gymnasium pursuant to Section 11-10-2-B of the Sugar Grove Zoning Ordinance, subject to the following conditions:

1. That the Special Use is limited to Units G, H, I, J, K, and L of the building at 769 N. Heartland Drive and cannot be expanded unless the Special Use is amended.
2. The applicant shall obtain all required building permits prior to any interior modifications or exterior sign installation.
3. The applicant shall obtain a certificate of occupancy prior to occupying the space.

Village of Sugar Grove  
Public Works Department

**MEMORANDUM**

July 31, 2015

TO: Village President and Board of Trustees  
FROM: Anthony Speciale, Public Works Director  
RE: **PUBLIC WORKS DEPARTMENT STAFF REPORT**

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The following is a short summary of current projects that the Public Works Department is addressing:

Meetings:

On July 21, 2015 Brad Merkel, Geoff Payton and I attended the US 30 Advanced Intersection Project meeting with IDOT. The closing of North Dugan Road, the two week construction schedule, utility issues and deadlines were discussed. Currently, utility relocations are conflicting with the project.

On July 23, 2015 Geoff Payton and I attended a meeting with representatives from HR Green to discuss the Dugan / Granart Roundabout project. The construction schedule, outstanding items and the detour status were discussed.

On July 24, 2015 Brad Merkel, Geoff Payton and I attended the pre-construction meeting for the Fay's Lane / Sugar Lane Watermain project. Construction schedule, material staging and construction notices were discussed.

On July 28, 2015 Brad Merkel, Geoff Payton and I attended the US 30 Advanced Intersection Project meeting with IDOT. The closing of North Dugan Road, the revised phasing schedule, utility issues and deadlines were discussed. Currently, utility relocations are conflicting with the project.

On July 29 2015 I attended the I-88 / Illinois 47 Improvement project Public Meeting #1. The purpose of the meeting was to introduce the project study area, provide an overview of the planning process and seek public input and their concerns. Exhibits and an audio / visual display were available to those who attended.

On July 30, 2015 Geoff Payton and I attended a meeting with representatives from HR Green to discuss the Dugan / Granart Roundabout project. The construction schedule and deadlines, sign plan, striping plan and lighting concerns were discussed.

## Streets & Properties:

### IL 47 / I-88 Interchange Project

The contract for Phase I engineering was awarded to Graef USA Inc. at the December 22, 2015 Special Board Meeting. Phase I engineering is expected to take approximately 36 months. Approval of Phase I from IDOT, the Tollway and the FHWA will also be obtained. An update on the project was given at the July 7, 2015 Board Meeting. Public Meeting #1 was held at Waubensee Community College on July 29, 2015. Work on Phase I is continuing.

### IL47 / Bliss Road / Wheeler Road

Engineering Enterprises, Inc. was selected for Phase I and Phase II engineering. The Phase I and Phase II agreements were approved at the February 4, 2014 Board Meeting. The revised IDS has been submitted, the environmental study and soil borings have been completed. Coordination with IDOT and Kane County is on-going. Phase II is nearing completion.

### Dugan Road / Granart Road Roundabout Project:

The bid opening for this project was held August 4, 2014. The Contract was awarded to Geneva Construction at the August 5, 2014 Board Meeting. The signs are substantially complete, surface course paving is substantially complete and permanent striping is being scheduled. The roundabout will remain open to Local Traffic Only until August 21, 2015. At that time, the detour will be removed.

### Denny Road LAFO:

This project was approved at the February 3, 2015 Board meeting. The project consists of using STP funds to complete an overlay on Denny Road from Pinecrest Drive to Bliss Road. EEI is working on Phase I engineering. Construction is expected to take place in Spring / Summer 2016.

### 2015 MFT / Road Program:

This program was approved at the December 22, 2014 Special Board meeting. The contracts were opened on March 26, 2015 and awarded at the April 7, 2015 Board meeting.

The resurfacing of Heartland Drive, Waubensee Drive, Calkins Drive and Grove Street was awarded to Geneva Construction. A pre-construction meeting was held June 16, 2015 for the resurfacing. Construction on Heartland Drive began on July 13, 2015. Concrete work was completed on Grove Street and Calkins Drive July 14, 2015. Construction was suspended during Corn Boil but is expected to resume the week of August 3, 2015.

The crack sealing portion of the program was awarded to Behm Pavement Maintenance. Crack sealing was completed on June 29, 2015.

### Black Walnut Trails Unit 7 and 8 Sidewalk Improvements:

This project bid opening was held May 11, 2015. The project was awarded to Triggs Construction at the May 19, 2015 Board. The project is being funded by Letter of Credit money secured from these two units. A preconstruction meeting was held July 10, 2015. Construction begin the week of July 20, 2015. Sections of sidewalk will be completed on Merrill New Road, Greenfield Drive and Brighton Drive as budget allows.

#### Pavement Marking Program:

This project was awarded at the May 5, 2015 Board Meeting. Pavement marking will be completed on Capitol Drive, E. Park Avenue, W. Park Avenue, Merrill Road and Hanks Road. The paperwork was submitted May 15, 2015 and painting started July 13, 2015. The project is expected to be completed by August 7, 2015.

#### Mosquito Abatement:

Larvacide applications to catch basins was completed the week of June 8, 2015. Staff is continuing to monitor the catch basins for mosquito activity. With the extremely wet start to summer, a second treatment will be completed as the weather conditions are favorable for mosquito breeding. The materials have been ordered and the second application is expected to be completed by August 7, 2015.

#### EAB Trees

Staff removed 9 EAB Trees.

Staff patched a sink hole in Settlers Ridge Subdivision.

Staff coordinated Street Sweeping for the Corn Boil.

Staff coordinated the water and barricades for Corn Boil.

#### Utilities:

##### Settlers Ridge to Mallard Water Main Project:

Bid's for this project were opened on March 31, 2015 awarded at the April 7, 2015 Board Meeting. A pre-construction meeting was held April 16, 2015 to discuss the project scope and schedule. The directional boring of Prairie Street and the railroad tracks was completed on May 22, 2015. The project is 95% complete with only restoration of the construction site remaining.

##### Fays Lane and Sugar Lane Water Main Projects:

A Pre-Construction meeting was held July 24, 2015. Work is scheduled to begin at Fay's Lane on August 12, 2015.

##### Settlers Ridge to Prestbury Water Main Project:

The Design Engineering Contract was approved at the April 7, 2015 Board Meeting. Topography will begin the third week of April. Updates will be given as they become available.

##### Windstone Sanitary Sewer Project

The contract was awarded to Stark & Son Trenching at the July 21, 2015 Board Meeting.

##### Windstone Lift Station Siding Project

This project is 90% complete.

Staff collected monthly water samples as required by the IEPA.

Staff has completed 352 JULIE Locates in July.