

<p>Village President P. Sean Michels</p> <p>Village Clerk Cynthia Galbreath</p> <p>Village Administrator Brent M. Eichelberger</p>	 <p>SUGAR GROVE 10 S. Municipal Drive Sugar Grove, Illinois 60554 Phone: 630-466-4507 Fax: 630-466-4521</p>	<p>Village Trustees</p> <p>Robert Bohler Kevin Geary Sean Herron Mari Johnson Rick Montalto David Paluch</p>
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**November 18, 2014
Board Meeting
6:00 P.M.**

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Public Hearing
 - a. Annexation Agreement Amendment for Hannaford Farm Lot 42 (1759 Hunter’s Ridge Lane)
5. Appointments and Presentations
 - b. Plan Commission Member
6. Public Comment on Items Scheduled for Action
7. Consent Agenda
 - a. Approval: Minutes of the November 4, 2014 Meeting
 - b. Approval: Vouchers
 - c. Approval: Treasurer’s Report
 - d. Ordinance: Annexation Agreement Amendment for Hannaford Farm Lot 42 (1759 Hunter’s Ridge Lane) #20141118A
 - e. Ordinance: Amending Speed Limit on Denny Road #20141118B
8. General Business
 - a. Resolution: Approving a Cellular Antenna Lease #20141118RA
 - b. Ordinance: Approving a Special Use for a Cellular Antenna #20141118C
 - c. Ordinance: Approving a Land Use Plan Amendment #201411188D
 - d. Discussion: Use of Debit /Credit Service - Government Payment Services, Inc. (GPS)
9. New Business
 - a. None
10. Reports
 - a. Staff Reports
 - b. Trustee Reports
 - c. Presidents Report
11. Public Comments
12. Airport Report
13. Closed Session: Land Acquisition, Personnel, Litigation
14. Adjournment

*The consent agenda consists of items that have been previously discussed, are non-controversial, or routine in subject manner and are voted on as a ‘package’. However, by simple request any member of the Board may remove an item from the consent agenda to have it voted upon separately. Items that are marked as * STAR – indicate that the item is Subject to Attorney Review.*

**Committee of the Whole Meeting
Cancelled**

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: WALTER MAGDZIARZ, COMMUNITY DEVELOPMENT DIRECTOR
SUBJECT: PUBLIC HEARING: HANNAFORD FARM ANNEXATION AGREEMENT
AMENDMENT FOR LOT 42 (1759 HUNTER'S RIDGE LANE)
AGENDA: NOVEMBER 18, 2014 REGULAR VILLAGE BOARD MEETING
DATE: NOVEMBER 14, 2014

ISSUE

Shall the Village Board hold a public hearing to consider an amendment of the Hannaford Farm annexation agreement for Lot 42.

DISCUSSION

The annexation agreement amendment is necessary in order to capture costs for certain public improvements in the incomplete subdivision.

COSTS

There are publication and Village Attorney costs associated with this project that the Village will pay for.

RECOMMENDATION

That President Michels open the public hearing to accept public comments on the annexation agreement amendment for Hannaford Farm Lot 42 (1759 Hunter's Ridge Lane) and that the public hearing be subsequently closed.

**November 4, 2014
Village of Sugar Grove
Regular Board Meeting
6:00 PM**

President Michels opened the meeting at 6:00 PM and asked that Trustee Johnson lead the Pledge. The roll was then called.

Present: Trustee Paluch, Trustee Montalto, Trustee Geary, Trustee Herron, and Trustee Johnson.

Absent: Trustee Bohler

Quorum Established.

Also Present:

Administrator Eichelberger, Attorney Wilson, Clerk Galbreath, Public Works Director Speciale, Finance Director Chamberlin, Community Development Director Magdziarz and Chief of Police Rollins.

PUBLIC HEARINGS

None.

APPOINTMENTS AND PRESENTATIONS

None.

PUBLIC COMMENTS ON ITEMS SCHEDULED FOR ACTION

President Michels called for any public comment and hearing, none this portion of the agenda was closed.

CONSENT AGENDA

- a. Approval: Minutes of the October 21, 2014 Meeting
- b. Approval: Vouchers

Trustee Johnson **moved to approve the Consent Agenda as presented.** Trustee Montalto seconded the motion. President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	Bohler
	Paluch				
	Herron				
	Johnson				
	Geary				

Motion Carried.

GENERAL BUSINESS

Ordinance Granting a Major Planned Unit Development Amendment and Final Planned Unit Development for an Assisted Living / Memory Care Facility

Trustee Johnson **moved to Adopt an Ordinance Granting a Major Planned Unit Development Amendment and Final Planned Unit Development for an Assisted Living / Memory Care Facility.** Trustee Geary seconded the motion. President Michels then called for discussion. Community Development Director Magdziarz stated that trees will be planted in areas discussed at the last meeting, the berm has been altered as requested and that a tree survey has been performed. President Michels asked if the money to be received in lieu of some trees could be used in other areas. Attorney Wilson

stated he would look into it but it is probable the answer will be yes. President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	Bohler
	Paluch				
	Herron				
	Johnson				
	Geary				

Motion Carried.

Ordinance Approving a Rezoning to SR Senior Residential District

Trustee Johnson **moved to Adopt an Ordinance Approving a Rezoning to SR Senior Residential District.** Trustee Paluch seconded the motion. Administrator Eichelberger outlined the floor plan and stated that there are two tenants lined up. Staff hopes to be before the Board shortly with a architectural service recommendation President Michels then called for discussion. President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	Bohler
	Paluch				
	Herron				
	Johnson				
	Geary				

Motion Carried.

Resolution Approving the Final Plat - Prairie Pointe Assisted Living Resubdivision

Trustee Johnson **moved to Adopt a Resolution Approving the Final Plat - Prairie Pointe Assisted Living Resubdivision.** Trustee Herron seconded the motion. President Michels then called for discussion. President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	Bohler
	Paluch				
	Herron				
	Johnson				
	Geary				

Motion Carried.

Resolution Village Professional Center Remodeling Bid – 160 S. Municipal Drive

Trustee Johnson **moved to Adopt a Resolution Village Professional Center Remodeling Bid – 160 S. Municipal Drive.** Trustee Geary seconded the motion. President Michels then called for discussion. President Michels then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	Bohler
	Paluch				

	Herron				
	Johnson				
	Geary				

Motion Carried.

Police Pension Fund Discussion

Finance Director Chamberlin stated that the Village received a letter from the Police Pension attorney with the recommended tax levy from the Police Pension Board.

The amount recommended by the actuary, Tim Sharpe, last year was \$240,392. However, the Village increased that amount and budgeted \$276,383. This year, the actuary recommended \$350,251. There are several reasons for this increase:

- a) Last year’s actuary amount was based on the projected unit credit (statutory minimum contribution) and this year it is based on entry age normal (recommended contribution determination, level percent of pay). This is also the current state recommendation.
- b) The mortality tables used last year have been updated to reflect more current and accurate tables.
- c) An additional officer went out on disability resulting in an additional cost to the unfunded liability.

Mr. Koch member of the Pension Board was present and stated that he likes the new actuary recommendation and that he will be working with the Board to improve the rate received from investments as he does not believe the return are good. Returns should be better in the future as there is an increase in the amount means that can be invested in. He will work to insure that all members of the pension board are aware of the real numbers of return on investment.

The Board briefly disused the recommendation and agreed that the pension does need to be funded and further stated that something does need to be done about this fund and it needs to have better oversight.

Approval & Announcement: 2014 Proposed Property Tax Levy

Trustee Johnson **moved to Publicly Announce and Approve the 2014 Proposed Property Tax Levy for 2014.** Trustee Geary seconded the motion. Staff recommends that the Village Board announce and approve an estimated and proposed tax levy of \$4,066,499.39. After reductions for bond abatements and actual EAV adjustments, the estimated property taxes are \$1 ,548,835.74, which is \$33,574.62 (2.2%) above the 2013 extension amount of \$1 ,515,261.12. The Special Assessment (SBA No. 17) for the Mallard Point/Rolling Oaks Area project will continue and the SSA No. 16 is scheduled to begin at \$54.59 Mallard Point/\$36.85 Rolling Oaks. The SSA No. 10, which consists of the Sugar Grove Center, will levy a tax of one half percent (0.5% or \$.50 per \$1 00) of the equalized assessed valuation or approximately \$23,544. President Michels then called for discussion. The Board debated SSA 16 and asked for additional information on the cost of performing a wetland burn. President Michels hearing no further discussion then called for a roll call vote.

AYE:	Montalto	NAY:	None	ABSENT:	Bohler
	Paluch				
	Herron				
	Johnson				
	Geary				

Motion Carried.

NEW BUSINESS

Administrator Eichelberger stated that a sign will be put up at Granart/Dugan that has a website on it for the roundabout. www.sugargroveroundabout.com.

REPORTS

Trustee Montalto asked if when there is an accident on Route 47 if the semi's could be held and not diverted through Mallard Point as it is hard on the interior roadways.

Trustee Johnson stated that EDC has their Holiday gathering planned for December and the Board should watch for their invitations.

Trustee Herron spoke about the Mayor of Elburn and his project with his second graders. Trustee Jonson reminded all of the Food Pantry Drive. Trustee Paluch stated he is once again collection Christmas Cards for the Troops.

President Michels state he had a good meeting with Board member elect Lenert.

PUBLIC COMMENTS

None.

AIRPORT REPORT

None.

Meeting was adjourned at 7:15 p.m. by motion made by Trustee Johnson seconded by Trustee Herron, all in attendance voted Aye in a Voice Vote.

Respectfully submitted, Cynthia L Galbreath, Clerk

**Committee of the Whole Meeting
November 4, 2014
7:15 P.M.**

President Michels opened the meeting and the roll was then established as previous roll call stands.

Present: Trustee Paluch, Trustee Montalto, Trustee Geary, Trustee Herron, and Trustee Johnson.

Quorum Established.

Also Present:

Administrator Eichelberger, Attorney Wilson, Clerk Galbreath, Public Works Director Speciale, Finance Director Chamberlin, Community Development Director Magdziarz and Chief of Police Rollins.

Public Comment

Discussion - Comprehensive Land Use Plan Update

Community Development Director presented to the Village Board land use recommendations on territory in the Village's planning area generally in the area of the Tollway as recommended by the Plan Commission. Also presented was a draft map.

There is one recommendation in the text that is not reflected on the map: encouraging mixed-use development in appropriate locations north of the Tollway. Staff has not included mixed-use development as a land use in the amendment since this would be a material departure from the 2004 Comprehensive Plan and beyond the scope established by the Board at the beginning of this effort.

The key features of the proposed amendment include the following:

- Open Space land use appears to be the dominant land use in the area north of the Tollway which is a result of mapping floodplain, open water, forested lands and wetlands and providing a realistic vision of developable land. Additionally, the Open Space land use recommendation accounts for locations of future storm water management facilities so that this function is incorporated in the open space system as an amenity, not a utility function, complementing the environmental features in the landscape.
- The Com Ed property and future substation at Bliss Road and I-88 are identified on the plan within the Business Park land use.
- The Corridor Commercial land use at IL 47 and Seavey Road may need to be thought of as flexible land use. The property on the west side of IL 47 could be commercial but there may be access and visibility challenges with these two tracts of land and an alternate land use such as Multiple Family may be considered here.
- With the exception of Seavey-Healy Road, Green Road, Norris Road, and Bliss Road, the thoroughfares shown in the Business Park land use on the plan are flexible and may be removed or relocated without materially affecting circulation in the Business Park.
- A 200-foot buffer is recommended along Green Road, Norris Road and Main Street to maintain the character of these corridors. Uses such as agriculture, farmsteads and

large estate lots would be appropriate uses within this buffer. Wherever possible, storm water detention facilities are recommended as part of this buffer requirement. The buffer is generally shown as Estate Residential on the Land Use Plan amendment.

President Michels stated that he still was of the opinion that area north of Seavey should stay agricultural. Staff stated that a land use plan is for the long range and it should be shown in the type of desirable zoning as it also gives developers a “heads up” as to what type of infrastructure may be needed.

Discussion - 2015 Road Program

Administrator Eichelberger stated that several factors go into the decision on what level of improvements are needed, including: age, functional classification, improvement history, funding sources and current pavement condition. The winter season also has some bearing on what repairs are needed as roadways can deteriorate rapidly with harsh conditions. He then presented the following is a listing of subdivisions and what level of repair or maintenance they require.

Overlay: Mallard Point (Partial), West Sugar Grove (Partial), Strafford Woods, Dugan Woods (Partial), Heartland Dive Truck Route (Partial), Wheeler Road (Partial), Carriage Hill and Chelsea Meadows (Partial).

Micro-surfacing: Mallard Point (Partial), Windsor West, Walnut Woods, West Sugar Grove (Partial) and West Wheeler Road.

Crack-sealing: Windsor Pointe, West Sugar Grove (Partial), Wheeler Road (Partial), Hanks Road, Granart Road (Partial) and Meadowridge Villas.

Black Walnut / Windstone is nearing the need for partial overlays and is ready for various full depth patching and curb repairs. Bliss Woods was recently micro-surfaced.

It has been estimated that the Village should be allocating \$1,400,000 annually in order to maintain our roads at their current condition. Over the past 8 years, the Village has spent an average of \$622,900 annually thanks in part to Federal Grants secured. An average of \$201,800 of the \$622,900 annual expenditure has been from grant sources while \$421,100 has been Village funding.

The Board discussed the roadways and those in need, it was suggested that staff price finishing Heartland/Waubensee and then consider using the remaining funds for next year on crack-sealing.

Adjournment

Meeting was adjourned at 8:00 p.m. by motion made by Trustee Johnson seconded by Trustee Herron, all in attendance voted Aye in a Voice Vote.

Respectfully submitted, Cynthia L Galbreath, Clerk

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT MICHELS & BOARD OF TRUSTEES
FROM: FINANCE
SUBJECT: APPROVAL OF VOUCHERS
AGENDA: NOVEMBER 18, 2014 BOARD MEETING
DATE: NOVEMBER 14, 2014

ISSUE

Approval of Vouchers

DISCUSSION

Vouchers for items purchased are submitted for payment and manual checks are noted for ratification.

COST

Vouchers total \$645,394.21 and manual checks total \$0.00

RECOMMENDATION

Approval of vouchers totalling \$645,394.21 and ratification of manual checks totaling \$0.00.

DATE: 11/14/14
TIME: 11:15:55
ID: AP441000.WOW

VILLAGE OF SUGAR GROVE
DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/18/2014

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

A0118	AT&T						
6304664521-10	10/25/14	01	IT/63046645218416 10/25-11/24	01496502		11/18/14	45.00
		02	ADM/63046645218416 10/25-11/24	01506502			24.36
		03	FIN/63046645218416 10/25-11/24	01566502			24.36
		04	PWIT63046645218416 10/25-11/24	50496502			44.99
		05	W&S/63046645218416 10/25-11/24	50506502			25.11
						INVOICE TOTAL:	163.82
						VENDOR TOTAL:	163.82
A8037	AIRGAS NORTH CENTRAL						
9032910055	10/27/14	01	W&S/CHEMICALS	50656607		11/18/14	853.16
						INVOICE TOTAL:	853.16
9922834230	11/03/14	01	W&S/CHEMICALS	50656607		11/18/14	25.17
						INVOICE TOTAL:	25.17
						VENDOR TOTAL:	878.33
A8959	APPLIED CONCEPTS INC						
260892	10/28/14	01	POL/DSR ENCHANCED COUNTING UNT	01516407		11/18/14	1,369.00
						INVOICE TOTAL:	1,369.00
						VENDOR TOTAL:	1,369.00
B0020	BLUETARP FINANCIAL INC						
31689516	11/11/14	01	W&S/MEMBERSHIP	50596208		11/18/14	39.99
						INVOICE TOTAL:	39.99
						VENDOR TOTAL:	39.99
B0202	BP						
611035	11/06/14	01	ACCT 590-200-899-3 -10/6-11/05	01516601		11/18/14	2,067.67
						INVOICE TOTAL:	2,067.67
						VENDOR TOTAL:	2,067.67

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B0235 BONNELL INDUSTRIES INC							
0157324-IN	11/10/14	01	S&P/REPAIR PARTS TRK 203	01536407		11/18/14	2,343.92
						INVOICE TOTAL:	2,343.92
156909-IN	10/28/14	01	S&P/REPAIR PARTS TRK 207	01536617		11/18/14	118.70
						INVOICE TOTAL:	118.70
156923-IN	10/28/14	01	S&P/REPAIR PARTS TRK 207	01536617		11/18/14	504.22
						INVOICE TOTAL:	504.22
						VENDOR TOTAL:	2,966.84
B0301 CITY OF BATAVIA							
MISC000178	10/27/14	01	POL/NEW WORLD UPGRADE APPR	01516307		11/18/14	2,158.33
						INVOICE TOTAL:	2,158.33
						VENDOR TOTAL:	2,158.33
B0816 BETTER BUSINESS PLANNING							
25133FSA	11/01/14	01	FSA ADMIN FEE NOV 2014	01566309		11/18/14	15.00
		02	FSA ADMIN FEE NOV 2014	50506309			15.00
						INVOICE TOTAL:	30.00
25134HRA	11/01/14	01	HRA ADMIN FEE NOV 2014	01566309		11/18/14	67.50
						INVOICE TOTAL:	67.50
						VENDOR TOTAL:	97.50
C0024 CONNOR CO.							
S6365067.001	10/24/14	01	W&S/PLUMBING SUPPLIES	50606603		11/18/14	45.26
						INVOICE TOTAL:	45.26
						VENDOR TOTAL:	45.26
C0031 CINTAS FIRE PROTECTION CORP							
F9400091050	10/15/14	01	BM/10 MUNICIPAL 04-06 2014	01546406		11/18/14	285.00
						INVOICE TOTAL:	285.00

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C0031	CINTAS FIRE PROTECTION CORP						
F9400091051	10/15/14	01	BM/601HEARTLAND 01-03 2014	01546406		11/18/14	142.50
		02	W&S/601HEARTLAND 01-03 2014	50596406			142.50
						INVOICE TOTAL:	285.00
						VENDOR TOTAL:	570.00
C0036	CONSTELLATION						
192299650001	10/30/14	01	W&S/0399050054 9/30-10/27	50606511		11/18/14	1,261.91
						INVOICE TOTAL:	1,261.91
193661860001	11/03/14	01	W&S/0022092002 10/2-10/29	50606511		11/18/14	1,175.90
						INVOICE TOTAL:	1,175.90
193662010001	11/03/14	01	W&S/5222138020 10/2-10/29	50606511		11/18/14	5,783.79
						INVOICE TOTAL:	5,783.79
						VENDOR TOTAL:	8,221.60
C0346	CORDOGAN CLARK & ASSOCIATES						
14801	11/10/14	01	ADM.PROFESSIONALSERVICES OCT14	30506304		11/18/14	6,974.77
						INVOICE TOTAL:	6,974.77
						VENDOR TOTAL:	6,974.77
C0361	COM ED						
110314M	11/03/14	01	S&P/7090127000 LIGHT S 10/2-31	01536511		11/18/14	4.03
						INVOICE TOTAL:	4.03
110314O	11/03/14	01	S&P/9369045017LIGHTS 10/2-31	01536511		11/18/14	4.03
						INVOICE TOTAL:	4.03
110414L	11/04/14	01	S&P/0053059135 LIGHTS 9/19-10/	01536511		11/18/14	134.37
						INVOICE TOTAL:	134.37
110714	11/07/14	01	S&P/2082154034DUGAN 10/9-11/07	01536309		11/18/14	574.85
						INVOICE TOTAL:	574.85
						VENDOR TOTAL:	717.28

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C0362	COMMONWEALTH EDISON						
103014	10/30/14	01	W/0039152077WH6 9/30-10/28	50606511		11/18/14	51.06
						INVOICE TOTAL:	51.06
103014A	10/30/14	01	S/0789114021 LS5 9/30-10/28	50656511		11/18/14	101.64
						INVOICE TOTAL:	101.64
103014C	10/30/14	01	S/1209054036 LS6 9/30-10/28	50656511		11/18/14	48.51
						INVOICE TOTAL:	48.51
103014D	10/30/14	01	S/1311106047LS7 9/30-10/28	50656511		11/18/14	105.03
						INVOICE TOTAL:	105.03
103014E	10/30/14	01	W/1581052012 WH5 9/30-10/28	50606511		11/18/14	178.82
						INVOICE TOTAL:	178.82
103014F	10/30/14	01	W/1713098046 WH7 9/30-10/28	50606511		11/18/14	154.79
						INVOICE TOTAL:	154.79
103014G	10/30/14	01	W/2073094061WH8 9/30-10/28	50606511		11/18/14	118.81
						INVOICE TOTAL:	118.81
103014H	10/30/14	01	W/2151031026WH 3 9/30-10/25	50606511		11/18/14	217.43
						INVOICE TOTAL:	217.43
103014I	10/30/14	01	S/2295116015 LS4 9/30-10/28	50656511		11/18/14	207.33
						INVOICE TOTAL:	207.33
103014J	10/30/14	01	W/2763123040 WH4 9/30-10/28	50606511		11/18/14	126.25
						INVOICE TOTAL:	126.25
110314B	11/03/14	01	S/1035032066 LS8 10/3-10/31	50656511		11/18/14	98.39
						INVOICE TOTAL:	98.39
110614K	11/06/14	01	S/9390162025LS9 10/7-11/5	50656511		11/18/14	142.08
						INVOICE TOTAL:	142.08
						VENDOR TOTAL:	1,550.14

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C0377 CARGILL, INCORPORATED							
2901966308	11/04/14	01	S&P/BULK ROAD SALT 152.800TONS	01536615		11/18/14	8,906.70
						INVOICE TOTAL:	8,906.70
2901967218	11/04/14	01	S&P/BULK ROAD SALT129.660TONS	01536615		11/18/14	7,557.87
						INVOICE TOTAL:	7,557.87
2901968408	11/05/14	01	S&P/BULK ROADSALT 205.550TONS	01536615		11/18/14	11,981.52
						INVOICE TOTAL:	11,981.52
2901969528	11/05/14	01	S&P/BULKROADSALT 24.390TONS	01536615		11/18/14	1,421.69
						INVOICE TOTAL:	1,421.69
						VENDOR TOTAL:	29,867.78
C0384 COMPUTER NETWORK MGMT. LLC							
141009	10/31/14	01	IT/MAINTENANCE NEW COMPUTER	01496307		11/18/14	1,760.00
		02	PWIT/MAINTENANCE NEW COMPUTER	50496307			1,760.00
						INVOICE TOTAL:	3,520.00
						VENDOR TOTAL:	3,520.00
C8038 COMPASS MINERALS AMERICA							
71245069	11/03/14	01	W&S/SALT WELL #10	50606607		11/18/14	2,738.53
						INVOICE TOTAL:	2,738.53
71245070	11/03/14	01	W&S/SALT WELL #10	50606607		11/18/14	2,711.54
						INVOICE TOTAL:	2,711.54
						VENDOR TOTAL:	5,450.07
D0010 DU-TEK INC.							
174265	11/04/14	01	S&P/HOSES & COUPLINGS	01536617		11/18/14	149.00
						INVOICE TOTAL:	149.00
						VENDOR TOTAL:	149.00

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D0012	DELUXE						
0050794346	11/04/14	01	FIN/PAYROLL CHECKS	01566504		11/18/14	161.60
		02	W&S/PAYROLL CHECKS	50506613			161.59
						INVOICE TOTAL:	323.19
						VENDOR TOTAL:	323.19
D0409	DE KANE EQUIPMENT CORP						
7923	11/07/14	01	S&P/SHIRTS FOR SEASONAL LABOR	01536209		11/18/14	108.00
						INVOICE TOTAL:	108.00
IA31054	09/25/14	01	S&P/CHAIN SAW REPAIR	01536612		11/18/14	287.81
						INVOICE TOTAL:	287.81
						VENDOR TOTAL:	395.81
E0012	RANDALL ERICKSON						
2014 1109	11/10/14	01	CD/INSPECTIONS FROM 10/27-11/9	01556309		11/18/14	4,720.00
						INVOICE TOTAL:	4,720.00
						VENDOR TOTAL:	4,720.00
E0544	ENGINEERING ENTERPRISES, INC.						
025000005600	11/05/14	01	FNLW&SREF 40 WHEELER	50001210		11/18/14	195.97
						INVOICE TOTAL:	195.97
55162	10/22/14	01	S&P/DUGANRDLAFOSG1302	32536303		11/18/14	12,084.00
						INVOICE TOTAL:	12,084.00
55172	10/22/14	01	CD/BLACK TRL UNIT 7 SG0012	01556303		11/18/14	125.00
						INVOICE TOTAL:	125.00
55173	10/22/14	01	CD/HANNAFORD FARMS SG0330	01556303		11/18/14	2,041.00
						INVOICE TOTAL:	2,041.00
55174	10/22/14	01	CD/BLACK WLANUT TRLUNT5 SG0511	01556303		11/18/14	292.00
						INVOICE TOTAL:	292.00

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E0544	ENGINEERING ENTERPRISES, INC.						
55175	10/22/14	01	CD/PRAIRIE GLEN UNT1 SG0734	01556303		11/18/14	975.00
						INVOICE TOTAL:	975.00
55176	10/22/14	01	S&P/ROWPERMITAMERHRTLNDSSG1209	01536303		11/18/14	252.50
						INVOICE TOTAL:	252.50
55177	10/22/14	01	CD/LOT 10 SG CTR ACE SG1312	01556303		11/18/14	80.50
						INVOICE TOTAL:	80.50
55178	10/22/14	01	S&P/DRAINAGE DIST 1 SG1313	01536303		11/18/14	155.00
						INVOICE TOTAL:	155.00
55179	10/22/14	01	S&P/US30 UTILITYFOR IDOTSG1315	32536303		11/18/14	1,007.50
						INVOICE TOTAL:	1,007.50
55180	10/22/14	01	CD/VOSG GENERAL SG1400	01556303		11/18/14	1,093.00
						INVOICE TOTAL:	1,093.00
55181	10/22/14	01	CD/PRAIRIEGLEN ORLEANS SG1402	01556303		11/18/14	232.50
						INVOICE TOTAL:	232.50
55182	10/22/14	01	CD/SENIOR LIVING CNTR SG1402	01556303		11/18/14	3,480.75
						INVOICE TOTAL:	3,480.75
55183	10/22/14	01	S&P/47/BLISS/WHEELER SG1404	35536303		11/18/14	10,537.80
						INVOICE TOTAL:	10,537.80
55184	10/22/14	01	S&P/2014MFTPROGRAM SG1407	35506303		11/18/14	2,191.89
						INVOICE TOTAL:	2,191.89
55185	10/22/14	01	S&P/DUGAN/BUCKTAIL IMPRSG1411	01536303		11/18/14	291.25
						INVOICE TOTAL:	291.25
55186	10/22/14	01	CD/IND PK WEIDNERTRIUMPHSG1414	01556303		11/18/14	1,162.50
						INVOICE TOTAL:	1,162.50

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E0544	ENGINEERING ENTERPRISES, INC.						
55187	10/22/14	01	CD/HARTER COMMPK SG1415	01556303		11/18/14	271.25
						INVOICE TOTAL:	271.25
55188	10/22/14	01	CD/CALVARY PKGLOTIMP SG1416	01556303		11/18/14	175.00
						INVOICE TOTAL:	175.00
55189	10/22/14	01	CD/AURORA UNIV ATHLETIC SG1421	01556303		11/18/14	1,085.00
						INVOICE TOTAL:	1,085.00
						VENDOR TOTAL:	37,729.41
F0013	WRIGHT EXPRESS FSC						
3675694	10/31/14	01	POL/GAS OCTOBER 14	01516601		11/18/14	1,470.47
						INVOICE TOTAL:	1,470.47
38677693	10/31/14	01	W&S/GASOLINE OCTOBER 14	50596601		11/18/14	2,320.68
		02	CD/GASOLINE OCTOBER 14	01556601			97.62
		03	FIN/GASOLINE OCTOBER 14	01566601			49.30
		04	W&S/GASOLINE OCTOBER 14	50506601			49.30
						INVOICE TOTAL:	2,516.90
38677808	10/31/14	01	S&P/GASOLINE OCTOBER 14	01536601		11/18/14	905.09
		02	BM/GASOLINE OCTOBER 14	01546601			741.03
						INVOICE TOTAL:	1,646.12
						VENDOR TOTAL:	5,633.49
F0602	4 SEASONS LANDSCAPING PLUS, INC						
5528E-CR	10/13/14	01	W&S/OVERBILLED	50606606		11/18/14	-97.00
						INVOICE TOTAL:	-97.00
5563S	11/05/14	01	S&P/FALL CLEANUP PW	01546406		11/18/14	556.88
		02	W&S/FALL CLEANUP PW	50596406			556.87
		03	W&S/FALL CLEANUP WELLS 5,7,9	50596406			1,080.00

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F0602	4 SEASONS LANDSCAPING PLUS, INC						
5563S	11/05/14	04	S&P/FALL CLEANUP VILLAGE HALL	01546406		11/18/14	1,012.50
						INVOICE TOTAL:	3,206.25
						VENDOR TOTAL:	3,109.25
F0604	FIRST PLACE RENTAL INC.						
256491-1	11/07/14	01	S&P/ROLLER,VIBRTY 2500 RIDE ON	01536402		11/18/14	469.99
						INVOICE TOTAL:	469.99
						VENDOR TOTAL:	469.99
F0608	FOX METRO WATER RECLAMATION						
20141105	11/05/14	01	CD/WATER INSP OCTOBER	01556309		11/18/14	20.00
		02	797 RIDGEVIEW LN-	** COMMENT **			
						INVOICE TOTAL:	20.00
						VENDOR TOTAL:	20.00
F1126	FEDEX OFFICE						
362400005079	10/02/14	01	CD/SENIORAPT-PLAT COPIES	01556504		11/18/14	34.20
						INVOICE TOTAL:	34.20
362400005086	10/08/14	01	CD/SENIORAPT-EXTINGUISH OF EAS	01556504		11/18/14	8.55
						INVOICE TOTAL:	8.55
						VENDOR TOTAL:	42.75
G0715	GLASSHOPPER LTD						
36994	10/14/14	01	S&P/REAIR AT 483 HEARTLAND DR	01546406		11/18/14	240.00
						INVOICE TOTAL:	240.00
						VENDOR TOTAL:	240.00
G0739	GENEVA CONSTRUCTION COMPANY						
PAYEST1	10/28/14	01	S&P/DUGAN/GRANART REALIGNMNT	35537008		11/18/14	341,375.47

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G0739	GENEVA CONSTRUCTION COMPANY						
PAYEST1	10/28/14	02	S&P/LESS RETAINAGE	35537008		11/18/14	-34,137.55
						INVOICE TOTAL:	307,237.92
						VENDOR TOTAL:	307,237.92
G0741	GRAINGER						
9571227652	10/17/14	01	W&S/CABINET FOR FLEET PARTS	50596617		11/18/14	692.55
		02	S&P/CABINET FOR FLEET PARTS	01536617			692.55
						INVOICE TOTAL:	1,385.10
						VENDOR TOTAL:	1,385.10
G8006	CITY OF GENEVA						
2015-00060030	08/01/14	01	POL/TRICOM CNETRALDISP NOV-JAN	01516502		11/18/14	25,747.00
						INVOICE TOTAL:	25,747.00
						VENDOR TOTAL:	25,747.00
H0006	HARRIS COMPUTER SYSTEMS						
XT00004684	10/31/14	01	IT/REMOTE INSTALLATION NEW SRV	01496307		11/18/14	225.00
		02	PWIT/REMOTE INSTALL NEW SRV	50496307			225.00
						INVOICE TOTAL:	450.00
XT00004703	10/31/14	01	W&S/ICONNECT HOSTING OCT14	50506307		11/18/14	215.36
						INVOICE TOTAL:	215.36
						VENDOR TOTAL:	665.36
H8025	HOMEFIELD ENERGY						
103905814111	11/05/14	01	W&S/0309004180 10/2-10/29	01536511		11/18/14	81.30
		02	0840058004 10/2-10/29	01536511			2,801.48
						INVOICE TOTAL:	2,882.78
						VENDOR TOTAL:	2,882.78
I0959	INTERGOVERNMENTAL RISK						

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I0959	INTERGOVERNMENTAL RISK						
IVC0009140	11/01/14	01	ADM/ANNUALCONTR11/1/14-11/1/15	01506514		11/18/14	265.50
		02	W&S/ANNUALCONTR11/1/14-11/1/15	50506514			265.50
						INVOICE TOTAL:	531.00
						VENDOR TOTAL:	531.00
J1030	JIMS TRUCK INSPECTION & REPAIR						
153671	11/06/14	01	S&P/INSPECTION TRK 209	01536407		11/18/14	26.00
						INVOICE TOTAL:	26.00
153679	11/07/14	01	S&P/INSPECTION TRK 207	01536407		11/18/14	26.00
						INVOICE TOTAL:	26.00
153694	11/07/14	01	W&S/INSPECTION TRK 208	50596407		11/18/14	39.00
						INVOICE TOTAL:	39.00
						VENDOR TOTAL:	91.00
K0017	KONICA MINOLTA PREMIER FINANCE						
265107409	10/29/14	01	ADM/COPIER LEASE OCT 14	01506402		11/18/14	229.66
		02	UB/COPIER LEASE OCT 14	50506402			76.71
		03	POL/COPIER LEASE OCT 14	01516402			173.09
		04	S&P/COPIER LEASE OCT 14	01536402			71.92
		05	BM/COPIER LEASE OCT 14	01546402			9.59
		06	CD/COPIER LEASE OCT 14	01556402			335.62
		07	W&S/COPIER LEASE OCT 14	50596402			62.33
						INVOICE TOTAL:	958.92
						VENDOR TOTAL:	958.92
K0022	KANE COUNTY FINANCE DEPT						
2014-00000018	12/01/14	01	MPRO LOAN INTEREST	46508003		11/18/14	18,872.38
		02	MPRO LOAN PRINCIPAL	46508002			41,117.90
						INVOICE TOTAL:	59,990.28
						VENDOR TOTAL:	59,990.28

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K1106	KANE COUNTY RECORDER						
SGRV100214	10/02/14	01	CD/PLAT SURVEY	01556309		11/18/14	71.00
						INVOICE TOTAL:	71.00
SGRV100614	10/31/14	01	W&S/VARIOUS LEINS AND RELEASES	50506309		11/18/14	448.00
						INVOICE TOTAL:	448.00
SGRV100814	10/08/14	01	CD/RESOLUTION AND RELEASE	01556309		11/18/14	76.00
						INVOICE TOTAL:	76.00
SGRV103114	10/31/14	01	W&S/LEIN RELEASE 1172 CHIPPEWA	50506309		11/18/14	32.00
						INVOICE TOTAL:	32.00
						VENDOR TOTAL:	627.00
K1117	KANELAND SCHOOL DISTRICT #302						
103114	10/31/14	01	REL OF IMPACT FEES OCT 14	71002320		11/18/14	4,562.06
		02	REL OF LAND CASH OCT 14	76002320			8,067.55
						INVOICE TOTAL:	12,629.61
						VENDOR TOTAL:	12,629.61
K1122	KENDALL COUNTY CONCRETE INC						
35020	11/05/14	01	S&P/STORM SEWER REPAIR	01536609		11/18/14	930.00
		02	748 PEMBRIDGE-	** COMMENT **			
						INVOICE TOTAL:	930.00
						VENDOR TOTAL:	930.00
M0009	METRO WEST COG						
1971	11/05/14	01	BOARD/DINNER 10TH ANNIVERS	01576208		11/18/14	100.00
						INVOICE TOTAL:	100.00
						VENDOR TOTAL:	100.00
M0024	MCHENRY ANALYTICAL WATER						

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M0024 MCHENRY ANALYTICAL WATER							
1405777	11/04/14	01	W&S/WATER SAMPLES COLIFORM	50606311		11/18/14	209.00
						INVOICE TOTAL:	209.00
315850	10/29/14	01	W&S/WAATERE SAMPLES IRON/FLORD	50606311		11/18/14	90.00
		02	W&S/WAATERE SAMPLES NITRATE	50606311			12.00
						INVOICE TOTAL:	102.00
						VENDOR TOTAL:	311.00
M1380 MENARDS - YORKVILLE							
89443	11/03/14	01	BM/TOILET SEAT	01546611		11/18/14	21.48
						INVOICE TOTAL:	21.48
						VENDOR TOTAL:	21.48
N1415 NICOR GAS							
102114A	10/21/14	01	W&S/7900003 WH7 9/23-10/21	50606510		11/18/14	38.23
						INVOICE TOTAL:	38.23
102114B	10/21/14	01	W&S/2635188 LS7 9/23-10/21	50656510		11/18/14	25.24
						INVOICE TOTAL:	25.24
102714	10/27/14	01	W&S/96872934904LS8 9/29-10/27	50656510		11/18/14	25.22
						INVOICE TOTAL:	25.22
						VENDOR TOTAL:	88.69
O1520 THE OFFICE WORKS							
239425I	10/29/14	01	POL/CARD STOCK	01516613		11/18/14	21.06
						INVOICE TOTAL:	21.06
239446	10/29/14	01	CD/WINDOW ENVELOPE	01556504		11/18/14	92.67
		02	S&P/WINDOW ENVELOPE	01536504			92.66
		03	UBP/WINDOW ENVELOPE	50506504			92.67
						INVOICE TOTAL:	278.00

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O1520	THE OFFICE WORKS						
239547I	11/01/14	01	CD/PAPER, TONER, FOLDERS, PENS	01556613		11/18/14	210.48
		02	W&S/BUSINESS CARDS, REC BOOK	50596613			27.43
						INVOICE TOTAL:	237.91
239644I	11/04/14	01	POL/HP TONER	01516613		11/18/14	229.98
						INVOICE TOTAL:	229.98
						VENDOR TOTAL:	766.95
P0006	PADDOCK PUBLICATIONS INC						
T438922I	11/01/14	01	CD/HANNAFORD FARM LOT 42 AA	01556503		11/18/14	75.90
						INVOICE TOTAL:	75.90
						VENDOR TOTAL:	75.90
P0031	PROSHRED SECURITY						
100050552	10/31/14	01	ADM/SHREDDING SERVICE SEPT2014	01506309		11/18/14	12.50
		02	POL/SHREDDING SERVICE SEPT2014	01516309			12.50
		03	BRD/SHREDDING SERVICE SEPT2014	01576309			12.50
		04	FIN/SHREDDING SERVICE SEPT2014	01566309			12.50
		05	CD/SHREDDING SERVICE SEPT2014	01556309			5.00
						INVOICE TOTAL:	55.00
100050553	10/31/14	01	CD/SHREDDING SERVICE SEPT 2014	01556309		11/18/14	12.50
		02	ST/SHREDDING SERVICE SEPT 2014	01536309			12.50
		03	WS/SHREDDING SERVICE SEPT 2014	50506309			12.50
		04	PW/SHREDDING SERVICE SEPT 2014	50596309			7.50
						INVOICE TOTAL:	45.00
						VENDOR TOTAL:	100.00
P1636	POMP'S TIRE SERVICE, INC						
330045372	10/21/14	01	S&P/TIRES TRK 208	01536407		11/18/14	2,822.08
						INVOICE TOTAL:	2,822.08

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P1636	POMP'S TIRE SERVICE, INC						
330046122	11/05/14	01	W&S/TIRES TRK 08	50596407		11/18/14	567.06
						INVOICE TOTAL:	567.06
						VENDOR TOTAL:	3,389.14
R1820	ROGERS PUMP						
141315	10/27/14	01	W&S/WELL 10 WATER LINE REPAIR	50606406		11/18/14	258.75
						INVOICE TOTAL:	258.75
						VENDOR TOTAL:	258.75
R1844	RIVER VIEW FORD, INC.						
FOCS348759	10/27/14	01	W&S/VEHICLE REPAIRS TRK 10	01536407		11/18/14	239.05
						INVOICE TOTAL:	239.05
FOCS349109	11/04/14	01	POL/REPAIRS 09 FORD INTERCEPTO	01516407		11/18/14	449.31
						INVOICE TOTAL:	449.31
						VENDOR TOTAL:	688.36
R8121	RUSH TRUCK CENTER OF ILLINOIS						
95567818	10/21/14	01	S&P/VEHICLE MAINT SUPPLIES TRK	01536617		11/18/14	376.17
						INVOICE TOTAL:	376.17
						VENDOR TOTAL:	376.17
S0003	SUGAR GROVE PUBLIC LIBRARY						
103114	10/31/14	01	REL OF IMPACT FEES OCT14	72002331		11/18/14	300.13
						INVOICE TOTAL:	300.13
						VENDOR TOTAL:	300.13
S0025	SUBURBAN BUILDING OFFICIALS						
121214	11/11/14	01	CD/2014HOLIDAYLUNCHEON	01556508		11/18/14	40.00
						INVOICE TOTAL:	40.00
						VENDOR TOTAL:	40.00

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S1887	SUBURBAN TREE CONSORTIUM						
6074-IN	11/04/14	01	S&P/PUGSLEY&LAHAIE-252	01536606		11/18/14	4,460.00
		02	S&P/HINSDALENURSERIES1486207	01536606			8,686.00
		03	FALL 2013 50/50 PROGRAM	** COMMENT **			
						INVOICE TOTAL:	13,146.00
						VENDOR TOTAL:	13,146.00
S1896	STAHL'S SERVICE & REPAIR						
1926	11/02/14	01	S&P/VEHICLE REPAIRS	01536407		11/18/14	4,599.00
						INVOICE TOTAL:	4,599.00
						VENDOR TOTAL:	4,599.00
S1926	SECRETARY OF STATE						
110614	11/06/14	01	PD/LICENSEPLATEFEE SQUAD42&47	01516617		11/18/14	202.00
						INVOICE TOTAL:	202.00
						VENDOR TOTAL:	202.00
S1954	STEINER ELECTRIC						
4856250.001	10/28/14	01	S&P/STREET LIGHT PARTS	01536610		11/18/14	723.92
						INVOICE TOTAL:	723.92
4856250.002	10/28/14	01	S&P/STREET LIGHT PARTS	01536610		11/18/14	353.20
						INVOICE TOTAL:	353.20
						VENDOR TOTAL:	1,077.12
S1982	SUGAR GROVE FIRE DISTRICT						
972.44	10/31/14	01	REL OF IMPACT FEES OCT14	73002340		11/18/14	972.44
						INVOICE TOTAL:	972.44
						VENDOR TOTAL:	972.44
S1994	SUGAR GROVE PARK DISTRICT						

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S1994 SUGAR GROVE PARK DISTRICT							
103114	10/31/14	01	REL OF LAND CASH OCT14	74002340		11/18/14	7,638.74
						INVOICE TOTAL:	7,638.74
						VENDOR TOTAL:	7,638.74
S2016 STATE TREASURER							
42022	10/27/14	01	S&P/30/MUNICIPAL 1301-03 50%	01536405		11/18/14	609.90
		02	S&P/47 & GALENA 1301-03 25%	01536405			304.95
		03	S&P/47 & BLISS 1301-03 25%	01536405			304.95
		04	S&P/30/DUGAN TEMP 1301-03 50%	01536405			609.90
						INVOICE TOTAL:	1,829.70
						VENDOR TOTAL:	1,829.70
S8037 STREICHER'S							
I1113020	09/18/14	01	POL/AMMUNITION	01516603		11/18/14	2,740.00
						INVOICE TOTAL:	2,740.00
						VENDOR TOTAL:	2,740.00
S8043 SUGAR GROVE ACE							
53/1	10/23/14	01	S&P/VEHICLE MAINT SUPPLIES	01536617		11/18/14	30.25
						INVOICE TOTAL:	30.25
						VENDOR TOTAL:	30.25
T0001518 STRAFFORD WOODS HOMEOWNERS							
02700000100	11/10/14	01	W&S/FNL W&S REF- 1 WINDSOR DR	50001210		11/18/14	1,134.73
						INVOICE TOTAL:	1,134.73
						VENDOR TOTAL:	1,134.73
T0009 TERRA CARE ENTERPRISES INC.							
4205	06/14/14	01	CD/MOWLOT14 THE LANDINGS 6/6	01556309		11/18/14	110.00
						INVOICE TOTAL:	110.00

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VILLAGE OF SUGAR GROVE
DETAIL BOARD REPORT

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INVOICES DUE ON/BEFORE 11/18/2014

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT
T0009	TERRA CARE ENTERPRISES INC.						
4206	06/14/14	01	CD/MOW LOT 15 THE LANDINGS 6/6	01556309		11/18/14	110.00
						INVOICE TOTAL:	110.00
						VENDOR TOTAL:	220.00
T0012	THIRD MILLENNIUM						
17499	10/31/14	01	W&S/PRINT&MAIL UB-NOV14	50506309		11/18/14	796.32
						INVOICE TOTAL:	796.32
						VENDOR TOTAL:	796.32
T2603	THOMAS JUNGELS						
102414	10/24/14	01	BM/WATERE HEATER @PD	01546406		11/18/14	1,890.78
						INVOICE TOTAL:	1,890.78
						VENDOR TOTAL:	1,890.78
T8042	TASER INTERNATIONAL						
SI1375461	10/20/14	01	POL/TASER&HOLSTER	01516603		11/18/14	1,106.22
						INVOICE TOTAL:	1,106.22
						VENDOR TOTAL:	1,106.22
V2231	VERIZON WIRELESS						
9734973931	10/06/14	01	PD/64200999100001 11/7-12/6	01516502		11/18/14	176.05
		02	S&P/64200999100001 11/7-12/6	01536502			113.98
		03	BM/64200999100001 11/7-12/6	01546502			35.98
		04	CD/64200999100001 11/7-12/6	01556502			60.01
		05	FIN/64200999100001 11/7-12/6	01566502			62.21
		06	BD/64200999100001 11/7-12/6	01576502			60.01
		07	W&S/64200999100001 11/7-12/6	50506502			0.35
		08	PW/64200999100001 11/7-12/6	50596502			694.31
		09	PD/MOBIL BROADBAND CARDS	01516502			380.10
						INVOICE TOTAL:	1,583.00
						VENDOR TOTAL:	1,583.00

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VILLAGE OF SUGAR GROVE
 DETAIL BOARD REPORT

INVOICES DUE ON/BEFORE 11/18/2014

INVOICE # VENDOR #	INVOICE DATE	ITEM #	DESCRIPTION	ACCOUNT #	P.O. #	DUE DATE	ITEM AMT

V2232	VESCO REPROGRAPHIC						
R71167	10/31/14	01	CD/SCAN DRAFT LAND USE PLAN	01556309		11/18/14	10.00
						INVOICE TOTAL:	10.00
						VENDOR TOTAL:	10.00
W2315	WASTE MANAGEMENT						
339827320112	11/01/14	01	REFUSE COLLECTION- OCTOBER 14	57506513		11/18/14	65,030.92
						INVOICE TOTAL:	65,030.92
						VENDOR TOTAL:	65,030.92
Y2515	YORKVILLE NAPA AUTO PARTS						
453368	11/04/14	01	POL/LEGAL SERVICES OCT2014	01516301		11/18/14	441.18
						INVOICE TOTAL:	441.18
87638	10/03/14	01	S&P/VEHICLE MAINTENANCE SUPPLY	01536617		11/18/14	11.30
		02	BM/VEHICLE MAINTENANCE SUPPLY	01546617			4.84
		03	W&S/VEHICLE MAINTENANCE SUPPLY	50596617			16.14
						INVOICE TOTAL:	32.28
87954	10/07/14	01	S&P/VHEICLE MAINTENANCE SUPPLY	01536617		11/18/14	28.56
		02	BM/VHEICLE MAINTENANCE SUPPLY	01546617			12.24
		03	W&S/VHEICLE MAINTENANCE SUPPLY	50596617			40.80
						INVOICE TOTAL:	81.60
87956	10/07/14	01	S&P/VEHCILE MAINTENANCE SUPPLY	01536617		11/18/14	401.84
		02	BM/VEHCILE MAINTENANCE SUPPLY	01546617			172.22
		03	W&S/VEHCILE MAINTENANCE SUPPLY	50596617			574.06
						INVOICE TOTAL:	1,148.12
						VENDOR TOTAL:	1,703.18
						TOTAL ALL INVOICES:	645,394.21

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: PAT CHAMBERLIN, FINANCE DIRECTOR
SUBJECT: MONTHLY TREASURER'S REPORT
AGENDA: NOVEMBER 18, 2014 REGULAR BOARD MEETING
DATE: NOVEMBER 10, 2014

ISSUE

Should the Village Board approve the October 2014 monthly Treasurer's report.

DISCUSSION

1) The Summarized Revenue & Expense Reports are attached (pages 1 – 8). At October 31, 2014 we are through 6 months of the year (50.0%).

The General Fund revenues and expenditures are at 69.8% and 44.4%, respectively. Revenues are higher than budget due to the receipt of property taxes; expenditures are lower than budget as many expenditures are attributable to the prior fiscal year, for which journal entries have already been made. The following expenditures have budget or actual amounts over \$5,000 and are higher than budget by 10% or more:

		<u>Budget</u>	<u>Actual</u>	<u>% Spent</u>	
01-50-6208	Training & Memberships	6,383	4,775	74.9%	A
01-51-6102	Salaries – Overtime	126,443	76,771	60.8%	B
01-51-6208	Training & Memberships	8,910	7,059	79.3%	C
01-53-6303	Engineering	8,000	6,206	77.6%	D
01-53-6403	Repair, Maint, Svc-Equip.	3,697	17,607	476.2%	E
01-53-6405	Repair, Maint, Svc-ROW	42,624	37,058	87.0%	F
01-53-6407	Repair, Maint, Svc-Vehicle	20,000	14,572	72.9%	G
01-53-6603	Specialized Supplies	5,500	3,544	64.5%	H
01-55-6101	Salaries – Part-Time	5,073	5,555	109.5%	I
01-55-6309	Other Professional Svc.	69,050	72,685	105.2%	J
01-56-6104	Salaries – Part-Time	4,775	3,859	80.9%	K
01-56-6307	I.S. Services	5,827	6,236	107.0%	L

- A Adm – This is due to the timing of conferences including the ICMA and International Crown. These are budgeted items and this account is expected to close the fiscal year within budget.
- B Pol – This is due to the coverage of an officer who is on Workers Compensation/Light Duty.
- C Pol – This is due to the timing of payments for membership renewals. This account will continue to be monitored.
- D Str – This is due to utility permits related to development projects within the Village of ROW. This account will continue to be monitored.
- E Str – This is due to the replacement of a salt spreader on a vehicle. This expenditure has an offset in revenues as a claim was filed with the Village's insurance carrier.
- F Str – This is due to landscaping and tree removals which are budgeted items. This account is not expected to exceed budget.
- G Str – This account is high due to the repair of a vehicle for which an insurance claim has been submitted to IRMA, the Village's insurance provider.
- H Str – This is due to the seasonal purchase of mosquito control chemicals which was a budgeted item.
- I CD – This is attributed to the increase in the number of inspections completed by part-time personnel as well as the additional administrative assistance required for permit processing. This account will continue to be monitored.
- J CD – This is attributed to the reimbursement of development fees as well as the increase in the number of inspections for which an offsetting revenue is collected.
- K Fin – The increase is due to the re-scheduling of employees to remain under the 1,000 hour IMRF threshold.
- L Fin – This is due to a higher than expected increase for the Village's financial software maintenance agreement. This account will remain over budget for the fiscal year.

Please note engineering invoices are paid approximately 2 months after services are provided. Thus, engineering services accounts in the General Fund, Infrastructure Capital Projects Fund, and Waterworks and Sewerage Fund will reflect a 2 month lag.

The General Capital Projects Fund revenues are at 58.2% and expenditures are at 524.1%. The expenditures are because of the purchase of additional buildings as well as the interfund transfer of funds for the final payment of the Municipal and Galena project to the State of Illinois.

The Industrial TIF #1 Fund revenues are at 5.7% and expenditures are at 5.3%. Expenditures are low due to projects not starting yet this year.

The Industrial TIF #2 Fund expenditures are at 0.0%. The expenditures are low due to projects not starting yet this year.

The Infrastructure Capital Projects Fund revenues are at 44.6% and expenditures are 12.6%. Low expenditures are attributed to the Dugan Road construction having yet to commence.

The Debt Service Fund revenues are at 50.0% and the expenditures are at 12.6%.

The Waterworks and Sewerage Fund operating revenues and operating expenses are at 49.7% and 50.1%, respectively. The capital revenues and expenses are at 39.4% and 18.6%, respectively. The following expenses have budget or actual amounts over \$5,000 and are higher than budget by 10% or more:

		<u>Budget</u>	<u>Actual</u>	<u>% Spent</u>	
50-50-6307	I.S. Services	8,187	7,436	90.9%	M
50-50-8002	Debt – Principal	639,957	461,321	72.1%	N
50-50-8003	Debt – Interest	164,790	129,622	78.7%	O
50-60-6309	Other Professional Serv.	25,500	29,923	117.3%	P
50-60-6406	Repair, Maint, Serv-BLG	4,000	7,236	180.9%	Q
50-71-8002	Debt – Principal	45,000	45,000	100.0%	R
50-71-8003	Debt – Interest	95,525	95,525	100.0%	S

- M Adm – This is due to a higher than expected increase for the Village’s financial software maintenance agreement. This account will remain over budget for the fiscal year.
- N Adm – This is high due to the timing of debt payments throughout the year and will not exceed budget.
- O Adm – This is high due to the timing of debt payments throughout the year and will not exceed budget.
- P Water Ops. – This is due to the unexpected repair of a water main. This account will continue to be over budget.
- Q Water Ops. – This is routine maintenance at well houses. This account will continue to be monitored.
- R Water Cap. – This is due to the timing of debt payments throughout the year and will not exceed budget.
- S Water Cap. – This is due to the timing of debt payments throughout the year and will not exceed budget.

The Refuse Fund revenues and expenses are at 49.7% and 41.4%, respectively. The expenses are below expectations due to the timing of payments being made to Waste Management.

Staff projected and included 41 residential and 6 commercial permits in the fiscal year 2014 – 2015 budget approved by the Village Board, which we will track throughout the fiscal year and report on. As of November 10, 2014, 32 of the residential and 6 of the commercial permits have been issued. The following accounts will be included in each Treasurer’s Report to reflect the revenues from building activity:

		<u>Budget</u>	<u>Actual</u>	<u>% Earned</u>
01-00-3310	Building Permits	69,440	165,781	238.7%
01-00-3320	Cert of Occupancy Fees	4,500	3,800	84.5%
01-00-3330	Plan Review Fees	5,119	4,423	86.4%
01-00-3340	Reinspection Fees	3,051	4,205	137.8%
01-00-3740	Zoning and Filing Fees	8,000	5,850	73.2%
01-00-3760	Review and Dev. Fees	126,680	54,372	44.7%
30-00-3850	Improvement Donations	31,680	9,104	28.8%
30-00-3852	Life Safety-Police	2,330	1,900	81.6%
30-00-3853	Life Safety-Streets	2,330	1,900	81.6%
35-00-3855	Road Impact Fee	160,320	58,525	36.5%
50-00-3310	Meter Reinspections	618	495	80.1%
50-00-3670	Meter Sales	25,580	14,266	55.8%
50-01-3651	Water Tap-On Fees	92,402	50,124	54.3%
50-01-3652	Sewer Tap-On Fees	13,984	5,904	42.3%
50-01-3791	Fire Suppr Tap-On Fee	11,602	8,702	75.0%

2) The summarized revenue and expense budget vs. actual graphs for October 31, 2014 are attached (pages 9 - 30).

3) The Detailed Revenue & Expense Reports are attached for October 31, 2014 (pages 31 - 52).

COST

There are no direct costs associated with the monthly Treasurer's report.

RECOMMENDATION

That the Board approve the October 2014 monthly Treasurer's reports.

VILLAGE OF SUGAR GROVE
 SUMMARIZED REVENUE & EXPENSE REPORT

FOR FUND: GENERAL FUND
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

DEPARTMENT DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE

REVENUES						
REVENUES	397,903.63	377,918.49	(5.0)	4,774,844.00	3,329,429.90	(30.2)

TOTAL REVENUES	397,903.63	377,918.49	(5.0)	4,774,844.00	3,329,429.90	(30.2)

EXPENSES						
INFORMATION TECHNOLOGY	3,188.50	(11.71)	100.3	38,262.00	18,503.87	51.6
ADMINISTRATION	31,582.01	28,387.34	10.1	378,984.00	147,237.33	61.1
POLICE	189,956.51	196,072.98	(3.2)	2,279,478.00	1,058,495.86	53.5
PUBLIC WORKS- STREET DIVISION	84,532.89	92,655.10	(9.6)	1,014,395.00	377,552.83	62.7
BUILDING MAINTENANCE	13,888.64	15,199.09	(9.4)	166,664.00	69,241.68	58.4
COMMUNITY DEVELOPMENT	53,554.08	74,264.19	(38.6)	642,649.00	315,217.59	50.9
FINANCE	12,315.24	23,542.89	(91.1)	147,783.00	83,231.90	43.6
BOARD AND COMMISSIONS	7,059.92	13,921.25	(97.1)	84,719.00	39,684.19	53.1

TOTAL EXPENSES	396,077.79	444,031.13	(12.1)	4,752,934.00	2,109,165.25	55.6

TOTAL FUND REVENUES	397,903.63	377,918.49	(5.0)	4,774,844.00	3,329,429.90	(30.2)
TOTAL FUND EXPENSES	396,077.79	444,031.13	(12.1)	4,752,934.00	2,109,165.25	55.6
SURPLUS (DEFICIT)	1,825.84	(66,112.64)	(3720.9)	21,910.00	1,220,264.65	5469.4

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VILLAGE OF SUGAR GROVE
 SUMMARIZED REVENUE & EXPENSE REPORT

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FOR FUND: GENERAL CAPITAL PROJECTS FUND
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

DEPARTMENT DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE

REVENUES						
REVENUES	26,839.92	25,070.80	(6.5)	322,079.00	187,390.05	(41.8)

TOTAL REVENUES	26,839.92	25,070.80	(6.5)	322,079.00	187,390.05	(41.8)

EXPENSES						
ADMINISTRATION	0.00	5,421.09	100.0	0.00	986,502.33	100.0
POLICE	9,081.42	9,081.42	0.0	108,977.00	54,488.52	49.9
PUBLIC WORKS STREETS	35,000.00	0.00	100.0	420,000.00	1,731,793.11	(312.3)
BUILDING MAINTENANCE	0.00	0.00	0.0	0.00	0.00	0.0
COMMUNITY DEVELOPMENT	0.00	0.00	0.0	0.00	0.00	0.0
FINANCE	0.00	0.00	0.0	0.00	0.00	0.0

TOTAL EXPENSES	44,081.42	14,502.51	67.1	528,977.00	2,772,783.96	(424.1)

TOTAL FUND REVENUES	26,839.92	25,070.80	(6.5)	322,079.00	187,390.05	(41.8)
TOTAL FUND EXPENSES	44,081.42	14,502.51	67.1	528,977.00	2,772,783.96	(424.1)
SURPLUS (DEFICIT)	(17,241.50)	10,568.29	(161.2)	(206,898.00)	(2,585,393.91)	1149.5

VILLAGE OF SUGAR GROVE
 SUMMARIZED REVENUE & EXPENSE REPORT

FOR FUND: INDUSTRIAL TIF #1 FUND
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

DEPARTMENT DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
REVENUES						
REVENUES	44,465.67	13,415.55	(69.8)	533,588.00	30,298.62	(94.3)
TOTAL REVENUES	44,465.67	13,415.55	(69.8)	533,588.00	30,298.62	(94.3)
EXPENSES						
PUBLIC WORKS STREETS	65,858.34	27,351.55	58.4	790,300.00	41,563.25	94.7
COMMUNITY DEVELOPMENT	41.67	0.00	100.0	500.00	0.00	100.0
TOTAL EXPENSES	65,900.01	27,351.55	58.4	790,800.00	41,563.25	94.7
TOTAL FUND REVENUES	44,465.67	13,415.55	(69.8)	533,588.00	30,298.62	(94.3)
TOTAL FUND EXPENSES	65,900.01	27,351.55	58.4	790,800.00	41,563.25	94.7
SURPLUS (DEFICIT)	(21,434.34)	(13,936.00)	(34.9)	(257,212.00)	(11,264.63)	(95.6)

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VILLAGE OF SUGAR GROVE
 SUMMARIZED REVENUE & EXPENSE REPORT

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FOR FUND: INDUSTRIAL TIF #2 FUND
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

DEPARTMENT DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
EXPENSES						
COMMUNITY DEVELOPMENT	41.67	0.00	100.0	500.00	0.00	100.0
TOTAL EXPENSES	41.67	0.00	100.0	500.00	0.00	100.0

VILLAGE OF SUGAR GROVE
 SUMMARIZED REVENUE & EXPENSE REPORT

FOR FUND: INFRASTRUCTURE CAP PROJ FUND
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

DEPARTMENT DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE

REVENUES						
REVENUES	443,844.66	108,585.13	(75.5)	5,326,136.00	2,372,342.70	(55.4)
TOTAL REVENUES	443,844.66	108,585.13	(75.5)	5,326,136.00	2,372,342.70	(55.4)

EXPENSES						
MOTOR FUEL TAX	23,004.25	244,841.42	(964.3)	276,051.00	272,941.28	1.1
STREETS DIVISION	469,425.59	50,430.63	89.2	5,633,107.00	463,921.85	91.7
BUILDING & ZONING	0.00	0.00	0.0	0.00	4,757.50	100.0
TOTAL EXPENSES	492,429.84	295,272.05	40.0	5,909,158.00	741,620.63	87.4

TOTAL FUND REVENUES	443,844.66	108,585.13	(75.5)	5,326,136.00	2,372,342.70	(55.4)
TOTAL FUND EXPENSES	492,429.84	295,272.05	40.0	5,909,158.00	741,620.63	87.4
SURPLUS (DEFICIT)	(48,585.18)	(186,686.92)	284.2	(583,022.00)	1,630,722.07	(379.7)

VILLAGE OF SUGAR GROVE
 SUMMARIZED REVENUE & EXPENSE REPORT

FOR FUND: DEBT SERVICE FUND
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

DEPARTMENT DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
REVENUES						
REVENUES	75,837.67	75,816.51	0.0	910,052.00	454,768.87	(50.0)
TOTAL REVENUES	75,837.67	75,816.51	0.0	910,052.00	454,768.87	(50.0)
EXPENSES						
ADMINISTRATION	75,738.17	0.00	100.0	908,858.00	114,291.25	87.4
TOTAL EXPENSES	75,738.17	0.00	100.0	908,858.00	114,291.25	87.4
TOTAL FUND REVENUES	75,837.67	75,816.51	0.0	910,052.00	454,768.87	(50.0)
TOTAL FUND EXPENSES	75,738.17	0.00	100.0	908,858.00	114,291.25	87.4
SURPLUS (DEFICIT)	99.50	75,816.51	6097.4	1,194.00	340,477.62	8415.7

VILLAGE OF SUGAR GROVE
 SUMMARIZED REVENUE & EXPENSE REPORT

FOR FUND: WATERWORKS & SEWERAGE FUND
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

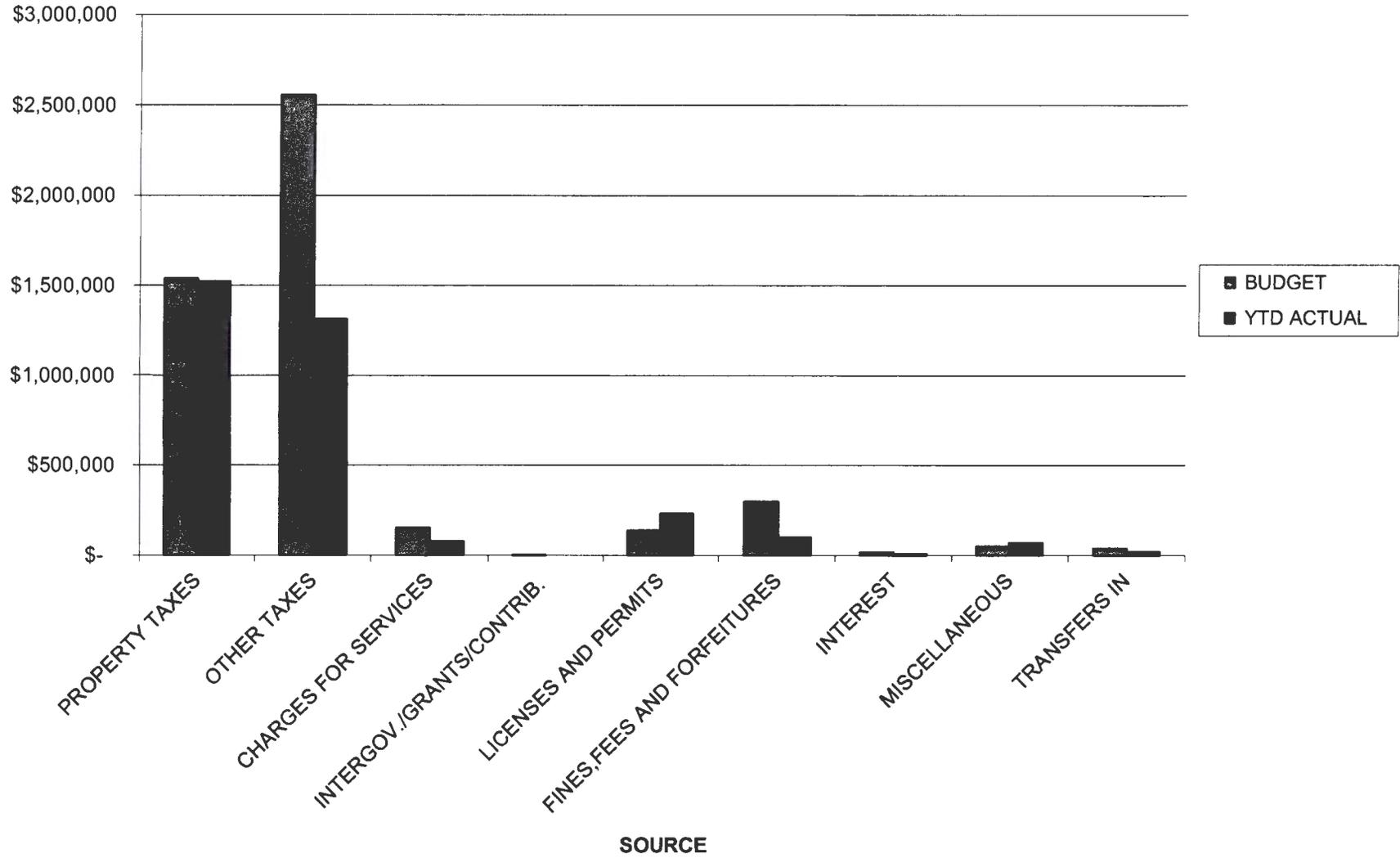
DEPARTMENT DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
REVENUES						
OPERATING REVENUES	276,666.33	296,465.60	7.1	3,319,996.00	1,648,194.80	(50.3)
CAPITAL REVENUES	25,842.16	15,855.29	(38.6)	310,106.00	121,874.54	(60.6)
TOTAL REVENUES	302,508.49	312,320.89	3.2	3,630,102.00	1,770,069.34	(51.2)
EXPENSES						
INFORMATION TECHNOLOGY	2,513.16	44.99	98.2	30,158.00	16,311.13	45.9
ADMINISTRATION	139,270.99	164,177.84	(17.8)	1,671,252.00	943,374.76	43.5
PW ADMINISTRATION	71,193.09	82,914.94	(16.4)	854,317.00	377,610.00	55.7
WATER OPERATIONS	37,883.50	37,162.55	1.9	454,602.00	197,979.86	56.4
SEWER OPERATIONS	7,139.91	3,212.88	55.0	85,679.00	14,653.54	82.8
WATER CAPITAL	63,409.17	48,087.51	24.1	760,910.00	141,300.02	81.4
SEWER CAPITAL	0.00	0.00	0.0	0.00	0.00	0.0
TOTAL EXPENSES	321,409.82	335,600.71	(4.4)	3,856,918.00	1,691,229.31	56.1
TOTAL FUND REVENUES	302,508.49	312,320.89	3.2	3,630,102.00	1,770,069.34	(51.2)
TOTAL FUND EXPENSES	321,409.82	335,600.71	(4.4)	3,856,918.00	1,691,229.31	56.1
SURPLUS (DEFICIT)	(18,901.33)	(23,279.82)	23.1	(226,816.00)	78,840.03	(134.7)

VILLAGE OF SUGAR GROVE
 SUMMARIZED REVENUE & EXPENSE REPORT

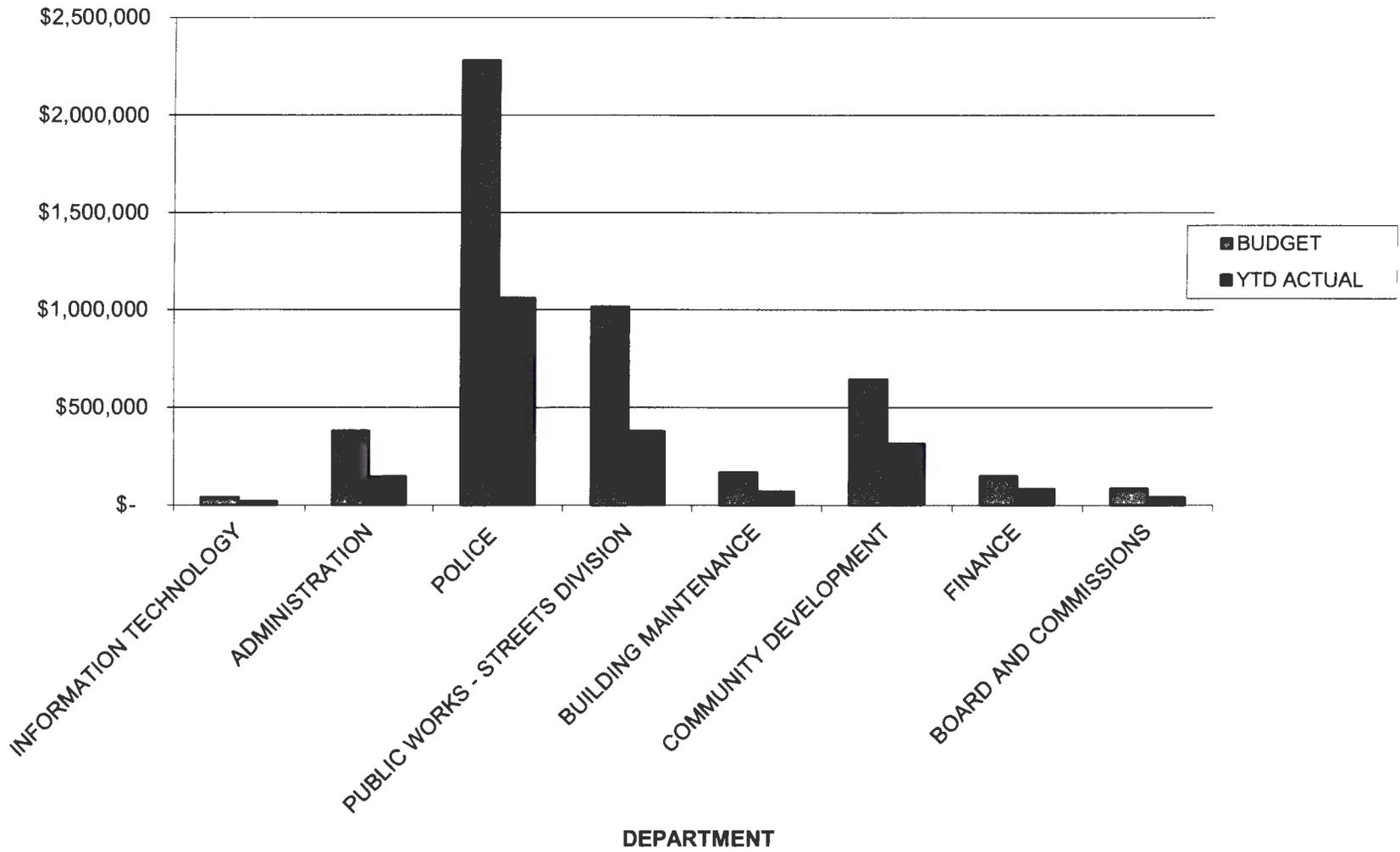
FOR FUND: REFUSE FUND
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

DEPARTMENT DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
REVENUES						
REVENUES	69,445.08	69,668.18	0.3	833,341.00	413,647.15	(50.3)
TOTAL REVENUES	69,445.08	69,668.18	0.3	833,341.00	413,647.15	(50.3)
EXPENSES						
ADMINISTRATION	67,815.83	68,051.57	(0.3)	813,790.00	336,668.53	58.6
TOTAL EXPENSES	67,815.83	68,051.57	(0.3)	813,790.00	336,668.53	58.6
TOTAL FUND REVENUES	69,445.08	69,668.18	0.3	833,341.00	413,647.15	(50.3)
TOTAL FUND EXPENSES	67,815.83	68,051.57	(0.3)	813,790.00	336,668.53	58.6
SURPLUS (DEFICIT)	1,629.25	1,616.61	(0.7)	19,551.00	76,978.62	293.7

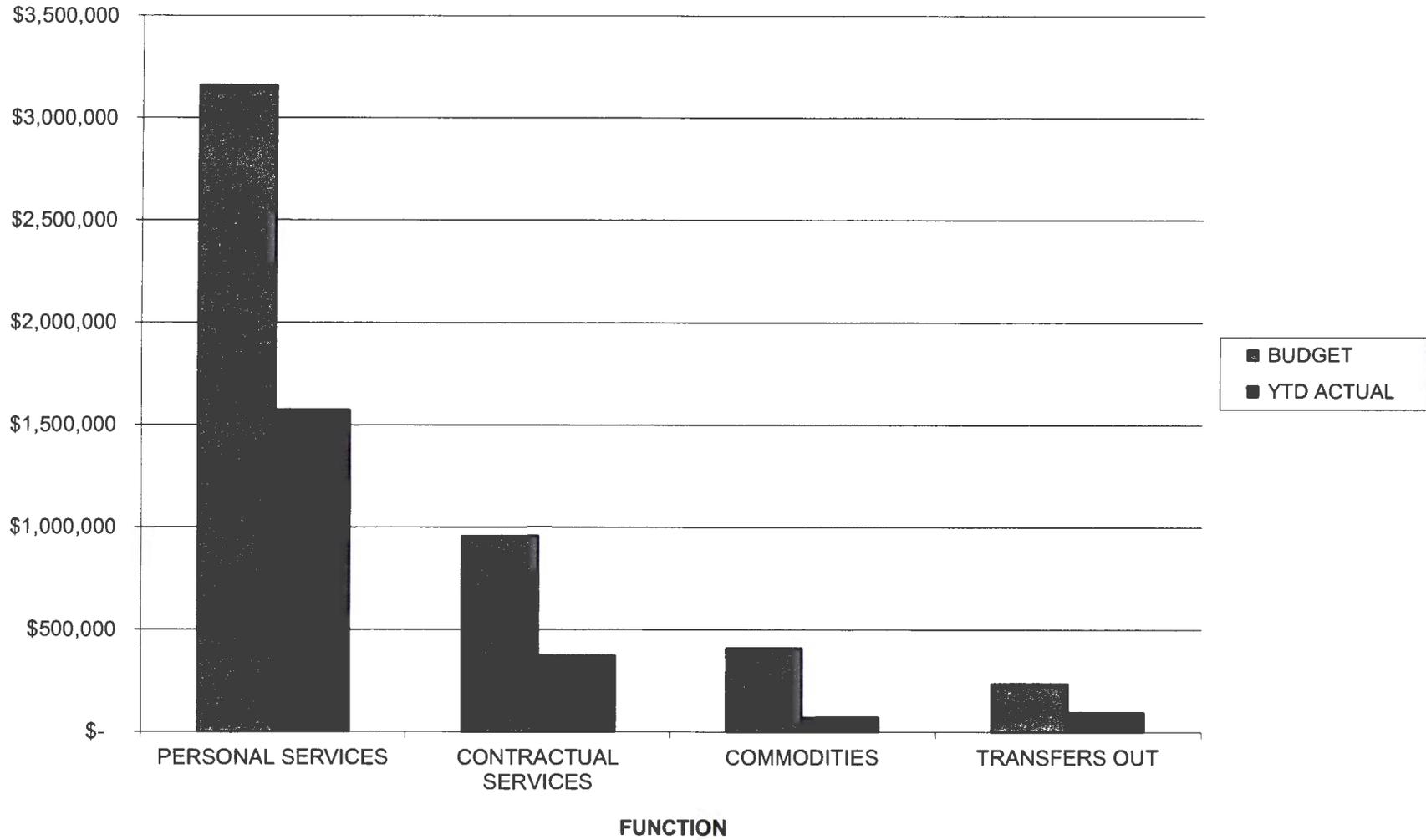
**VILLAGE OF SUGAR GROVE
GENERAL FUND REVENUES BY SOURCE
FY15 BUDGET VS. 10/31/15 FYTD ACTUAL**



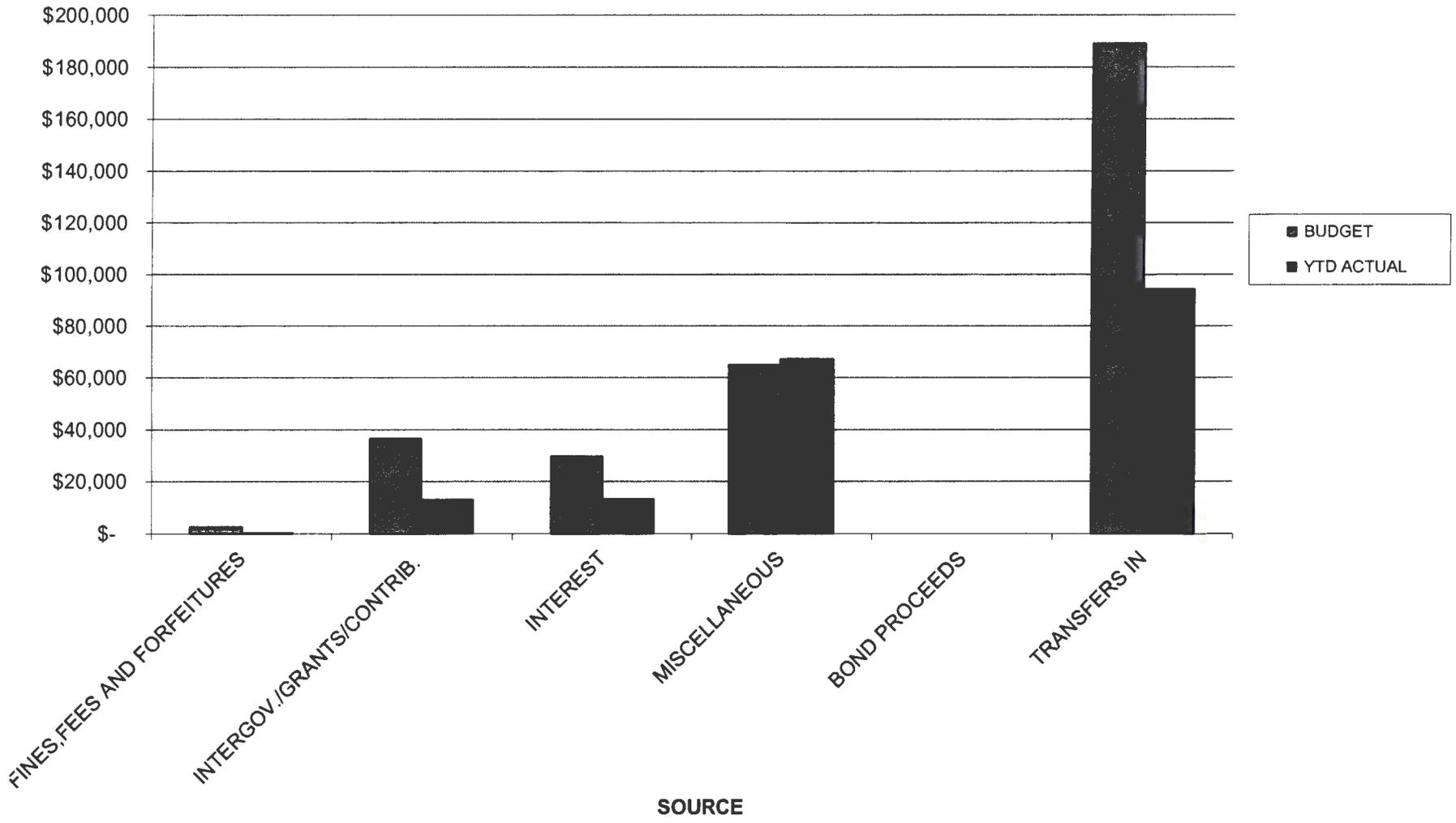
**VILLAGE OF SUGAR GROVE
GENERAL FUND EXPENDITURES BY DEPARTMENT
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



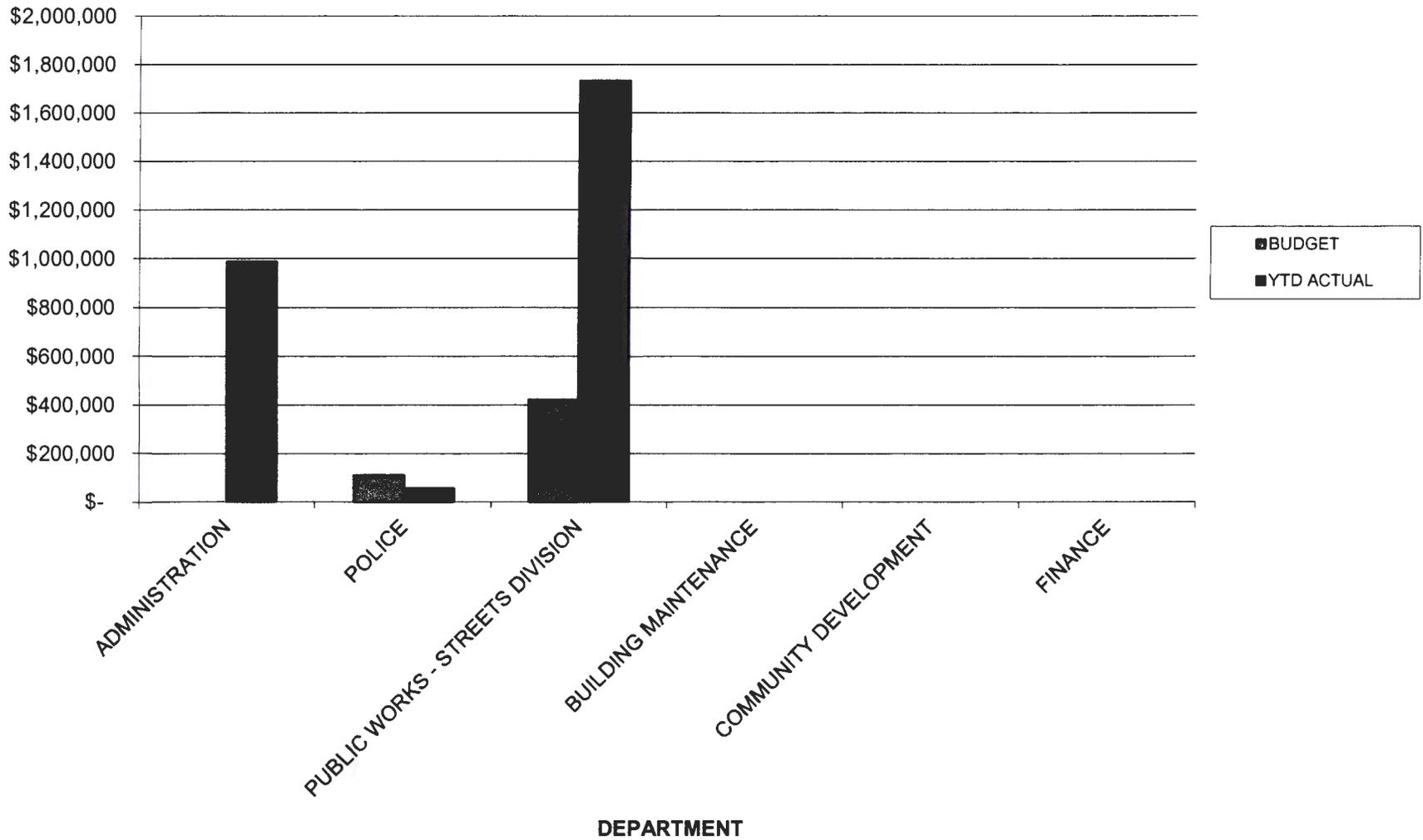
**VILLAGE OF SUGAR GROVE
GENERAL FUND EXPENDITURES BY FUNCTION
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



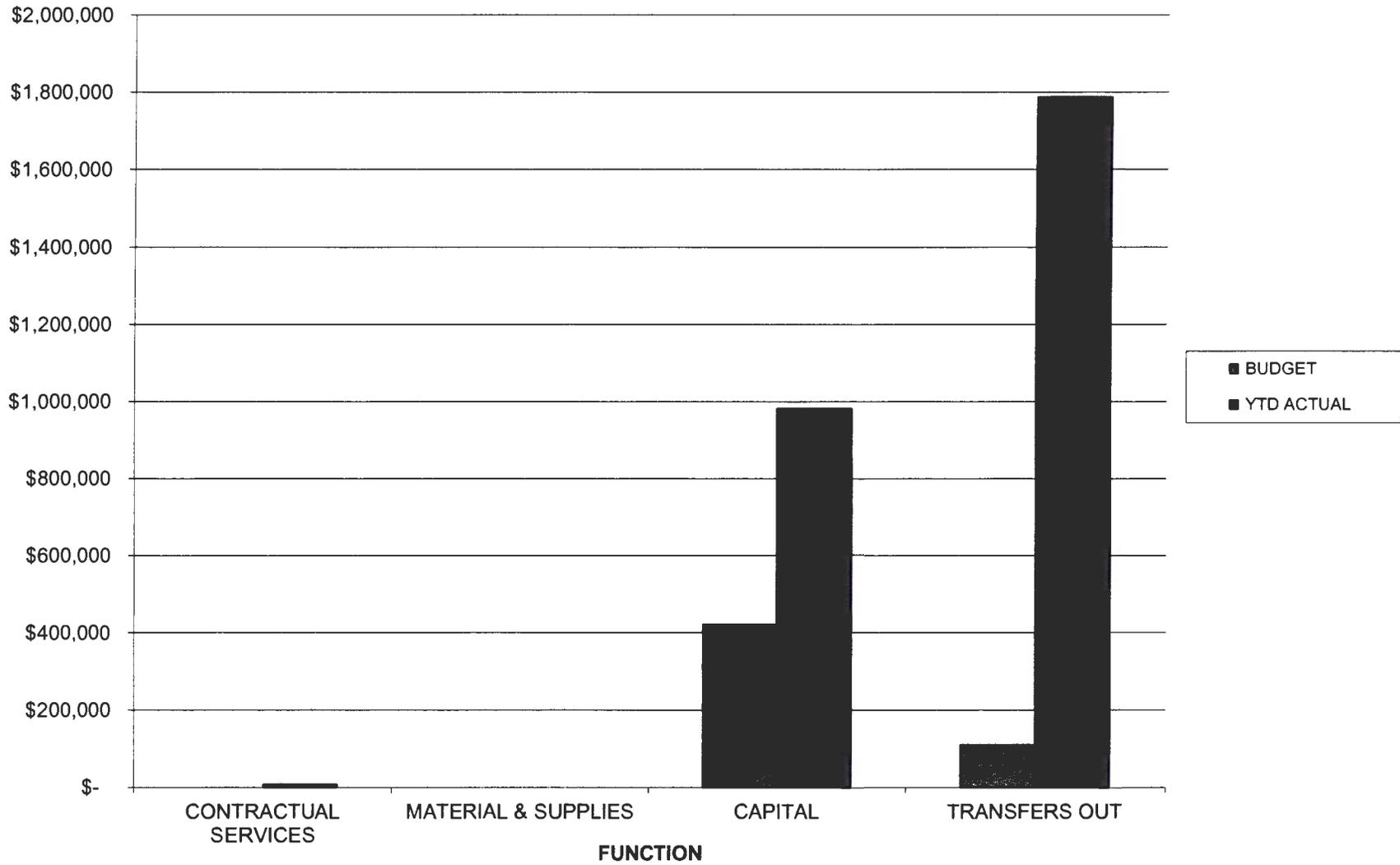
**VILLAGE OF SUGAR GROVE
GENERAL CAPITAL PROJECTS FUND REVENUES BY SOURCE
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



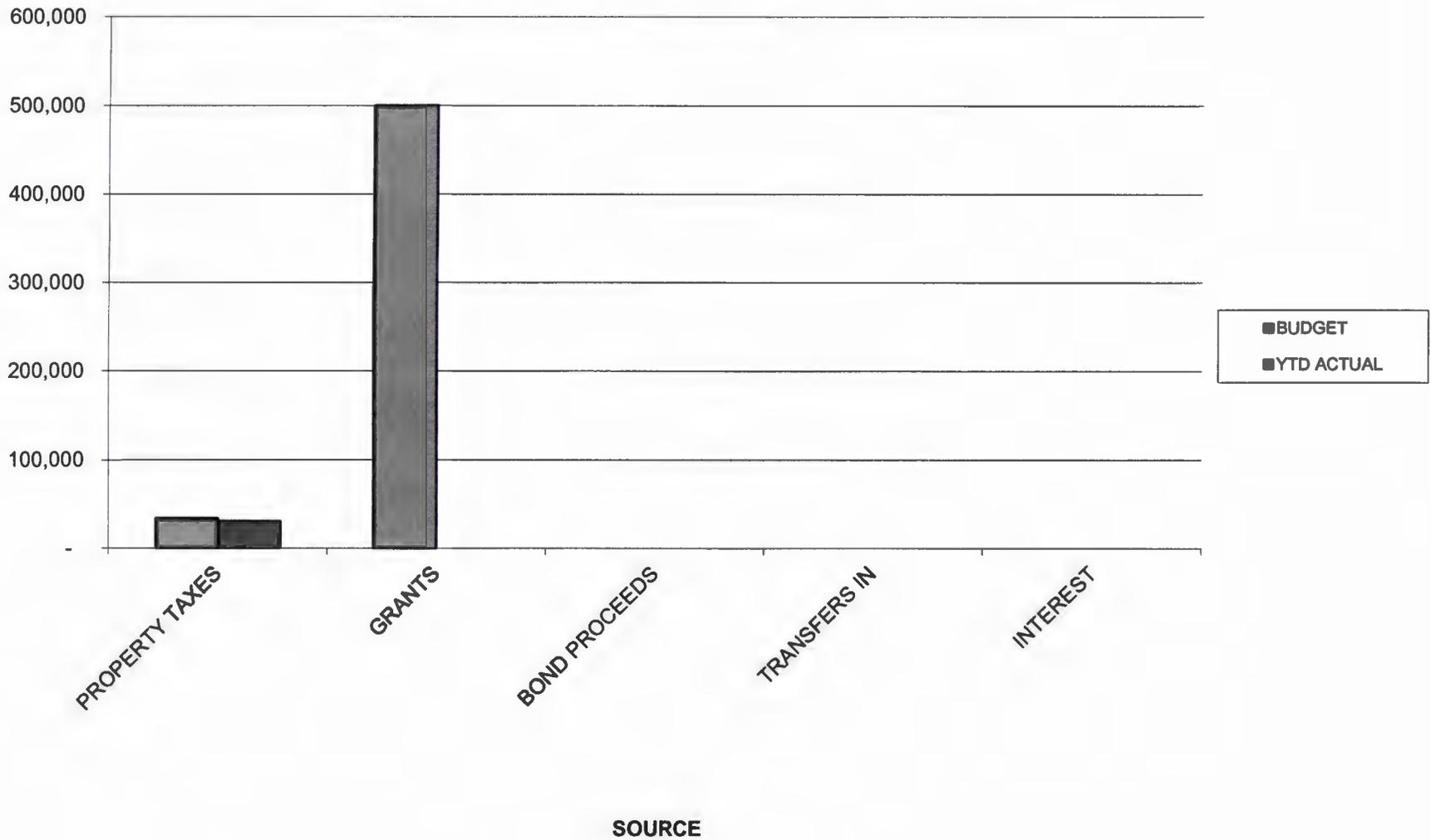
**VILLAGE OF SUGAR GROVE
GENERAL CAPITAL PROJECTS FUND EXPENDITURES BY DEPARTMENT
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



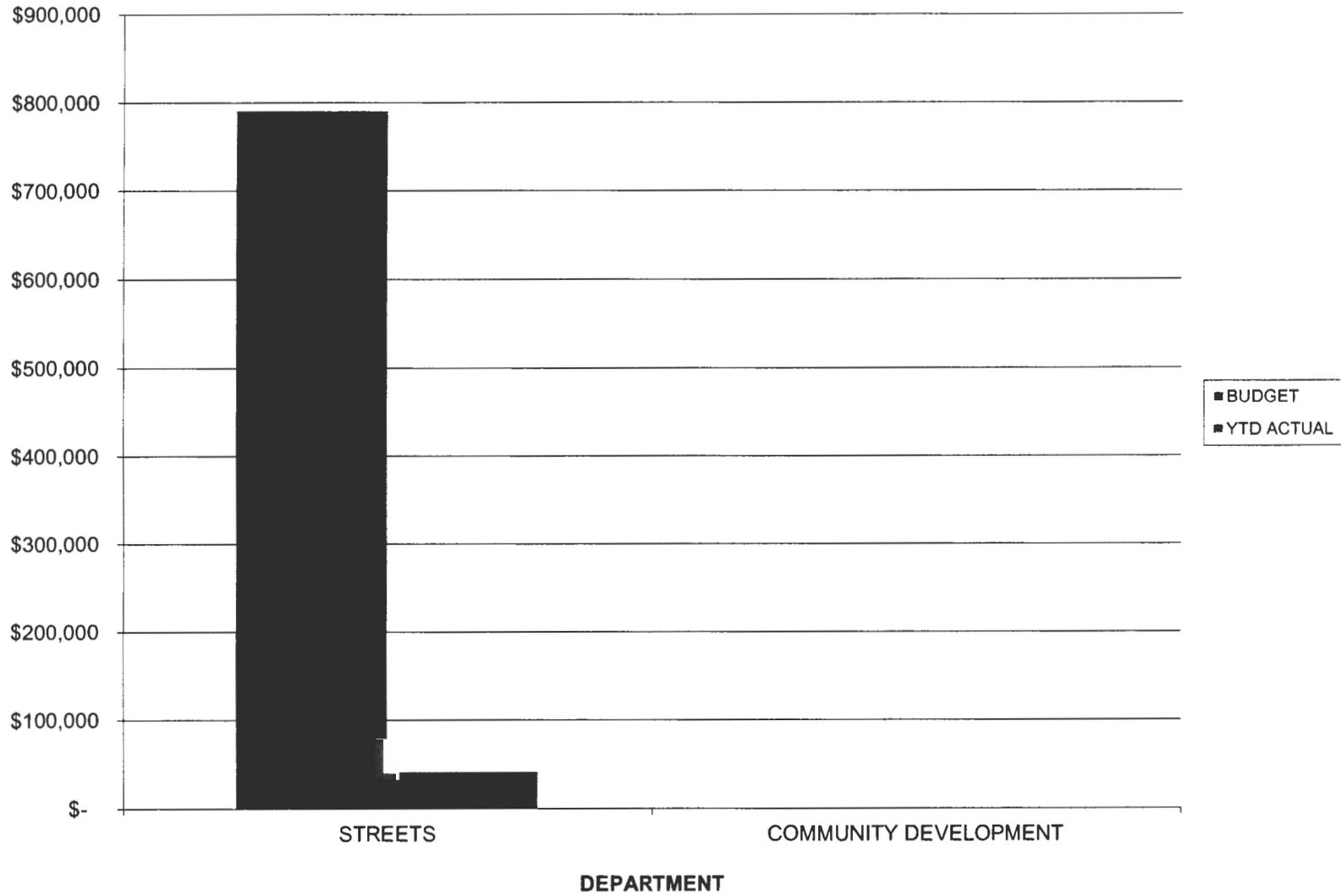
**VILLAGE OF SUGAR GROVE
GENERAL CAPITAL PROJECTS FUND EXPENDITURES BY FUNCTION
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



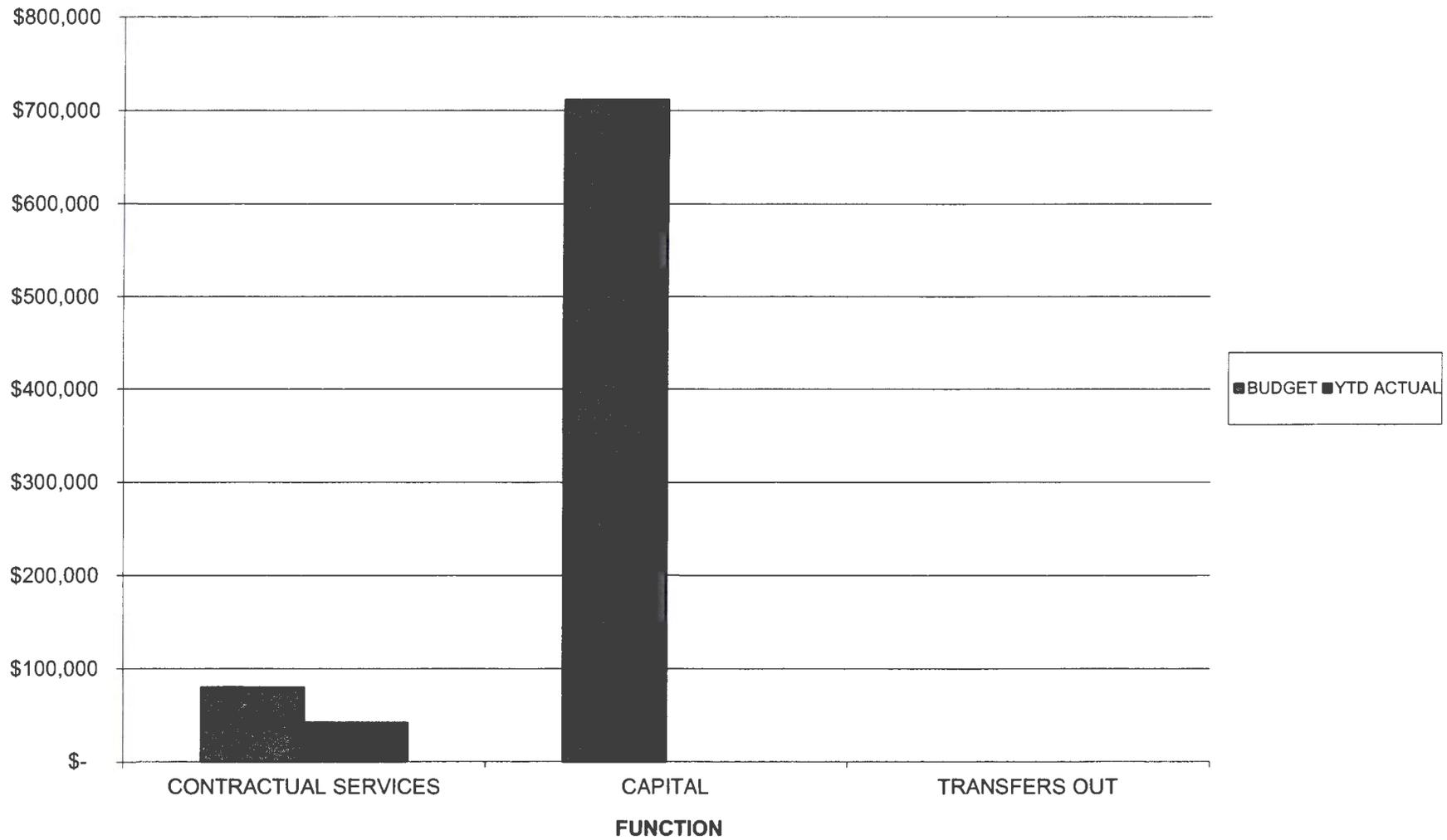
**VILLAGE OF SUGAR GROVE
INDUSTRIAL TIF1 FUND REVENUES BY SOURCE
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



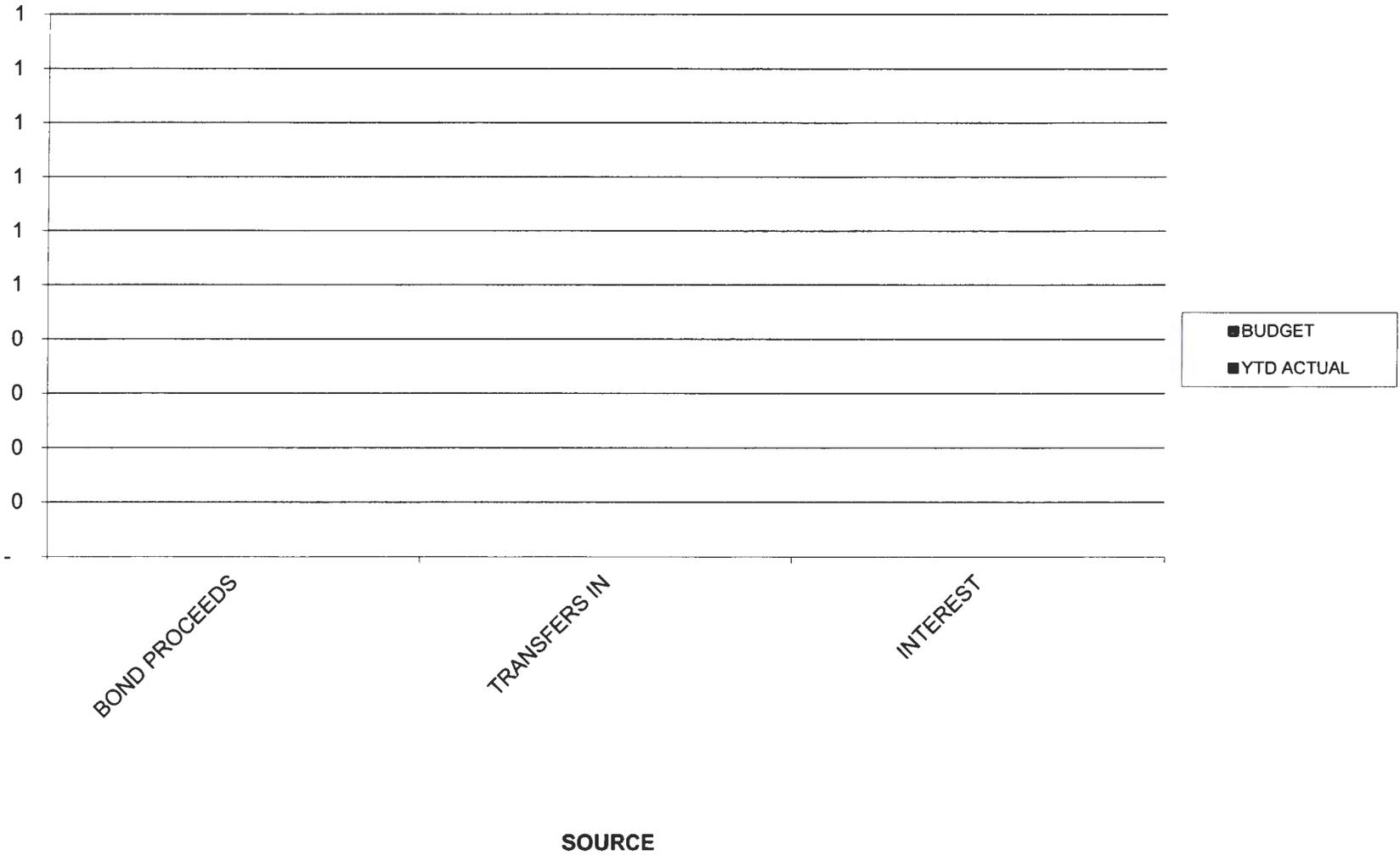
**VILLAGE OF SUGAR GROVE
INDUSTRIAL TIF1 FUND EXPENDITURES BY DEPARTMENT
FY15 BUDGET VS. 10/31/15 FYTD ACTUAL**



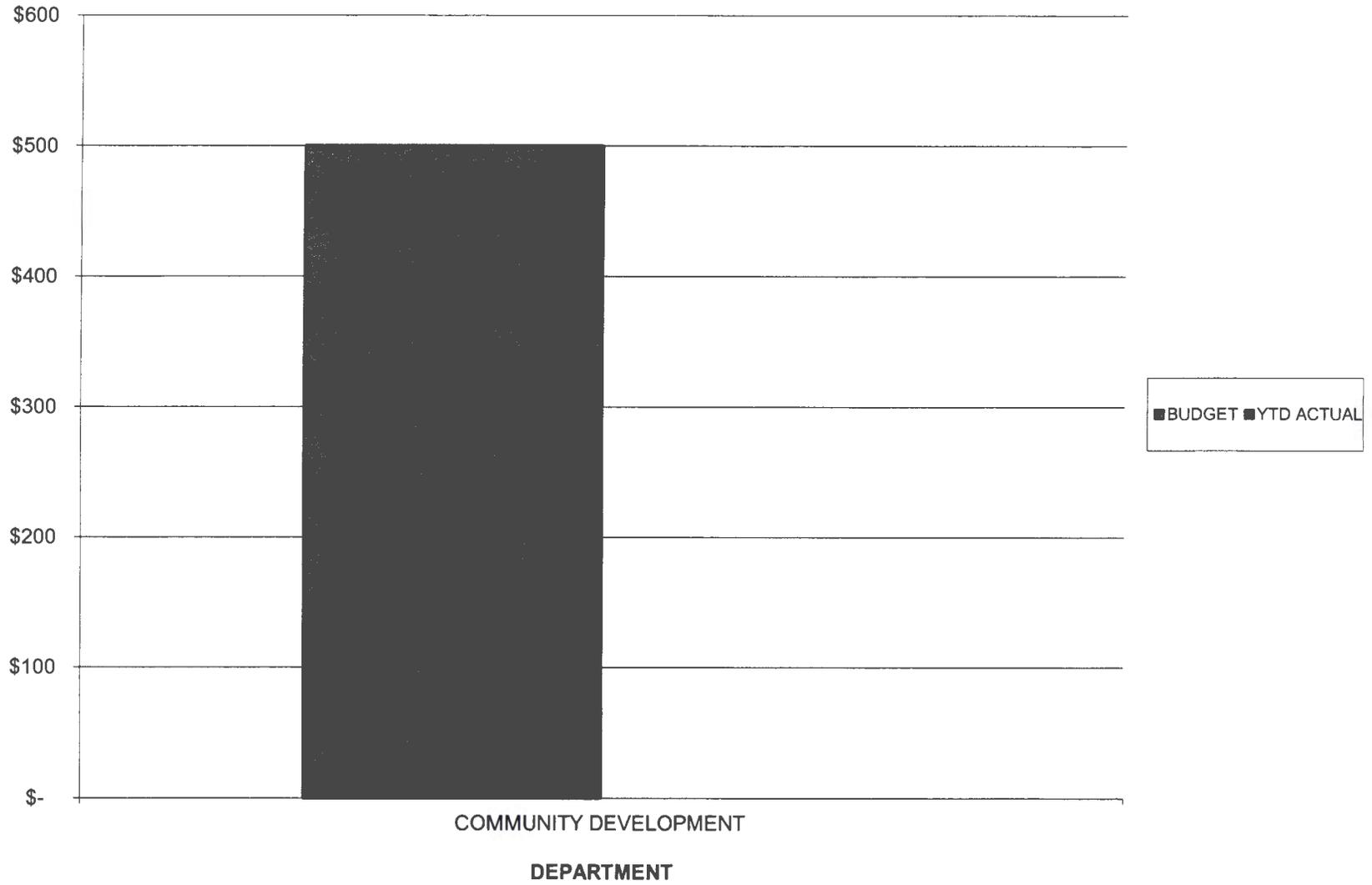
**VILLAGE OF SUGAR GROVE
INDUSTRIAL TIF1 FUND EXPENDITURES BY FUNCTION
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



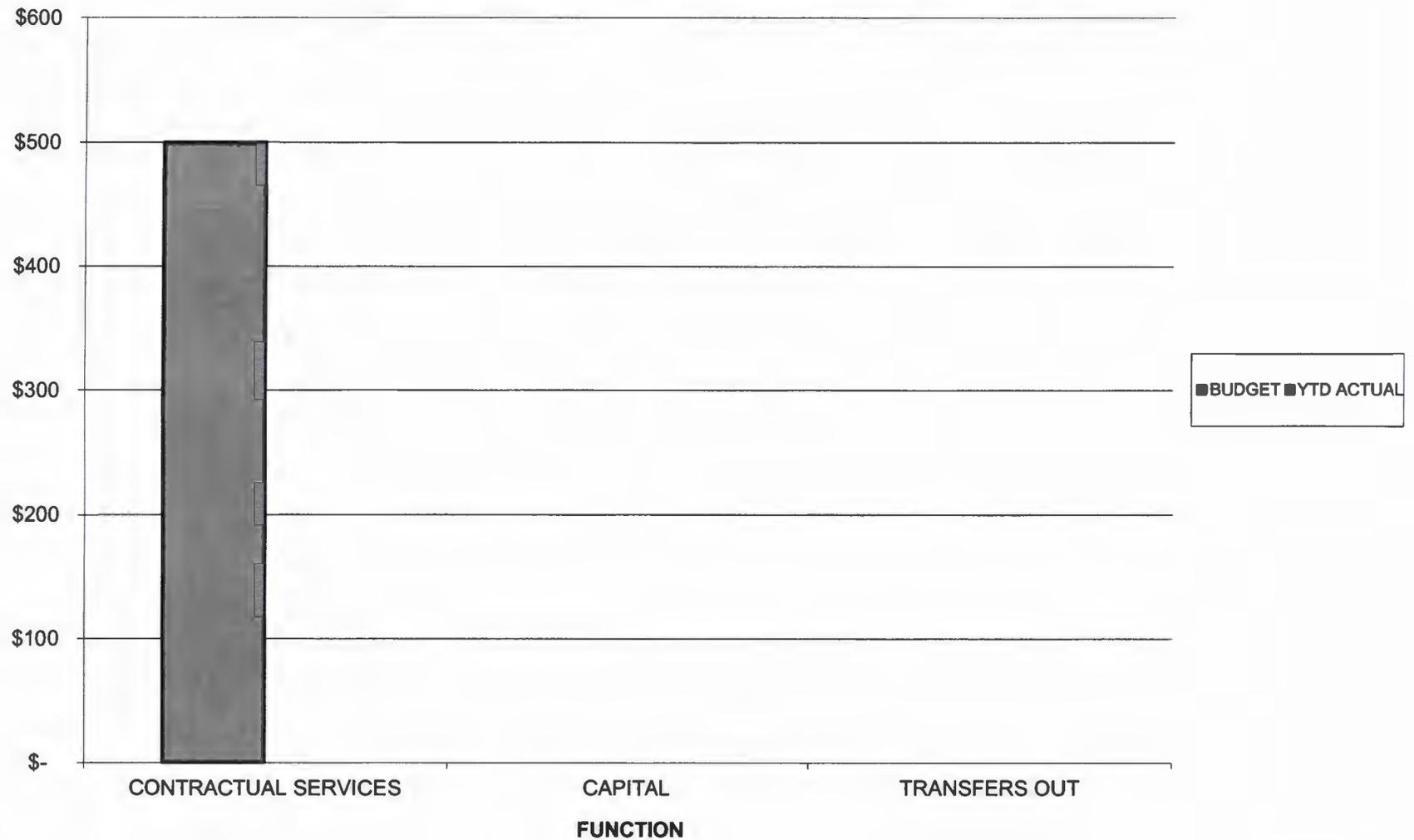
**VILLAGE OF SUGAR GROVE
INDUSTRIAL TIF2 FUND REVENUES BY SOURCE
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



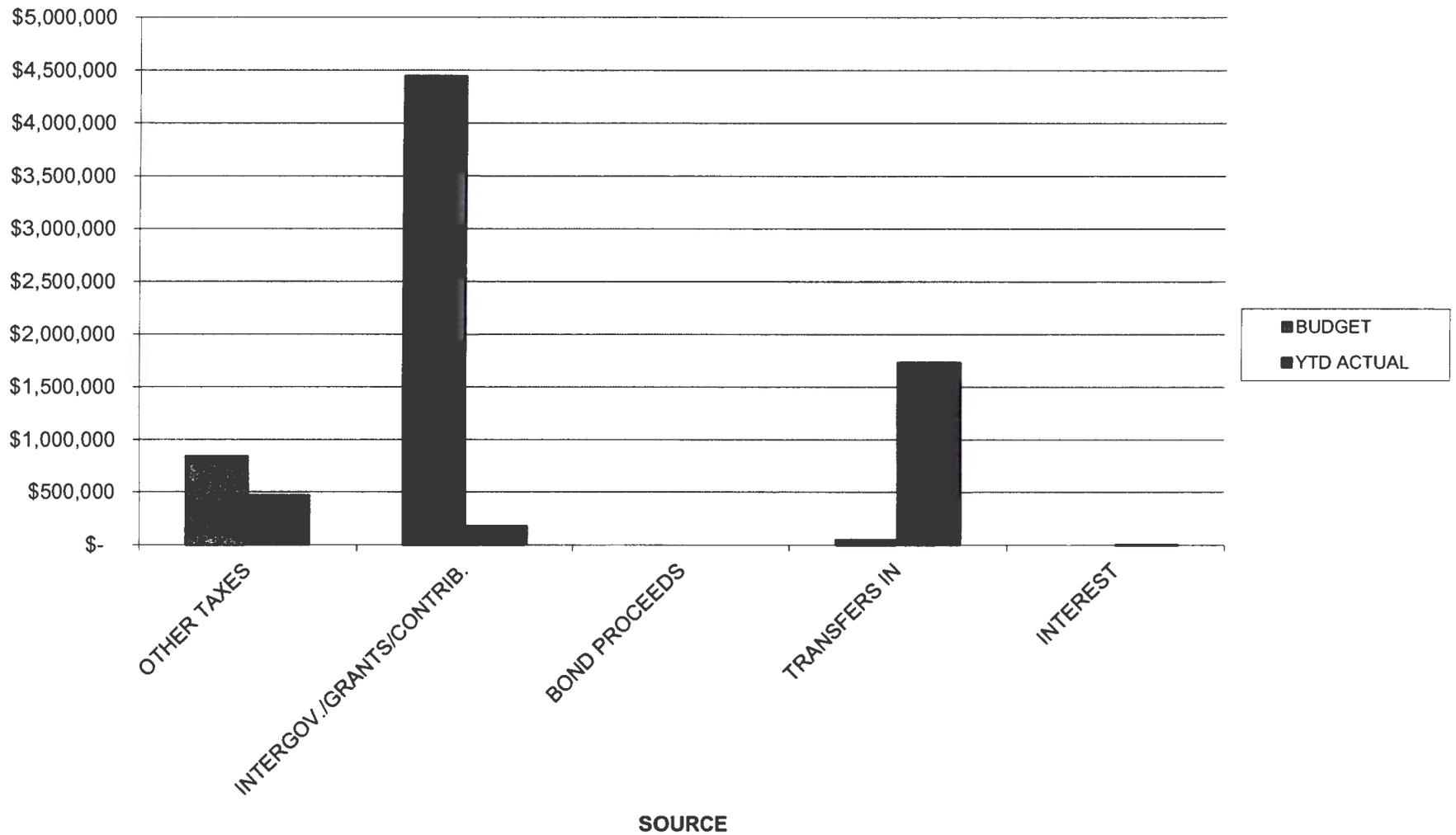
**VILLAGE OF SUGAR GROVE
INDUSTRIAL TIF 2 FUND EXPENDITURES BY DEPARTMENT
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



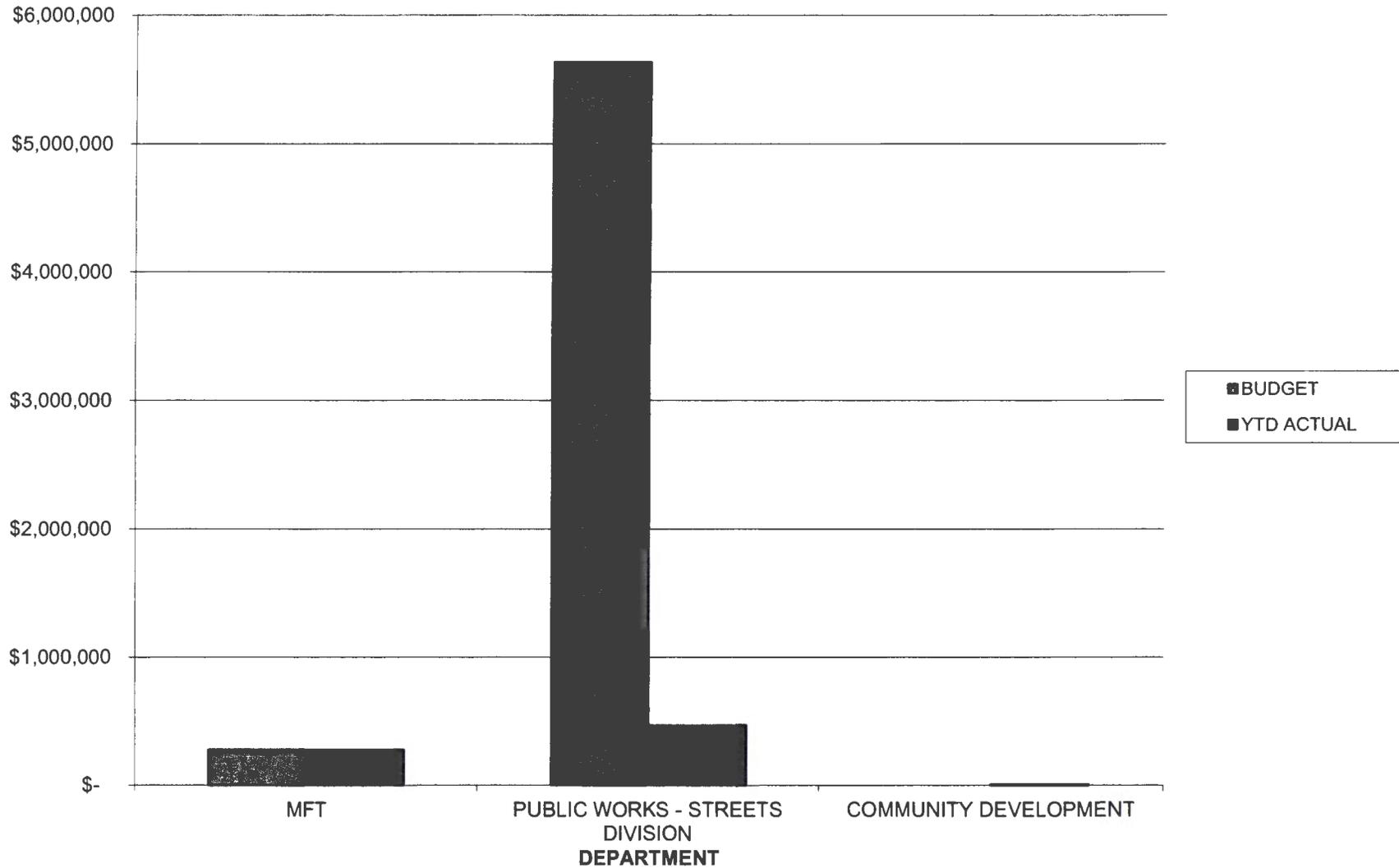
**VILLAGE OF SUGAR GROVE
INDUSTRIAL TIF2 FUND EXPENDITURES BY FUNCTION
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



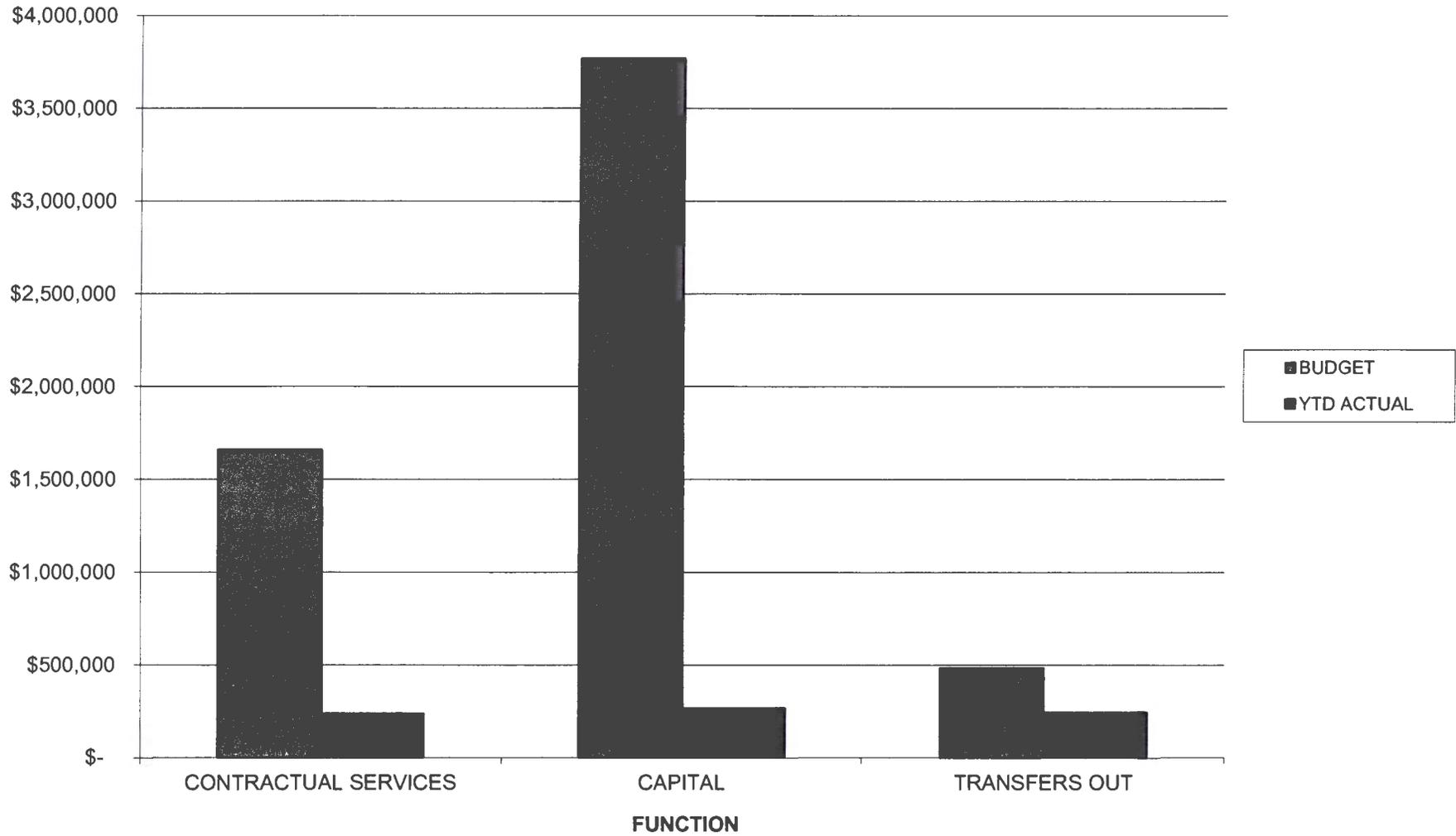
**VILLAGE OF SUGAR GROVE
INFRASTRUCTURE FUND REVENUES BY SOURCE
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



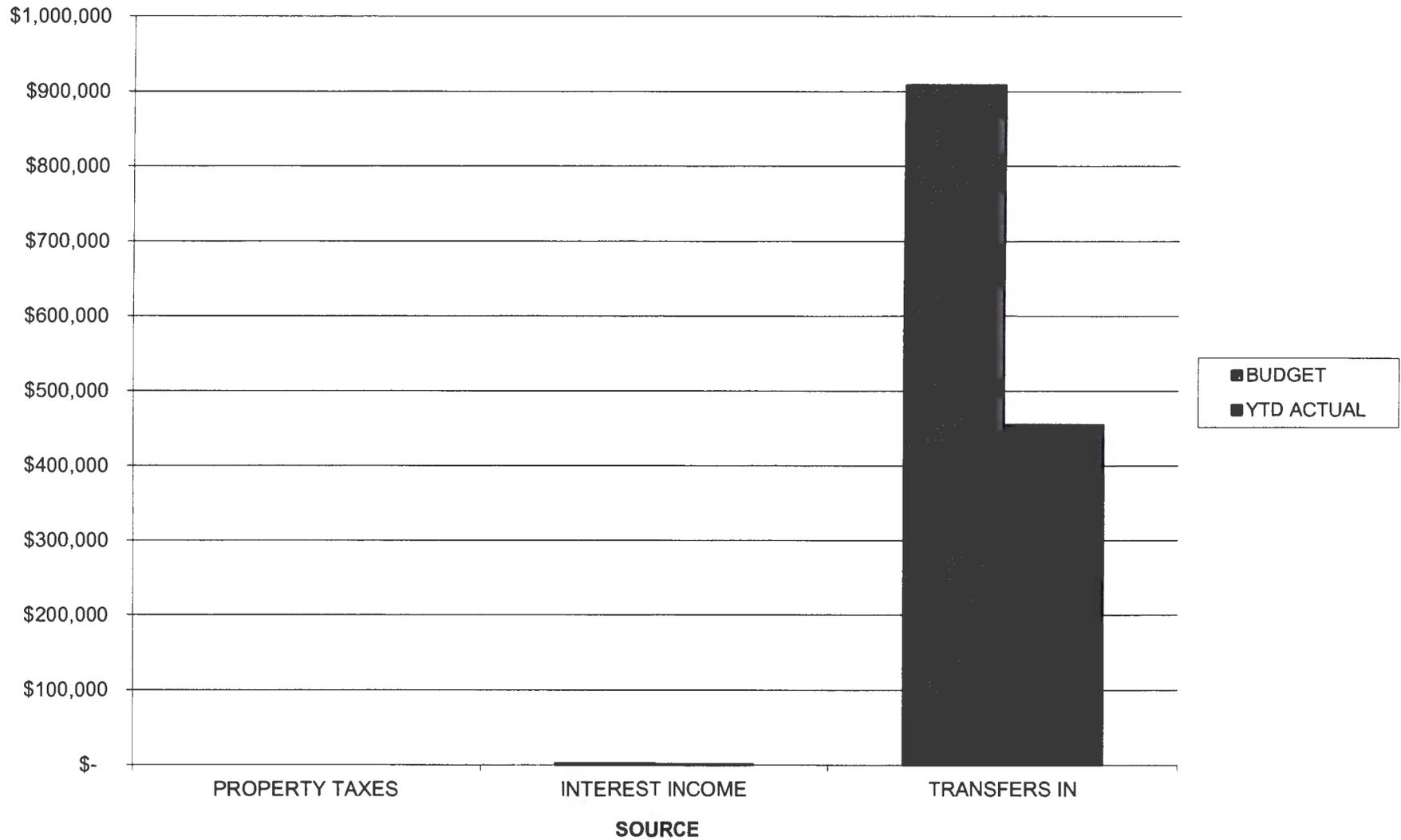
**VILLAGE OF SUGAR GROVE
 INFRASTRUCTURE FUND EXPENDITURES BY DEPARTMENT
 FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



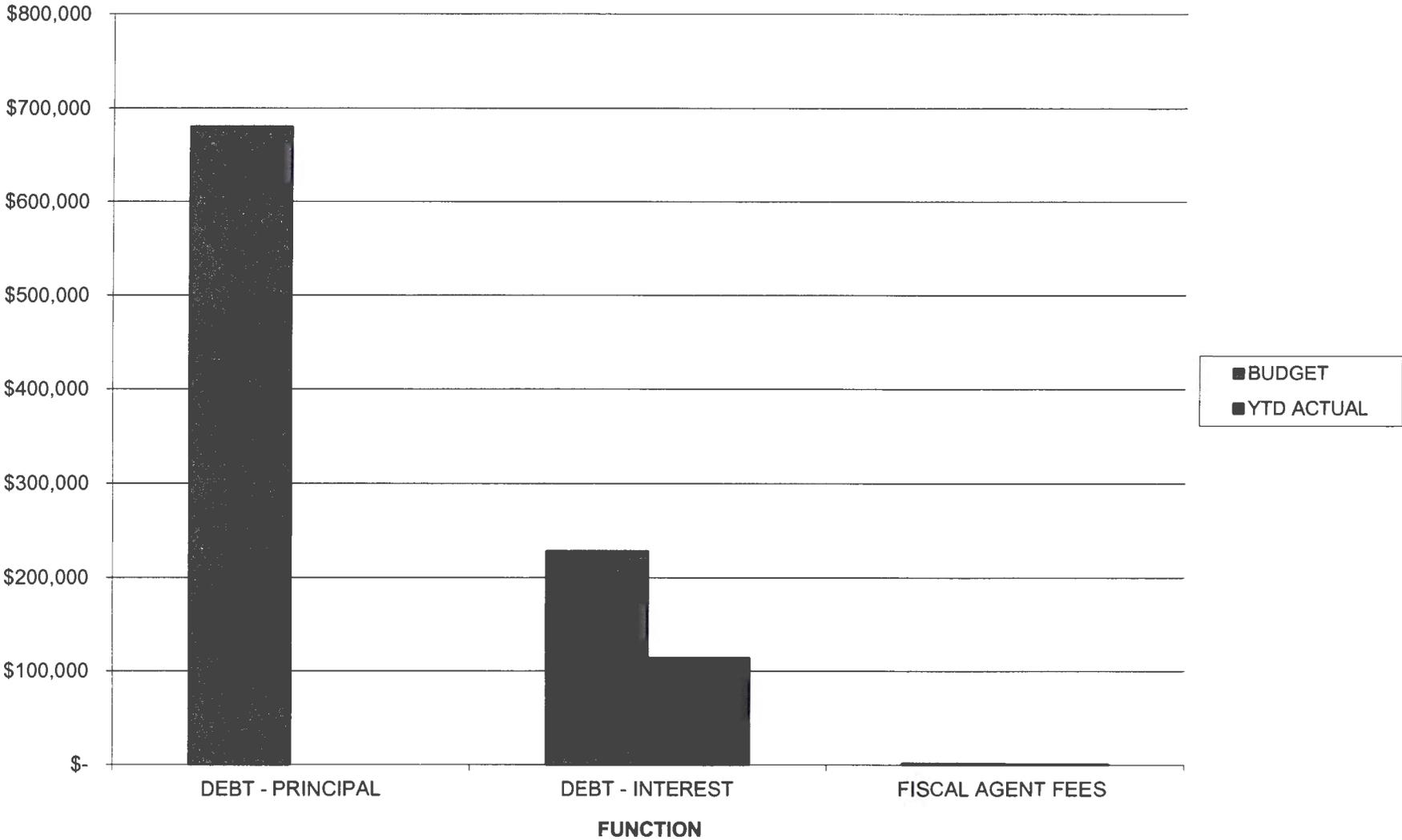
**VILLAGE OF SUGAR GROVE
INFRASTRUCTURE FUND EXPENDITURES BY FUNCTION
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



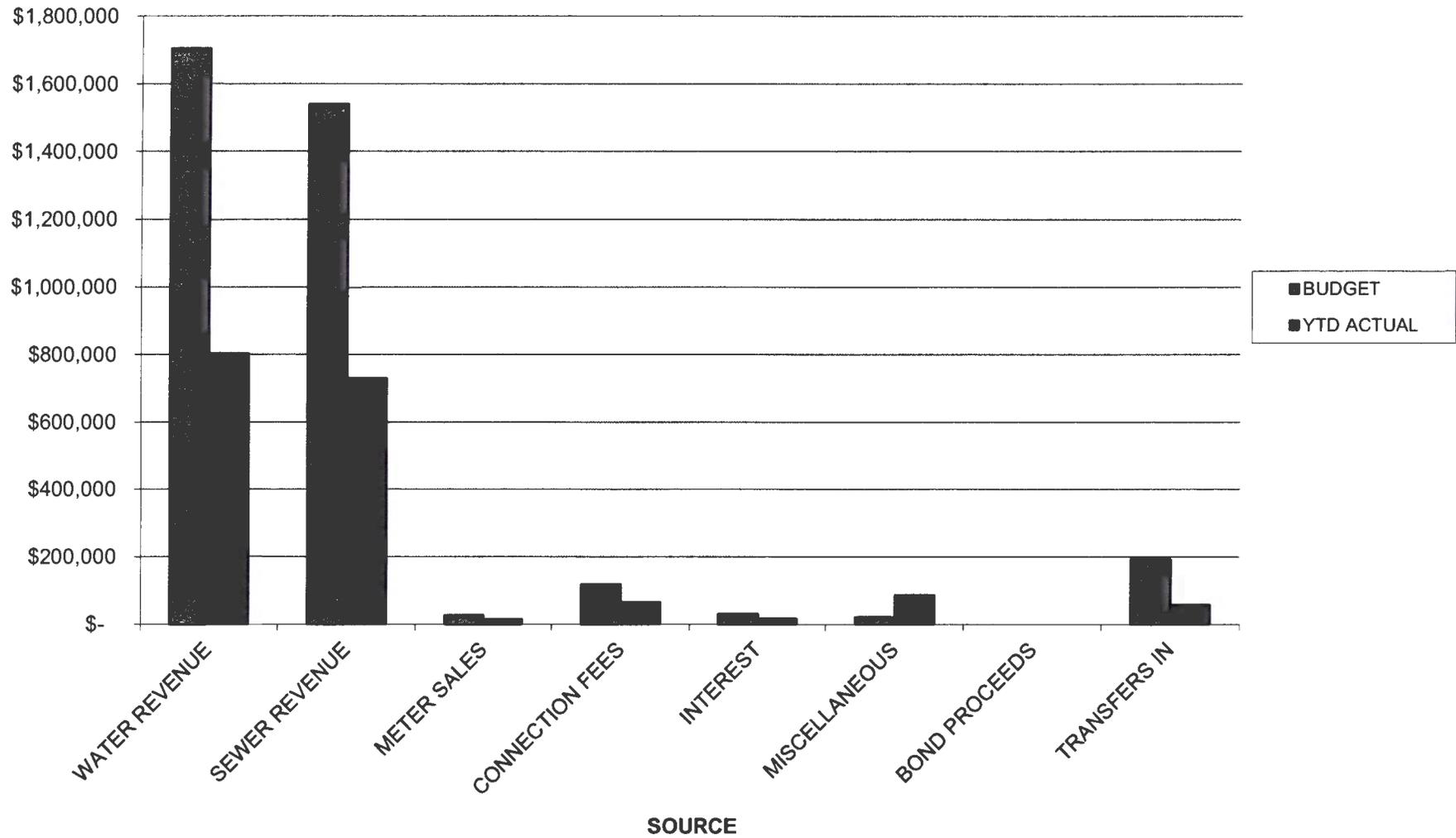
**VILLAGE OF SUGAR GROVE
DEBT SERVICE FUND REVENUES BY SOURCE
FY15 BUDGET VS.10/31/14 FYTD ACTUAL**



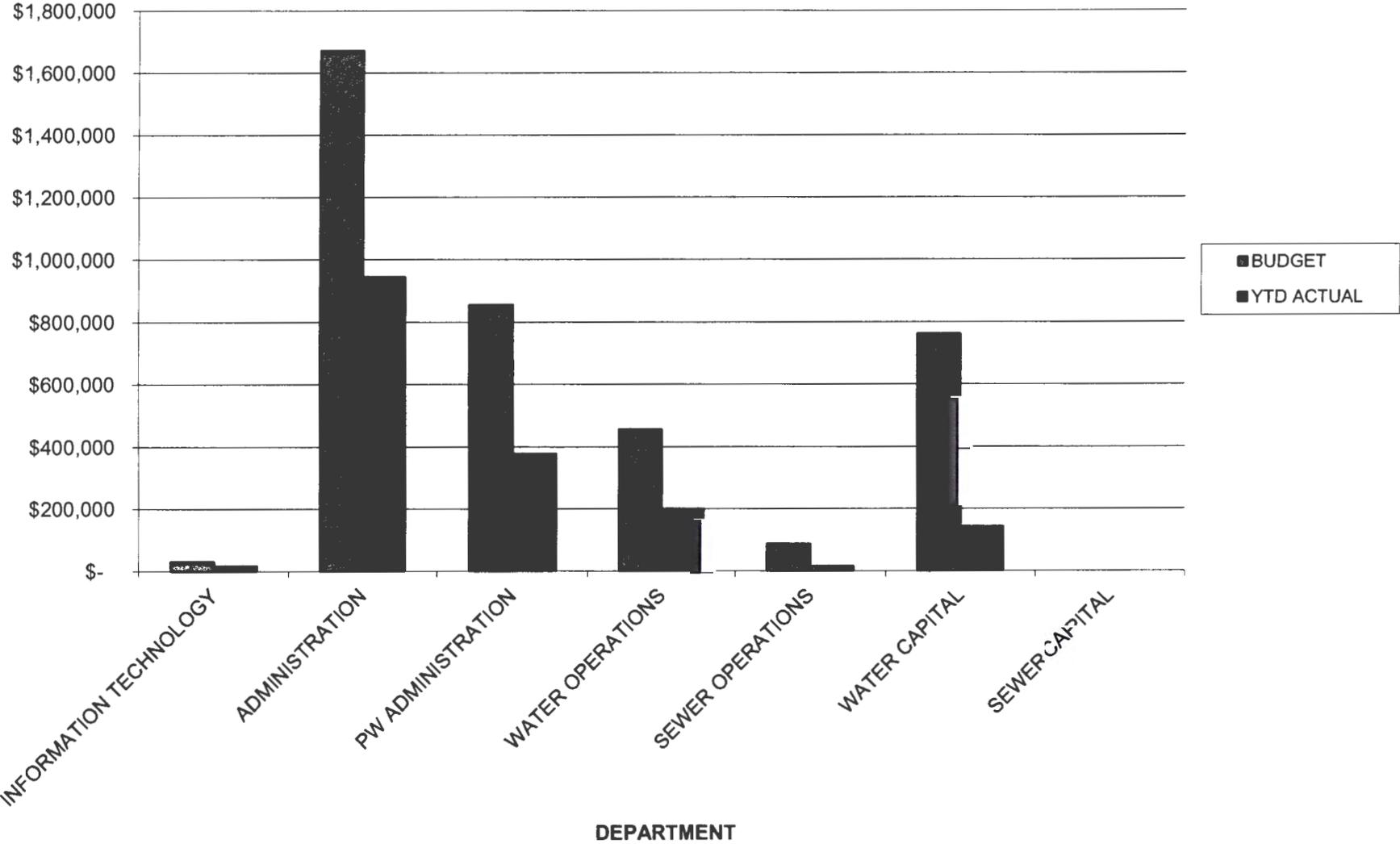
**VILLAGE OF SUGAR GROVE
DEBT SERVICE FUND EXPENDITURES BY FUNCTION
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



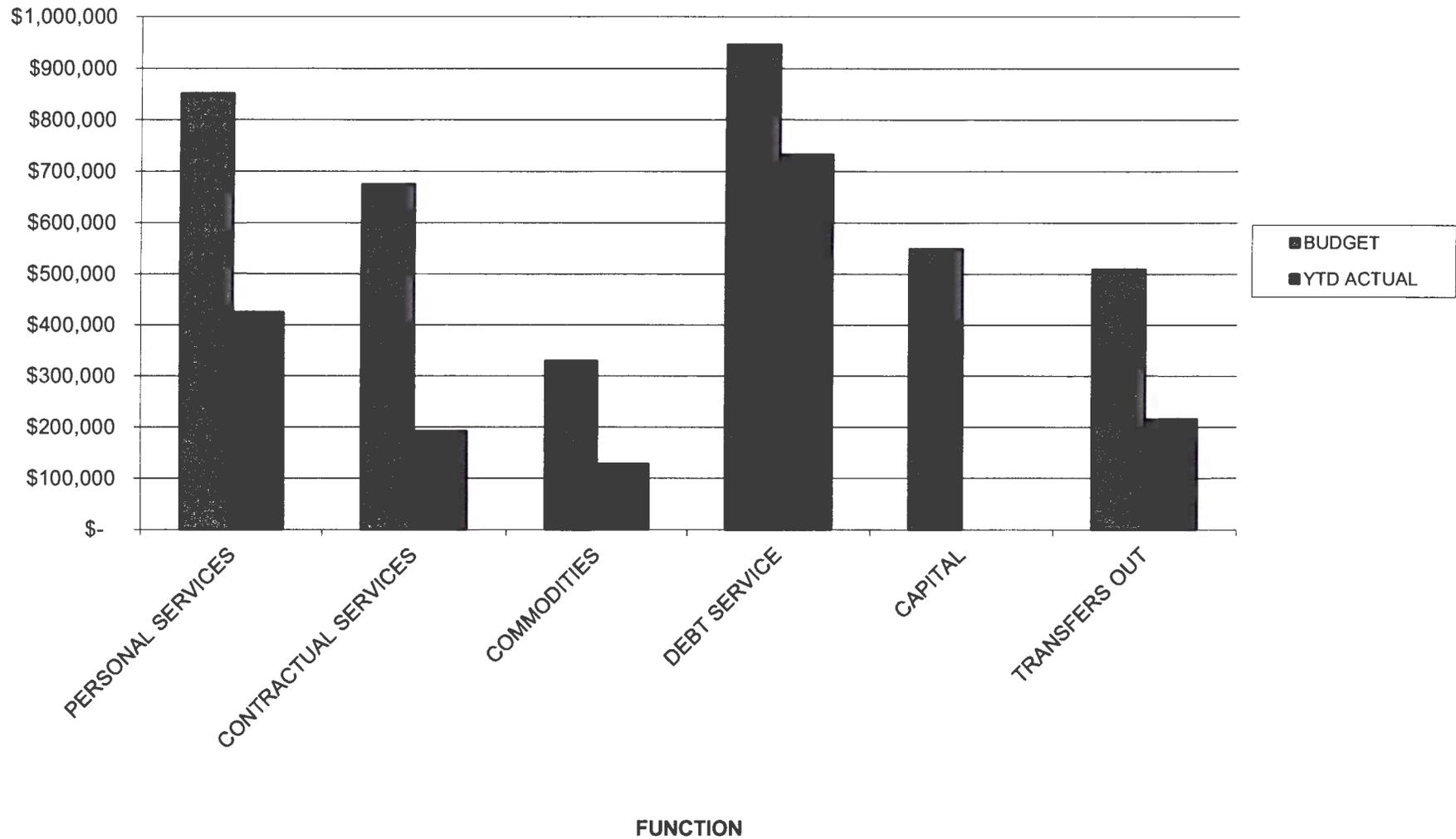
**VILLAGE OF SUGAR GROVE
WATERWORKS AND SEWERAGE FUND REVENUES BY SOURCE
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



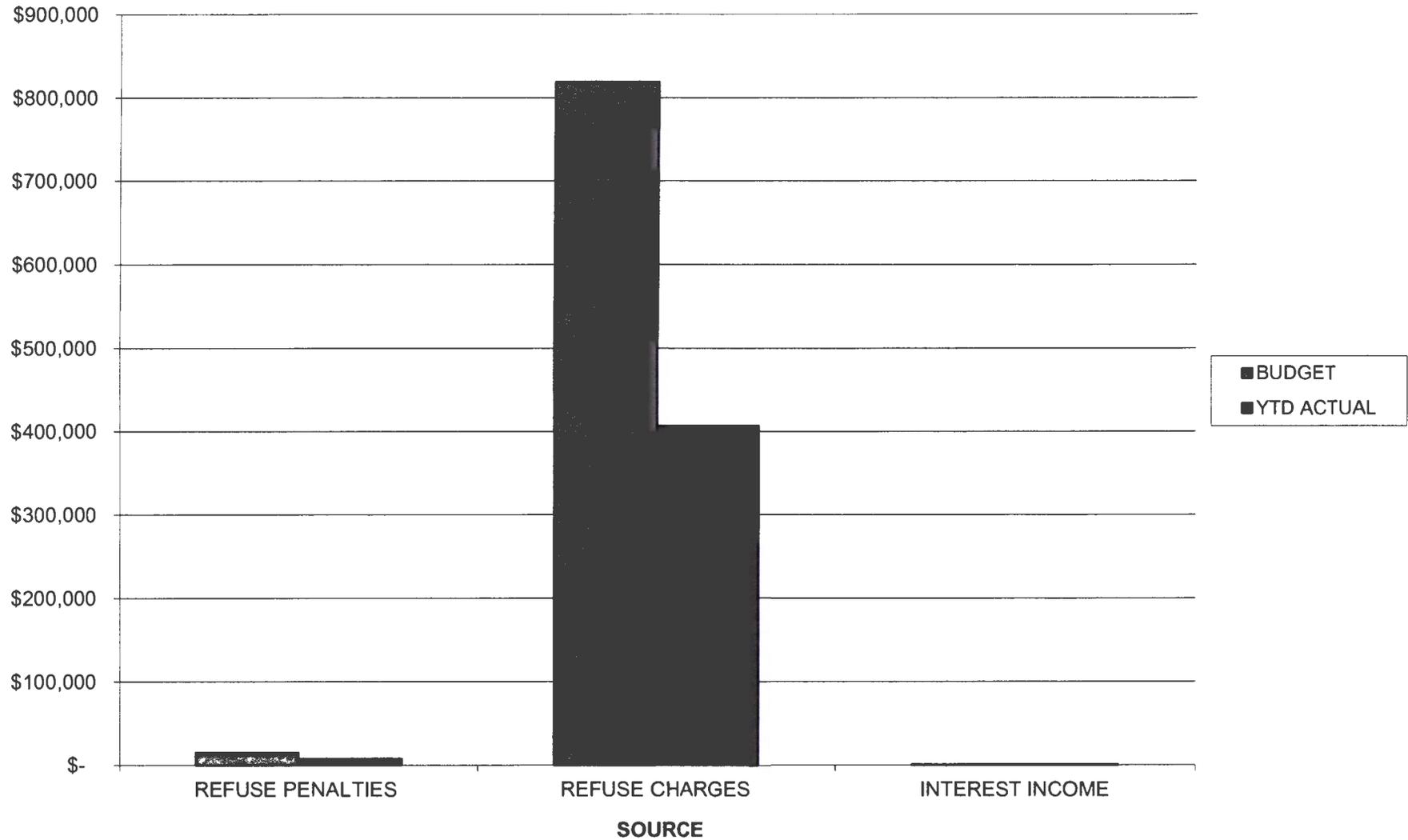
**VILLAGE OF SUGAR GROVE
WATERWORKS AND SEWERAGE FUND EXPENSES BY DEPARTMENT
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



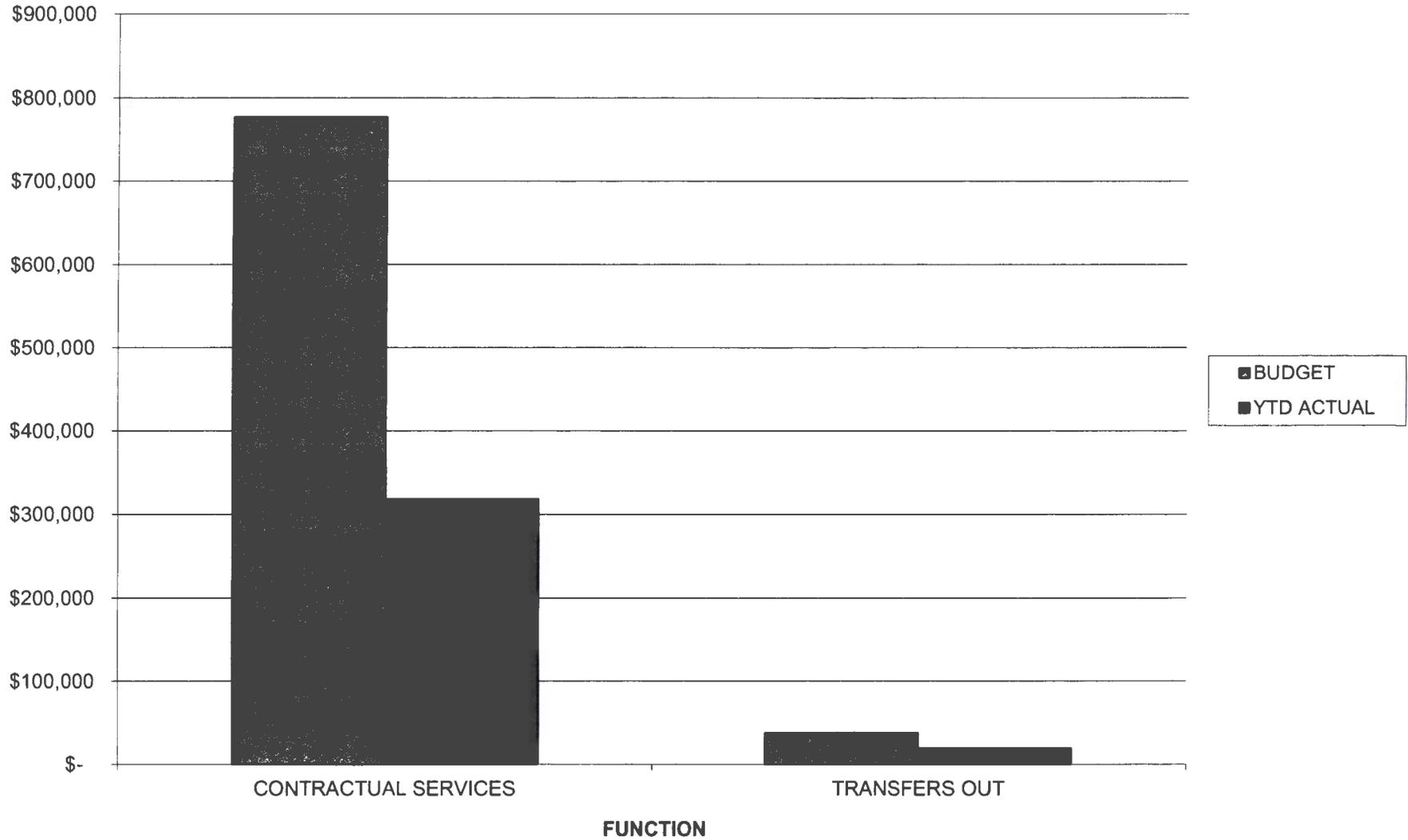
**VILLAGE OF SUGAR GROVE
WATERWORKS AND SEWERAGE FUND EXPENSES BY FUNCTION
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



**VILLAGE OF SUGAR GROVE
REFUSE FUND REVENUES BY SOURCE
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL**



VILLAGE OF SUGAR GROVE
REFUSE FUND EXPENSES BY FUNCTION
FY15 BUDGET VS. 10/31/14 FYTD ACTUAL



VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

FUND: GENERAL FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARIANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARIANCE
REVENUES							
01-00-3110	PROPERTY TAX - CORPORATE	59,443.58	23,583.41	(60.3)	713,323.00	706,766.08	(0.9)
01-00-3111	PROPERTY TAX - AUDIT	825.00	327.28	(60.3)	9,900.00	9,808.19	(0.9)
01-00-3112	PROPERTY TAX - LIABILITY INSUR	5,743.08	2,278.46	(60.3)	68,917.00	68,282.75	(0.9)
01-00-3113	PROPERTY TAX - I.M.R.F.	3,221.58	1,278.12	(60.3)	38,659.00	38,303.80	(0.9)
01-00-3114	PROPERTY TAX - SOCIAL SECURITY	16,772.33	6,654.12	(60.3)	201,268.00	199,415.79	(0.9)
01-00-3115	PROPERTY TAX - STREET LIGHTING	4,767.58	1,891.47	(60.3)	57,211.00	56,685.05	(0.9)
01-00-3150	PROPERTY TAX - POLICE	11,722.50	4,650.66	(60.3)	140,670.00	139,374.65	(0.9)
01-00-3151	PROPERTY TAX - POLICE PENSION	22,513.50	8,931.89	(60.3)	270,162.00	267,677.76	(0.9)
01-00-3162	UTILITY TAX - ELECTRICITY	24,492.50	27,423.77	11.9	293,910.00	142,553.81	(51.5)
01-00-3163	UTILITY TAX - NATURAL GAS	9,199.83	5,169.43	(43.8)	110,398.00	60,049.19	(45.6)
01-00-3164	UTILITY TAX - TELECOMMUNICATION	23,412.58	22,284.65	(4.8)	280,951.00	135,608.47	(51.7)
01-00-3210	LIQUOR LICENSE	1,741.25	0.00	100.0	20,895.00	400.00	(98.0)
01-00-3250	FRANCHISE AGREEMENT	5,243.25	16,070.89	206.5	62,919.00	33,529.52	(46.7)
01-00-3291	CONTRACTORS LICENSE	2,500.00	5,700.00	128.0	30,000.00	41,755.00	39.1
01-00-3310	BUILDING PERMITS	5,786.67	31,274.15	440.4	69,440.00	165,781.35	138.7
01-00-3320	CERTIFICATE OF OCCUPANCY FEES	375.00	800.00	113.3	4,500.00	3,800.00	(15.5)
01-00-3330	PLAN REVIEW FEES	426.58	411.00	(3.6)	5,119.00	4,422.50	(13.6)
01-00-3340	REINSPECTION FEES	254.25	850.00	234.3	3,051.00	4,205.00	37.8
01-00-3350	TRANSITION FEES	0.00	0.00	0.0	0.00	0.00	0.0
01-00-3380	TOWING FEES	5,000.00	4,000.00	(20.0)	60,000.00	16,000.00	(73.3)
01-00-3390	OTHER LICENSES, PERMITS & FEES	127.50	160.00	25.4	1,530.00	2,065.00	34.9
01-00-3410	STATE INCOME TAX	73,325.58	96,721.91	31.9	879,907.00	504,910.10	(42.6)
01-00-3420	REPLACEMENT TAX	163.33	332.56	103.6	1,960.00	1,037.32	(47.0)
01-00-3440	GRANTS	91.67	0.00	100.0	1,100.00	0.00	100.0
01-00-3449	STATE SALES TAX REBATE	(1,062.50)	0.00	100.0	(12,750.00)	0.00	100.0
01-00-3450	STATE SALES TAX	69,900.83	66,262.65	(5.2)	838,810.00	388,361.73	(53.7)
01-00-3451	STATE USE TAX	13,345.58	12,982.61	(2.7)	160,147.00	79,159.27	(50.5)
01-00-3453	STATE GAMES LICENSES	83.33	2,530.57	2936.8	1,000.00	6,912.75	591.2
01-00-3460	ROAD & BRIDGE TAX	3,025.00	1,021.81	(66.2)	36,300.00	34,545.90	(4.8)
01-00-3510	COURT FINES	7,480.75	4,646.21	(37.8)	89,769.00	25,543.84	(71.5)
01-00-3520	FORFEITURES	0.00	0.00	0.0	0.00	0.00	0.0
01-00-3590	OTHER FINES	6,977.33	5,600.00	(19.7)	83,728.00	24,015.00	(71.3)
01-00-3740	ZONING & FILING FEES	666.67	2,550.00	282.5	8,000.00	5,850.00	(26.8)
01-00-3760	REVIEW & DEVELOPMENT FEES	10,556.67	2,200.00	(79.1)	126,680.00	56,572.42	(55.3)
01-00-3761	REIMBURSEMENT	2,515.00	13,616.49	441.4	30,180.00	63,197.73	109.4
01-00-3790	CHARGES FOR POLICE SERVICES	833.33	0.00	100.0	10,000.00	10,300.00	3.0
01-00-3791	OTHER CHARGES FOR SERVICES	485.83	751.62	54.7	5,830.00	2,725.54	(53.2)
01-00-3810	INTEREST INCOME	1,271.67	112.12	(91.1)	15,260.00	433.01	(97.1)
01-00-3811	INTEREST INCOME - CD	0.00	699.61	100.0	0.00	4,671.55	100.0
01-00-3817	INTEREST INCOME - MUNI BONDS	0.00	169.74	100.0	0.00	1,374.45	100.0
01-00-3818	INTEREST INCOME - US AGENCY	0.00	0.00	0.0	0.00	0.00	0.0
01-00-3820	RENTAL INCOME	100.00	0.00	100.0	1,200.00	1,200.00	0.0
01-00-3830	DONATIONS	0.00	0.00	0.0	0.00	2,800.00	100.0

VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

FUND: GENERAL FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARIANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARIANCE
REVENUES							
REVENUES							
01-00-3840	MAP/PLAN/CODE CHARGES	8.33	0.00	100.0	100.00	0.00	100.0
01-00-3878	GAIN (LOSS) - AGENCY REALIZED	0.00	0.00	0.0	0.00	0.00	0.0
01-00-3879	GAIN (LOSS) - AGENCY UNREAL	0.00	0.00	0.0	0.00	0.00	0.0
01-00-3880	GAIN (LOSS) - MUNI BOND REAL	0.00	0.00	0.0	0.00	0.00	0.0
01-00-3881	GAIN (LOSS) - MUNI BOND UNREAL	0.00	240.60	100.0	0.00	(606.30)	100.0
01-00-3888	GAIN (LOSS) - IMET	0.00	615.69	100.0	0.00	1,032.18	100.0
01-00-3890	MISCELLANEOUS INCOME	1,441.67	0.00	100.0	17,300.00	159.50	(99.0)
01-00-3920	PROCEEDS-CAPITAL ASSET SALE	0.00	0.00	0.0	0.00	0.00	0.0
01-00-3990	INTERFUND OPERATING TRANSFER	3,125.00	3,125.00	0.0	37,500.00	18,750.00	(50.0)
TOTAL REVENUES: REVENUES		397,903.63	377,918.49	(5.0)	4,774,844.00	3,329,429.90	(30.2)
INFORMATION TECHNOLOGY							
EXPENSES							
01-49-6307	I. S. SERVICES	3,145.17	(56.71)	101.8	37,742.00	18,203.34	51.7
01-49-6502	TELECOMMUNICATIONS	40.00	45.00	(12.5)	480.00	267.50	44.2
01-49-6613	GENERAL OFFICE SUPPLIES	3.33	0.00	100.0	40.00	33.03	17.4
TOTAL EXPENSES: INFORMATION TECHNOLOGY		3,188.50	(11.71)	100.3	38,262.00	18,503.87	51.6
ADMINISTRATION							
EXPENSES							
01-50-6101	SALARIES - REGULAR	15,934.92	22,448.94	(40.8)	191,219.00	102,530.78	46.3
01-50-6201	MEDICAL/DENTAL INSURANCE	2,746.67	2,041.25	25.6	32,960.00	13,363.00	59.4
01-50-6202	GROUP LIFE INSURANCE	14.00	13.20	5.7	168.00	79.20	52.8
01-50-6204	UNEMPLOYMENT COMPENSATION	15.92	0.00	100.0	191.00	0.00	100.0
01-50-6205	SOCIAL SECURITY CONTRIBUTIONS	1,019.00	975.13	4.3	12,228.00	6,789.98	44.4
01-50-6206	IMRF CONTRIBUTIONS	1,505.83	2,121.45	(40.8)	18,070.00	9,689.34	46.3
01-50-6208	TRAINING & MEMBERSHIPS	531.92	442.75	16.7	6,383.00	4,774.91	25.1
01-50-6209	UNIFORM ALLOWANCE	8.33	0.00	100.0	100.00	98.08	1.9
01-50-6301	LEGAL SERVICES	1,208.33	0.00	100.0	14,500.00	3,050.00	78.9
01-50-6306	MEDICAL SERVICES	62.83	0.00	100.0	754.00	0.00	100.0
01-50-6307	I. S. SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
01-50-6309	OTHER PROFESSIONAL SERVICES	43.75	12.50	71.4	525.00	71.50	86.3
01-50-6402	RENTAL	240.92	(238.50)	199.0	2,891.00	722.10	75.0
01-50-6403	REPAIR & MAINT. SERV-EQUIPMENT	17.92	0.00	100.0	215.00	30.28	85.9
01-50-6501	POSTAGE & DELIVERY	2.92	0.00	100.0	35.00	0.00	100.0
01-50-6502	TELECOMMUNICATIONS	183.33	235.50	(28.4)	2,200.00	998.44	54.6
01-50-6503	PUBLISHING	0.00	0.00	0.0	0.00	0.00	0.0
01-50-6504	PRINTING	4.17	0.00	100.0	50.00	0.00	100.0
01-50-6507	MILEAGE REIMBURSEMENT	154.75	335.12	(116.5)	1,857.00	990.03	46.6

VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

FUND: GENERAL FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARIANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARIANCE
ADMINISTRATION EXPENSES							
01-50-6508	RECEPTIONS & ENTERTAINMENT	0.00	0.00	0.0	0.00	0.00	0.0
01-50-6509	RECRUITMENT	0.00	0.00	0.0	0.00	0.00	0.0
01-50-6514	INSURANCE PREMIUMS	7,772.08	0.00	100.0	93,265.00	3,279.69	96.4
01-50-6603	SPECIALIZED SUPPLIES	0.00	0.00	0.0	0.00	0.00	0.0
01-50-6604	SAFETY SUPPLIES	0.00	0.00	0.0	0.00	0.00	0.0
01-50-6608	BOOKS & PUBLICATIONS	71.67	0.00	100.0	860.00	770.00	10.4
01-50-6613	GENERAL OFFICE SUPPLIES	42.75	0.00	100.0	513.00	0.00	100.0
01-50-7510	DEPRECIATION EXPENSE - ADMIN	0.00	0.00	0.0	0.00	0.00	0.0
TOTAL EXPENSES: ADMINISTRATION		31,582.01	28,387.34	10.1	378,984.00	147,237.33	61.1
POLICE EXPENSES							
01-51-6101	SALARIES - REGULAR	79,039.25	107,832.71	(36.4)	948,471.00	506,568.59	46.5
01-51-6102	SALARIES - OVERTIME	10,536.92	13,815.71	(31.1)	126,443.00	76,771.44	39.2
01-51-6104	SALARIES - PART-TIME	12,124.67	8,525.23	29.6	145,496.00	44,009.21	69.7
01-51-6105	SALARIES - SEASONAL	0.00	0.00	0.0	0.00	0.00	0.0
01-51-6106	POLICE PENSION	22,740.92	22,740.92	0.0	272,891.00	136,445.52	50.0
01-51-6201	MEDICAL/DENTAL INSURANCE	16,769.17	13,496.56	19.5	201,230.00	85,254.38	57.6
01-51-6202	GROUP LIFE INSURANCE	102.00	96.00	5.8	1,224.00	576.00	52.9
01-51-6204	UNEMPLOYMENT CONTRIBUTIONS	95.17	0.00	100.0	1,142.00	0.00	100.0
01-51-6205	SOCIAL SECURITY CONTRIBUTIONS	7,780.08	9,168.86	(17.8)	93,361.00	45,186.48	51.6
01-51-6206	IMRF CONTRIBUTIONS	0.00	0.00	0.0	0.00	0.00	0.0
01-51-6208	TRAINING & MEMBERSHIPS	742.50	1,580.88	(112.9)	8,910.00	7,058.70	20.7
01-51-6209	UNIFORM ALLOWANCE	850.42	0.00	100.0	10,205.00	4,830.00	52.6
01-51-6301	LEGAL SERVICES	7,083.33	4,227.00	40.3	85,000.00	19,741.96	76.7
01-51-6306	MEDICAL SERVICES	181.17	0.00	100.0	2,174.00	855.00	60.6
01-51-6307	I. S. SERVICES	2,005.67	870.50	56.6	24,068.00	870.50	96.3
01-51-6309	OTHER PROFESSIONAL SERVICES	875.25	382.50	56.3	10,503.00	6,067.50	42.2
01-51-6402	RENTAL	182.58	(179.35)	198.2	2,191.00	549.25	74.9
01-51-6403	REPAIR & MAINT. SERV-EQUIPMENT	1,219.33	1,087.30	10.8	14,632.00	3,919.82	73.2
01-51-6407	REPAIR & MAINT. SERV-VEHICLES	2,500.00	1,761.85	29.5	30,000.00	9,934.08	66.8
01-51-6500	GENERAL EQUIPMENT	787.50	0.00	100.0	9,450.00	16.37	99.8
01-51-6501	POSTAGE & DELIVERY	120.42	212.41	(76.3)	1,445.00	721.14	50.0
01-51-6502	TELECOMMUNICATIONS	13,816.92	1,866.36	86.4	165,803.00	56,427.45	65.9
01-51-6504	PRINTING	106.25	0.00	100.0	1,275.00	0.00	100.0
01-51-6507	MILEAGE REIMBURSEMENT	12.50	0.00	100.0	150.00	0.00	100.0
01-51-6508	RECEPTIONS & ENTERTAINMENT	0.00	32.34	100.0	0.00	32.34	100.0
01-51-6509	RECRUITMENT	0.00	15.00	100.0	0.00	40.00	100.0
01-51-6601	FUELS & LUBRICANTS	4,758.75	3,659.34	23.1	57,105.00	20,942.14	63.3
01-51-6603	SPECIALIZED SUPPLIES	877.08	0.00	100.0	10,525.00	3,800.27	63.8
01-51-6604	SAFETY SUPPLIES	16.67	0.00	100.0	200.00	78.25	60.8

VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

FUND: GENERAL FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARIANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARIANCE
POLICE EXPENSES							
01-51-6608	BOOKS & PUBLICATIONS	33.33	0.00	100.0	400.00	0.00	100.0
01-51-6613	GENERAL OFFICE SUPPLIES	208.33	490.53	(135.4)	2,500.00	1,407.50	43.7
01-51-6617	VEHICLES MAINT. SUPPLIES	0.00	0.00	0.0	0.00	49.99	100.0
01-51-7010	TFR TO EQUIP. REPLACE FUND	4,390.33	4,390.33	0.0	52,684.00	26,341.98	50.0
01-51-7510	DEPRECIATION EXPENSE - POLICE	0.00	0.00	0.0	0.00	0.00	0.0
TOTAL EXPENSES: POLICE		189,956.51	196,072.98	(3.2)	2,279,478.00	1,058,495.86	53.5
PUBLIC WORKS- STREET DIVISION EXPENSES							
01-53-6101	SALARIES - REGULAR	21,869.42	30,843.34	(41.0)	262,433.00	130,401.07	50.3
01-53-6102	SALARIES - OVERTIME	1,440.83	838.11	41.8	17,290.00	4,360.66	74.7
01-53-6104	SALARIES-PART-TIME	0.00	0.00	0.0	0.00	480.00	100.0
01-53-6105	SALARIES - SEASONAL	933.33	0.00	100.0	11,200.00	3,120.00	72.1
01-53-6201	MEDICAL/DENTAL INSURANCE	5,344.00	3,631.89	32.0	64,128.00	20,836.45	67.5
01-53-6202	GROUP LIFE INSURANCE	36.58	44.00	(20.2)	439.00	200.00	54.4
01-53-6204	UNEMPLOYMENT COMPENSATION	23.33	0.00	100.0	280.00	0.00	100.0
01-53-6205	SOCIAL SECURITY CONTRIBUTIONS	1,838.58	2,324.11	(26.4)	22,063.00	10,125.56	54.1
01-53-6206	IMRF CONTRIBUTIONS	2,202.83	2,990.71	(35.7)	26,434.00	12,723.66	51.8
01-53-6208	TRAINING & MEMBERSHIPS	337.50	766.00	(126.9)	4,050.00	1,504.56	62.8
01-53-6209	UNIFORM ALLOWANCE	100.00	1,142.50	(1042.5)	1,200.00	1,497.50	(24.7)
01-53-6301	LEGAL SERVICES	125.00	0.00	100.0	1,500.00	0.00	100.0
01-53-6303	ENGINEERING SERVICES	666.67	176.00	73.6	8,000.00	6,206.00	22.4
01-53-6306	MEDICAL SERVICES	94.92	377.00	(297.1)	1,139.00	577.00	49.3
01-53-6307	I.S. SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
01-53-6309	OTHER PROFESSIONAL SERVICES	297.92	903.70	(203.3)	3,575.00	1,914.95	46.4
01-53-6402	RENTAL	336.67	(41.34)	112.2	4,040.00	1,549.61	61.6
01-53-6403	REPAIR & MAINT. SERV-EQUIPMENT	308.08	2,733.96	(787.4)	3,697.00	17,607.15	(376.2)
01-53-6405	REPAIR & MAINT. SERV-ROW	3,552.00	12,250.27	(244.8)	42,624.00	37,057.85	13.0
01-53-6407	REPAIR & MAINT. SERV-VEHICLES	1,666.67	9,365.86	(461.9)	20,000.00	14,571.70	27.1
01-53-6500	GENERAL EQUIPMENT	50.00	0.00	100.0	600.00	0.00	100.0
01-53-6501	POSTAGE & DELIVERY	14.58	0.00	100.0	175.00	0.09	99.9
01-53-6502	TELECOMMUNICATIONS	258.33	526.28	(103.7)	3,100.00	1,176.73	62.0
01-53-6503	PUBLISHING	12.50	0.00	100.0	150.00	0.00	100.0
01-53-6504	PRINTING	16.67	0.00	100.0	200.00	0.00	100.0
01-53-6507	MILEAGE REIMBURSEMENT	2.08	0.00	100.0	25.00	1.70	93.2
01-53-6508	RECEPTIONS & ENTERTAINMENT	16.67	0.00	100.0	200.00	92.11	53.9
01-53-6509	RECRUITMENT	12.50	0.00	100.0	150.00	0.00	100.0
01-53-6511	ELECTRICITY	3,700.00	5,848.15	(58.0)	44,400.00	15,288.62	65.5
01-53-6516	EMPLOYEE ACTIVITIES	20.83	0.00	100.0	250.00	0.00	100.0
01-53-6601	FUELS & LUBRICANTS	2,943.83	1,171.49	60.2	35,326.00	5,178.52	85.3
01-53-6603	SPECIALIZED SUPPLIES	458.33	497.30	(8.5)	5,500.00	3,544.10	35.5

VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

FUND: GENERAL FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
PUBLIC WORKS- STREET DIVISION EXPENSES							
01-53-6604	SAFETY SUPPLIES	75.00	0.00	100.0	900.00	0.00	100.0
01-53-6606	LANDSCAPING SUPPLIES	2,391.67	50.00	97.9	28,700.00	9,591.56	66.5
01-53-6608	BOOKS & PUBLICATIONS	20.83	0.00	100.0	250.00	0.00	100.0
01-53-6609	ROADWAY MAINTENANCE SUPPLIES	1,208.33	2,517.46	(108.3)	14,500.00	6,843.02	52.8
01-53-6610	TRAFFIC CONTROL SUPPLIES	1,250.00	728.58	41.7	15,000.00	4,217.88	71.8
01-53-6612	EQUIPMENT MAINTENANCE SUPPLIES	333.33	342.82	(2.8)	4,000.00	1,467.93	63.3
01-53-6613	GENERAL OFFICE SUPPLIES	50.00	119.80	(139.6)	600.00	294.60	50.9
01-53-6615	SNOW & ICE CONTROL SUPPLIES	15,558.92	0.00	100.0	186,707.00	0.00	100.0
01-53-6617	VEHICLE MAINT. SUPPLIES	833.33	2,164.61	(159.7)	10,000.00	3,067.25	69.3
01-53-7010	TFR TO EQUIP. REPLACE FUND	10,342.50	10,342.50	0.0	124,110.00	62,055.00	50.0
01-53-7510	DEPRECIATION EXPENSE - STREETS	0.00	0.00	0.0	0.00	0.00	0.0
01-53-9003	INTERFUND TRANSFER	3,788.33	0.00	100.0	45,460.00	0.00	100.0
TOTAL EXPENSES: PUBLIC WORKS- STREET DIVISION		84,532.89	92,655.10	(9.6)	1,014,395.00	377,552.83	62.7
BUILDING MAINTENANCE EXPENSES							
01-54-6101	SALARIES - REGULAR	6,097.33	8,331.14	(36.6)	73,168.00	35,457.01	51.5
01-54-6102	SALARIES - OVERTIME	377.50	266.36	29.4	4,530.00	1,512.95	66.6
01-54-6104	SALARIES - PART-TIME	0.00	0.00	0.0	0.00	0.00	0.0
01-54-6105	SALARIES - SEASONAL	0.00	0.00	0.0	0.00	0.00	0.0
01-54-6201	MEDICAL/DENTAL INSURANCE	1,489.58	1,070.62	28.1	17,875.00	6,196.24	65.3
01-54-6202	GROUP LIFE INSURANCE	11.08	12.00	(8.3)	133.00	56.00	57.8
01-54-6204	UNEMPLOYMENT COMPENSATION	6.50	0.00	100.0	78.00	0.00	100.0
01-54-6205	SOCIAL SECURITY CONTRIBUTIONS	493.58	628.93	(27.4)	5,923.00	2,695.04	54.5
01-54-6206	IMRF CONTRIBUTIONS	611.92	811.05	(32.5)	7,343.00	3,490.20	52.4
01-54-6208	TRAINING & MEMBERSHIPS	41.67	0.00	100.0	500.00	0.00	100.0
01-54-6209	UNIFORM ALLOWANCE	25.00	164.50	(558.0)	300.00	230.50	23.1
01-54-6301	LEGAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
01-54-6306	MEDICAL SERVICES	11.08	0.00	100.0	133.00	0.00	100.0
01-54-6402	RENTAL	79.50	(4.95)	106.2	954.00	20.52	97.8
01-54-6403	REPAIR & MAINT. SERV-EQUIPMENT	223.33	0.02	99.9	2,680.00	989.99	63.0
01-54-6406	REPAIR & MAINT. SERV-BUILDINGS	2,417.50	1,637.62	32.2	29,010.00	8,605.05	70.3
01-54-6407	REPAIR & MAINT. SERV-VEHICLES	12.50	0.00	100.0	150.00	0.00	100.0
01-54-6500	GENERAL EQUIPMENT	52.08	0.00	100.0	625.00	0.00	100.0
01-54-6502	TELECOMMUNICATIONS	116.33	280.08	(140.7)	1,396.00	694.16	50.2
01-54-6507	MILEAGE REIMBURSEMENT	2.08	0.00	100.0	25.00	0.00	100.0
01-54-6510	NATURAL GAS	0.00	0.00	0.0	0.00	0.00	0.0
01-54-6512	WATER & SEWER	135.42	218.98	(61.7)	1,625.00	1,067.07	34.3
01-54-6516	EMPLOYEE ACTIVITIES	0.00	0.00	0.0	0.00	0.00	0.0
01-54-6601	FUELS & LUBRICANTS	377.08	534.44	(41.7)	4,525.00	3,217.98	28.8
01-54-6602	CUSTODIAL SUPPLIES	300.00	0.00	100.0	3,600.00	779.51	78.3

VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

FUND: GENERAL FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARIANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARIANCE
BUILDING MAINTENANCE EXPENSES							
01-54-6603	SPECIALIZED SUPPLIES	108.33	759.53	(601.1)	1,300.00	802.00	38.3
01-54-6604	SAFETY SUPPLIES	41.67	0.00	100.0	500.00	107.52	78.5
01-54-6606	LANDSCAPING SUPPLIES	125.00	0.00	100.0	1,500.00	0.00	100.0
01-54-6608	BOOKS AND PUBLICATIONS	16.67	0.00	100.0	200.00	0.00	100.0
01-54-6611	BUILDING MATERIALS & SUPPLIES	127.08	0.00	100.0	1,525.00	84.06	94.4
01-54-6613	GENERAL OFFICE SUPPLIES	23.33	6.60	71.7	280.00	17.40	93.7
01-54-6617	VEHICLE MAINT. SUPPLIES	83.33	0.00	100.0	1,000.00	325.46	67.4
01-54-7010	TRANS. TO EQUIP REPL. FUND	482.17	482.17	0.0	5,786.00	2,893.02	50.0
01-54-7510	DEPRECIATION EXP-BLDG MAINT	0.00	0.00	0.0	0.00	0.00	0.0
TOTAL EXPENSES: BUILDING MAINTENANCE		13,888.64	15,199.09	(9.4)	166,664.00	69,241.68	58.4
COMMUNITY DEVELOPMENT EXPENSES							
01-55-6101	SALARIES - REGULAR	23,067.00	31,058.42	(34.6)	276,804.00	143,839.31	48.0
01-55-6102	SALARIES - OVERTIME	20.25	0.00	100.0	243.00	611.55	(151.6)
01-55-6104	SALARIES - PART-TIME	422.75	1,550.63	(266.8)	5,073.00	5,555.30	(9.5)
01-55-6201	MEDICAL/DENTAL INSURANCE	4,048.75	3,432.31	15.2	48,585.00	20,717.76	57.3
01-55-6202	GROUP LIFE INSURANCE	34.00	32.00	5.8	408.00	192.00	52.9
01-55-6204	UNEMPLOYMENT COMPENSATION	23.08	0.00	100.0	277.00	0.00	100.0
01-55-6205	SOCIAL SECURITY CONTRIBUTIONS	1,798.50	2,400.21	(33.4)	21,582.00	11,028.95	48.9
01-55-6206	IMRF CONTRIBUTIONS	2,181.75	2,935.02	(34.5)	26,181.00	13,647.37	47.8
01-55-6208	TRAINING & MEMBERSHIPS	273.75	0.00	100.0	3,285.00	780.00	76.2
01-55-6209	UNIFORM ALLOWANCE	25.00	0.00	100.0	300.00	98.08	67.3
01-55-6301	LEGAL SERVICES	5,600.00	0.00	100.0	67,200.00	9,446.45	85.9
01-55-6303	ENGINEERING SERVICES	8,479.17	7,822.50	7.7	101,750.00	26,374.50	74.0
01-55-6306	MEDICAL SERVICES	42.42	0.00	100.0	509.00	55.00	89.1
01-55-6307	I.S. SERVICES	29.17	0.00	100.0	350.00	0.00	100.0
01-55-6309	OTHER PROFESSIONAL SERVICES	5,754.17	22,431.13	(289.8)	69,050.00	72,684.54	(5.2)
01-55-6402	RENTAL	214.25	(198.94)	192.8	2,571.00	615.44	76.0
01-55-6403	REPAIR & MAINT. SERV-EQUIP	62.50	77.61	(24.1)	750.00	454.32	39.4
01-55-6407	REPAIR & MAINT. SERV-VEHICLES	125.00	1,232.57	(886.0)	1,500.00	1,615.90	(7.7)
01-55-6500	GENERAL EQUIPMENT	33.33	0.00	100.0	400.00	0.00	100.0
01-55-6501	POSTAGE & DELIVERY	41.67	9.53	77.1	500.00	174.89	65.0
01-55-6502	TELECOMMUNICATIONS	268.17	441.17	(64.5)	3,218.00	1,351.29	58.0
01-55-6503	PUBLISHING	108.33	381.80	(252.4)	1,300.00	713.00	45.1
01-55-6504	PRINTING	125.00	0.00	100.0	1,500.00	180.65	87.9
01-55-6507	MILEAGE REIMBURSEMENT	2.08	0.00	100.0	25.00	0.00	100.0
01-55-6508	RECEPTIONS & ENTERTAINMENT	25.00	0.00	100.0	300.00	92.11	69.3
01-55-6509	RECRUITMENT	0.00	0.00	0.0	0.00	0.00	0.0
01-55-6601	FUELS & LUBRICANTS	150.00	112.46	25.0	1,800.00	757.60	57.9
01-55-6603	SPECIALIZED SUPPLIES	8.33	50.00	(500.2)	100.00	50.00	50.0

VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

FUND: GENERAL FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARIANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARIANCE
COMMUNITY DEVELOPMENT EXPENSES							
01-55-6604	SAFETY SUPPLIES	0.00	0.00	0.0	0.00	0.00	0.0
01-55-6608	BOOKS & PUBLICATIONS	33.33	0.00	100.0	400.00	786.19	(96.5)
01-55-6613	GENERAL OFFICE SUPPLIES	83.33	21.77	73.8	1,000.00	551.39	44.8
01-55-7010	TRANS. TO EQUIP. REPL. FUND	474.00	474.00	0.0	5,688.00	2,844.00	50.0
01-55-7510	DEPRECIATION EXP - COM DEV	0.00	0.00	0.0	0.00	0.00	0.0
01-55-9004	CONTINGENCY	0.00	0.00	0.0	0.00	0.00	0.0
TOTAL EXPENSES: COMMUNITY DEVELOPMENT		53,554.08	74,264.19	(38.6)	642,649.00	315,217.59	50.9
FINANCE EXPENSES							
01-56-6101	SALARIES - REGULAR	6,897.83	9,548.41	(38.4)	82,774.00	43,750.50	47.1
01-56-6102	SALARIES-OVERTIME	0.00	0.00	0.0	0.00	0.00	0.0
01-56-6104	SALARIES-PART-TIME	397.92	636.90	(60.0)	4,775.00	3,859.02	19.1
01-56-6201	MEDICAL/DENTAL INSURANCE	1,391.17	1,101.85	20.8	16,694.00	6,974.06	58.2
01-56-6202	GROUP LIFE INSURANCE	8.50	8.00	5.8	102.00	48.00	52.9
01-56-6204	UNEMPLOYMENT COMPENSATION	6.92	0.00	100.0	83.00	0.00	100.0
01-56-6205	SOCIAL SECURITY CONTRIBUTIONS	558.08	741.64	(32.8)	6,697.00	3,465.23	48.2
01-56-6206	IMRF CONTRIBUTIONS	651.83	902.34	(38.4)	7,822.00	4,134.53	47.1
01-56-6208	TRAINING & MEMBERSHIPS	188.25	191.50	(1.7)	2,259.00	1,296.60	42.6
01-56-6209	UNIFORM ALLOWANCE	8.33	0.00	100.0	100.00	98.08	1.9
01-56-6301	LEGAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
01-56-6302	AUDIT SERVICES	925.00	9,950.00	(975.6)	11,100.00	10,035.00	9.5
01-56-6305	FINANCIAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
01-56-6306	MEDICAL SERVICES	19.92	0.00	100.0	239.00	0.00	100.0
01-56-6307	I.S. SERVICES	485.58	0.00	100.0	5,827.00	6,235.88	(7.0)
01-56-6309	OTHER PROFESSIONAL SERVICES	333.50	95.00	71.5	4,002.00	704.00	82.4
01-56-6402	RENTAL	1.58	1.60	(1.2)	19.00	6.40	66.3
01-56-6403	REPAIR & MAINT. SERV-EQUIPMENT	35.00	0.00	100.0	420.00	311.75	25.7
01-56-6501	POSTAGE & DELIVERY	58.33	75.51	(29.4)	700.00	323.62	53.7
01-56-6502	TELECOMMUNICATIONS	117.58	262.98	(123.6)	1,411.00	820.90	41.8
01-56-6503	PUBLISHING	57.25	0.00	100.0	687.00	0.00	100.0
01-56-6504	PRINTING	64.33	0.00	100.0	772.00	175.00	77.3
01-56-6507	MILEAGE REIMBURSEMENT	4.17	0.00	100.0	50.00	1.50	97.0
01-56-6508	RECEPTIONS & ENTERTAINMENT	0.00	0.00	0.0	0.00	0.00	0.0
01-56-6509	RECRUITMENT	0.00	0.00	0.0	0.00	25.00	100.0
01-56-6601	FUEL & LUBRICANTS	4.17	21.28	(410.3)	50.00	119.95	(139.9)
01-56-6603	SPECIALIZED SUPPLIES	8.33	0.00	100.0	100.00	0.00	100.0
01-56-6608	BOOKS AND PUBLICATIONS	4.17	0.00	100.0	50.00	0.00	100.0
01-56-6613	GENERAL OFFICE SUPPLIES	87.50	5.88	93.2	1,050.00	522.08	50.2
01-56-6910	MISCELLANEOUS	0.00	0.00	0.0	0.00	324.80	100.0
TOTAL EXPENSES: FINANCE		12,315.24	23,542.89	(91.1)	147,783.00	83,231.90	43.6

VILLAGE OF SUGAR GROVE
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 FOR 6 PERIODS ENDING OCTOBER 31, 2014

FUND: GENERAL FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE

BOARD AND COMMISSIONS EXPENSES							
01-57-6104	SALARIES-PART-TIME	3,672.00	10,581.75	(188.1)	44,064.00	22,701.98	48.4
01-57-6205	SOCIAL SECURITY CONTRIBUTIONS	280.92	806.81	(187.2)	3,371.00	1,722.22	48.9
01-57-6206	IMRF CONTRIBUTIONS	39.42	54.51	(38.2)	473.00	254.38	46.2
01-57-6208	TRAINING & MEMBERSHIPS	977.08	932.33	4.5	11,725.00	6,128.10	47.7
01-57-6209	UNIFORM ALLOWANCE	66.67	0.00	100.0	800.00	793.59	0.8
01-57-6301	LEGAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
01-57-6303	ENGINEERING SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
01-57-6306	MEDICAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
01-57-6307	I.S. SERVICES	213.83	0.00	100.0	2,566.00	1,566.00	38.9
01-57-6309	OTHER PROFESSIONAL SERVICES	352.08	12.50	96.4	4,225.00	71.50	98.3
01-57-6403	REPAIR & MAINT. SERV-EQUIPMENT	166.67	4.17	97.5	2,000.00	630.69	68.4
01-57-6500	GENERAL EQUIPMENT	0.00	0.00	0.0	0.00	0.00	0.0
01-57-6501	POSTAGE & DELIVERY	12.50	0.00	100.0	150.00	50.29	66.4
01-57-6502	TELECOMMUNICATIONS	65.00	120.01	(84.6)	780.00	280.38	64.0
01-57-6503	PUBLISHING	12.50	0.00	100.0	150.00	76.20	49.2
01-57-6504	PRINTING	50.00	0.00	100.0	600.00	65.00	89.1
01-57-6507	MILEAGE REIMBURSEMENT	10.00	0.00	100.0	120.00	0.00	100.0
01-57-6508	RECEPTIONS & ENTERTAINMENT	91.67	0.00	100.0	1,100.00	231.46	78.9
01-57-6515	PUBLIC RELATIONS	446.25	164.17	63.2	5,355.00	3,204.79	40.1
01-57-6516	EMPLOYEE ACTIVITIES	29.17	0.00	100.0	350.00	0.00	100.0
01-57-6517	PLAN COMMISSION	187.50	0.00	100.0	2,250.00	225.00	90.0
01-57-6518	POLICE COMMISSION	303.33	1,245.00	(310.4)	3,640.00	1,522.50	58.1
01-57-6608	BOOKS & SUBSCRIPTIONS	8.33	0.00	100.0	100.00	0.00	100.0
01-57-6613	GENERAL OFFICE SUPPLIES	75.00	0.00	100.0	900.00	160.11	82.2
01-57-9003	INTERFUND TRANSFER	0.00	0.00	0.0	0.00	0.00	0.0
01-57-9004	CONTINGENCY	0.00	0.00	0.0	0.00	0.00	0.0

TOTAL EXPENSES: BOARD AND COMMISSIONS		7,059.92	13,921.25	(97.1)	84,719.00	39,684.19	53.1
TOTAL FUND REVENUES		397,903.63	377,918.49	(5.0)	4,774,844.00	3,329,429.90	(30.2)
TOTAL FUND EXPENSES		396,077.79	444,031.13	(12.1)	4,752,934.00	2,109,165.25	55.6
FUND SURPLUS (DEFICIT)		1,825.84	(66,112.64)	(3720.9)	21,910.00	1,220,264.65	5469.4

VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

FUND: GENERAL CAPITAL PROJECTS FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARIANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARIANCE
REVENUES							
30-00-3440	GRANTS	0.00	0.00	0.0	0.00	0.00	0.0
30-00-3510	COURT FINES	208.33	150.00	(28.0)	2,500.00	150.00	(94.0)
30-00-3761	REIMBURSEMENTS	0.00	0.00	0.0	0.00	7,900.00	100.0
30-00-3810	INTEREST INCOME	2,460.00	4.21	(99.8)	29,520.00	169.72	(99.4)
30-00-3811	INTEREST INCOME - CD	0.00	1,166.02	100.0	0.00	7,741.04	100.0
30-00-3817	INTEREST INCOME - MUNI BONDS	0.00	282.89	100.0	0.00	2,290.76	100.0
30-00-3818	INTEREST INCOME - US AGENCY	0.00	0.00	0.0	0.00	0.00	0.0
30-00-3819	INTEREST INCOME - BND PROCEEDS	0.00	1.99	100.0	0.00	678.65	100.0
30-00-3820	RENTAL INCOME	5,398.50	3,007.31	(44.2)	64,782.00	28,870.21	(55.4)
30-00-3850	IMPROVEMENT DONATIONS	2,640.00	2,891.57	9.5	31,680.00	9,103.57	(71.2)
30-00-3851	EMERGENCY WARNING DEVICE FEE	0.00	0.00	0.0	0.00	0.00	0.0
30-00-3852	LIFE SAFETY POLICE	194.17	0.00	100.0	2,330.00	1,900.00	(18.4)
30-00-3853	LIFE SAFETY - STREETS	194.17	0.00	100.0	2,330.00	1,900.00	(18.4)
30-00-3856	COMMERCIAL FEE	0.00	0.00	0.0	0.00	0.00	0.0
30-00-3878	GAIN (LOSS) - AGENCY REALIZED	0.00	0.00	0.0	0.00	0.00	0.0
30-00-3879	GAIN (LOSS) - AGENCY UNREAL	0.00	0.00	0.0	0.00	0.00	0.0
30-00-3880	GAIN (LOSS) - MUNI BOND REAL	0.00	0.00	0.0	0.00	0.00	0.0
30-00-3881	GAIN (LOSS) - MUNI BONDS UNREA	0.00	401.00	100.0	0.00	(1,010.50)	100.0
30-00-3885	GAIN (LOSS) - REALIZED (BOND)	0.00	0.00	0.0	0.00	0.00	0.0
30-00-3886	GAIN (LOSS) - UNREAL (BOND)	0.00	0.00	0.0	0.00	0.00	0.0
30-00-3888	GAIN (LOSS) - IMET	0.00	1,476.81	100.0	0.00	3,240.86	100.0
30-00-3890	MISC. INCOME	0.00	0.00	0.0	0.00	30,321.74	100.0
30-00-3920	PROCEEDS - FIXED ASSET SALE	0.00	0.00	0.0	0.00	0.00	0.0
30-00-3930	BOND PROCEEDS	0.00	0.00	0.0	0.00	0.00	0.0
30-00-3990	INTERFUND TRANSFER	15,744.75	15,689.00	(0.3)	188,937.00	94,134.00	(50.1)
TOTAL REVENUES: REVENUES		26,839.92	25,070.80	(6.5)	322,079.00	187,390.05	(41.8)
ADMINISTRATION EXPENSES							
30-50-6301	LEGAL SERVICES	0.00	0.00	0.0	0.00	2,015.00	100.0
30-50-6303	ENGINEERING SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
30-50-6304	ARCHITECTURAL SERVICES	0.00	0.00	0.0	0.00	2,444.51	100.0
30-50-6305	FINANCIAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
30-50-6309	OTHER PROFESSIONAL SERVICES	0.00	0.00	0.0	0.00	1,200.00	100.0
30-50-7001	LAND PURCHASE	0.00	0.00	0.0	0.00	0.00	0.0
30-50-7002	VILLAGE BUILDINGS	0.00	5,421.09	100.0	0.00	980,842.82	100.0
30-50-7003	BUILDING IMPROVEMENTS	0.00	0.00	0.0	0.00	0.00	0.0
TOTAL EXPENSES: ADMINISTRATION		0.00	5,421.09	100.0	0.00	986,502.33	100.0

VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

FUND: GENERAL CAPITAL PROJECTS FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
POLICE EXPENSES							
30-51-6301	LEGAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
30-51-6303	ENGINEERING SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
30-51-6304	ARCHITECTURAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
30-51-6307	I.S. SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
30-51-6309	OTHER PROFESSIONAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
30-51-7001	LAND ACQUISITION	0.00	0.00	0.0	0.00	0.00	0.0
30-51-7003	BUILDING IMPROVEMENTS	0.00	0.00	0.0	0.00	0.00	0.0
30-51-7006	AUTOMOTIVE EQUIPMENT	0.00	0.00	0.0	0.00	0.00	0.0
30-51-7007	OTHER EQUIPMENT & MACHINERY	0.00	0.00	0.0	0.00	0.00	0.0
30-51-9003	INTERFUND TRANSFER	9,081.42	9,081.42	0.0	108,977.00	54,488.52	50.0
TOTAL EXPENSES: POLICE		9,081.42	9,081.42	0.0	108,977.00	54,488.52	50.0
PUBLIC WORKS STREETS EXPENSES							
30-53-6301	LEGAL SERVICES	0.00	0.00	0.0	0.00	360.00	100.0
30-53-6303	ENGINEERING SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
30-53-6309	OTHER PROFESSIONAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
30-53-6403	REPAIR & MAINT. SERV-EQUIPMNT	0.00	0.00	0.0	0.00	0.00	0.0
30-53-6501	POSTAGE	0.00	0.00	0.0	0.00	0.00	0.0
30-53-6503	ADVERTISING	0.00	0.00	0.0	0.00	0.00	0.0
30-53-7001	LAND ACQUISITION	0.00	0.00	0.0	0.00	0.00	0.0
30-53-7003	BUILDING IMPROVEMENTS	0.00	0.00	0.0	0.00	0.00	0.0
30-53-7006	AUTOMOTIVE EQUIPMENT	35,000.00	0.00	100.0	420,000.00	0.00	100.0
30-53-7008	CAPITAL IMPROVEMENTS	0.00	0.00	0.0	0.00	0.00	0.0
30-53-9003	INTERFUND TRANSFER	0.00	0.00	0.0	0.00	1,731,433.11	100.0
TOTAL EXPENSES: PUBLIC WORKS STREETS		35,000.00	0.00	100.0	420,000.00	1,731,793.11	(312.3)
BUILDING MAINTENANCE EXPENSES							
30-54-7006	AUTOMOTIVE EQUIPMENT	0.00	0.00	0.0	0.00	0.00	0.0
TOTAL EXPENSES: BUILDING MAINTENANCE		0.00	0.00	0.0	0.00	0.00	0.0
COMMUNITY DEVELOPMENT EXPENSES							
30-55-7006	AUTOMOTIVE EQUIPMENT	0.00	0.00	0.0	0.00	0.00	0.0
30-55-7007	OTHER EQUIPMENT & MACHINERY	0.00	0.00	0.0	0.00	0.00	0.0
TOTAL EXPENSES: COMMUNITY DEVELOPMENT		0.00	0.00	0.0	0.00	0.00	0.0

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VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

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FUND: GENERAL CAPITAL PROJECTS FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI-ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI-ANCE

FINANCE EXPENSES							
30-56-9003	INTERFUND TRANSFER	0.00	0.00	0.0	0.00	0.00	0.0

TOTAL EXPENSES: FINANCE		0.00	0.00	0.0	0.00	0.00	0.0
TOTAL FUND REVENUES		26,839.92	25,070.80	(6.5)	322,079.00	187,390.05	(41.8)
TOTAL FUND EXPENSES		44,081.42	14,502.51	67.1	528,977.00	2,772,783.96	(424.1)
FUND SURPLUS (DEFICIT)		(17,241.50)	10,568.29	(161.3)	(206,898.00)	(2,585,393.91)	1149.6

VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

FUND: INDUSTRIAL TIF #1 FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
REVENUES							
REVENUES							
32-00-3110	PROPERTY TAX - INCREMENT	2,799.00	13,415.55	379.3	33,588.00	30,298.62	(9.7)
32-00-3440	GRANTS	41,666.67	0.00	100.0	500,000.00	0.00	100.0
32-00-3810	INTEREST INCOME	0.00	0.00	0.0	0.00	0.00	0.0
TOTAL REVENUES: REVENUES		44,465.67	13,415.55	(69.8)	533,588.00	30,298.62	(94.3)
PUBLIC WORKS STREETS EXPENSES							
32-53-6301	LEGAL SERVICES	0.00	0.00	0.0	0.00	240.00	100.0
32-53-6303	ENGINEERING SERVICES	6,591.17	27,351.55	(314.9)	79,094.00	41,323.25	47.7
32-53-7008	STREETS/ROW IMPROVEMENTS	59,267.17	0.00	100.0	711,206.00	0.00	100.0
TOTAL EXPENSES: PUBLIC WORKS STREETS		65,858.34	27,351.55	58.4	790,300.00	41,563.25	94.7
COMMUNITY DEVELOPMENT EXPENSES							
32-55-6301	LEGAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
32-55-6302	AUDIT SERVICES	41.67	0.00	100.0	500.00	0.00	100.0
32-55-6303	ENGINEERING SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
32-55-6309	OTHER PROFESSIONAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
32-55-6403	REPAIR & MAINT. SERV-EQUIPMENT	0.00	0.00	0.0	0.00	0.00	0.0
32-55-6501	POSTAGE & DELIVERY	0.00	0.00	0.0	0.00	0.00	0.0
32-55-6503	PUBLISHING	0.00	0.00	0.0	0.00	0.00	0.0
TOTAL EXPENSES: COMMUNITY DEVELOPMENT		41.67	0.00	100.0	500.00	0.00	100.0
TOTAL FUND REVENUES		44,465.67	13,415.55	(69.8)	533,588.00	30,298.62	(94.3)
TOTAL FUND EXPENSES		65,900.01	27,351.55	58.5	790,800.00	41,563.25	94.7
FUND SURPLUS (DEFICIT)		(21,434.34)	(13,936.00)	(34.9)	(257,212.00)	(11,264.63)	(95.6)

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VILLAGE OF SUGAR GROVE
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 FOR 6 PERIODS ENDING OCTOBER 31, 2014

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FUND: INDUSTRIAL TIF #2 FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE

COMMUNITY DEVELOPMENT EXPENSES							
33-55-6301	LEGAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
33-55-6302	AUDIT SERVICES	41.67	0.00	100.0	500.00	0.00	100.0
33-55-6303	ENGINEERING SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
33-55-6309	OTHER PROFESSIONAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
33-55-6403	REPAIR & MAINT. SERV-EQUIPMENT	0.00	0.00	0.0	0.00	0.00	0.0
33-55-6501	POSTAGE & DELIVERY	0.00	0.00	0.0	0.00	0.00	0.0
33-55-6503	PUBLISHING	0.00	0.00	0.0	0.00	0.00	0.0

TOTAL EXPENSES: COMMUNITY DEVELOPMENT		41.67	0.00	100.0	500.00	0.00	100.0
TOTAL FUND REVENUES		0.00	0.00	0.0	0.00	0.00	0.0
TOTAL FUND EXPENSES		41.67	0.00	100.0	500.00	0.00	100.0
FUND SURPLUS (DEFICIT)		(41.67)	0.00	100.0	(500.00)	0.00	100.0

VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

FUND: INFRASTRUCTURE CAP PROJ FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARIANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARIANCE
REVENUES							
REVENUES							
35-00-3430	MOTOR FUEL TAX	23,004.25	38,558.72	67.6	276,051.00	205,756.00	(25.4)
35-00-3440	GRANTS	350,832.25	0.00	100.0	4,209,987.00	100,708.08	(97.6)
35-00-3450	LOCAL SALES TAX	46,805.00	42,321.71	(9.5)	561,660.00	259,183.55	(53.8)
35-00-3453	STATE GAMES LICENSES	0.00	0.00	0.0	0.00	0.00	0.0
35-00-3761	REIMBURSEMENT	0.00	0.00	0.0	0.00	0.00	0.0
35-00-3810	INTEREST INCOME	0.00	216.20	100.0	0.00	1,237.26	100.0
35-00-3819	INTEREST INCOME - BND PROCEEDS	0.00	0.00	0.0	0.00	0.00	0.0
35-00-3830	DONATIONS	0.00	0.00	0.0	0.00	0.00	0.0
35-00-3854	TRAFFIC PRE-EMPTION DONATIONS	0.00	0.00	0.0	0.00	0.00	0.0
35-00-3855	ROAD IMPACT FEE	13,360.00	11,988.50	(10.2)	160,320.00	58,524.70	(63.5)
35-00-3860	PUBLIC IMPROVEMENT FEE	6,054.83	15,500.00	155.9	72,658.00	15,500.00	(78.6)
35-00-3888	GAIN (LOSS) - IMET	0.00	0.00	0.0	0.00	0.00	0.0
35-00-3930	BOND PROCEEDS	0.00	0.00	0.0	0.00	0.00	0.0
35-00-3990	INTERFUND TRANSFER	3,788.33	0.00	100.0	45,460.00	1,731,433.11	3708.7
TOTAL REVENUES: REVENUES		443,844.66	108,585.13	(75.5)	5,326,136.00	2,372,342.70	(55.4)
MOTOR FUEL TAX EXPENSES							
35-50-6303	ENGINEERING SERVICES	2,760.50	0.00	100.0	33,126.00	15,716.25	52.5
35-50-6305	FINANCIAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
35-50-6503	ADVERTISING	0.00	0.00	0.0	0.00	0.00	0.0
35-50-7008	STREETS/ROW IMPROVEMENTS	20,243.75	244,841.42	(1109.4)	242,925.00	257,225.03	(5.8)
35-50-9003	INTERFUND TRANSFER	0.00	0.00	0.0	0.00	0.00	0.0
TOTAL EXPENSES: MOTOR FUEL TAX		23,004.25	244,841.42	(964.3)	276,051.00	272,941.28	1.1
STREETS DIVISION EXPENSES							
35-53-6301	LEGAL SERVICES	0.00	0.00	0.0	0.00	2,360.00	100.0
35-53-6303	ENGINEERING SERVICES	135,462.92	10,184.83	92.4	1,625,555.00	213,071.79	86.8
35-53-6305	FINANCIAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
35-53-6309	OTHER PROFESSIONAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
35-53-6501	POSTAGE & DELIVERY	0.00	0.00	0.0	0.00	0.84	100.0
35-53-6503	ADVERTISING	0.00	0.00	0.0	0.00	0.00	0.0
35-53-7001	LAND ACQUISITION	0.00	0.00	0.0	0.00	0.00	0.0
35-53-7008	STREETS/ROW IMPROVEMENTS	293,725.42	0.00	100.0	3,524,705.00	7,014.42	99.8
35-53-9003	INTERFUND TRANSFER	40,237.25	40,245.80	0.0	482,847.00	241,474.80	49.9
TOTAL EXPENSES: STREETS DIVISION		469,425.59	50,430.63	89.2	5,633,107.00	463,921.85	91.7

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 FOR 6 PERIODS ENDING OCTOBER 31, 2014

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FUND: INFRASTRUCTURE CAP PROJ FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI-ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI-ANCE

BUILDING & ZONING EXPENSES							
35-55-6301	LEGAL SERVICES	0.00	0.00	0.0	0.00	4,757.50	100.0
35-55-6303	ENGINEERING SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
35-55-6305	FINANCIAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
35-55-6309	OTHER PROFESSIONAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
35-55-6503	ADVERTISING	0.00	0.00	0.0	0.00	0.00	0.0

TOTAL EXPENSES: BUILDING & ZONING		0.00	0.00	0.0	0.00	4,757.50	100.0
TOTAL FUND REVENUES		443,844.66	108,585.13	(75.5)	5,326,136.00	2,372,342.70	(55.4)
TOTAL FUND EXPENSES		492,429.84	295,272.05	40.0	5,909,158.00	741,620.63	87.4
FUND SURPLUS (DEFICIT)		(48,585.18)	(186,686.92)	284.2	(583,022.00)	1,630,722.07	(379.7)

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VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

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FUND: DEBT SERVICE FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
REVENUES							
41-00-3110	PROPERTY TAX VILLAGE HALL BOND	0.00	0.00	0.0	0.00	0.00	0.0
41-00-3810	INTEREST INCOME	146.92	117.21	(20.2)	1,763.00	573.07	(67.4)
41-00-3819	INTEREST - ACCRUED INT ON BDS	0.00	0.00	0.0	0.00	0.00	0.0
41-00-3888	GAIN (LOSS) - IMET UNREAL	0.00	0.00	0.0	0.00	0.00	0.0
41-00-3930	BOND PROCEEDS	0.00	0.00	0.0	0.00	0.00	0.0
41-00-3940	BOND PREMIUM	0.00	0.00	0.0	0.00	0.00	0.0
41-00-3990	INTERFUND OPERATING TRANSFER	75,690.75	75,699.30	0.0	908,289.00	454,195.80	(49.9)
TOTAL REVENUES: REVENUES		75,837.67	75,816.51	0.0	910,052.00	454,768.87	(50.0)
ADMINISTRATION EXPENSES							
41-50-6305	FINANCIAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
41-50-8002	DEBT - PRINCIPAL	56,666.67	0.00	100.0	680,000.00	0.00	100.0
41-50-8003	DEBT - INTEREST	18,981.92	0.00	100.0	227,783.00	113,891.25	50.0
41-50-8004	FISCAL AGENT FEES	89.58	0.00	100.0	1,075.00	400.00	62.7
41-50-8007	PAYMENT TO ESCROW AGENT	0.00	0.00	0.0	0.00	0.00	0.0
TOTAL EXPENSES: ADMINISTRATION		75,738.17	0.00	100.0	908,858.00	114,291.25	87.4
TOTAL FUND REVENUES		75,837.67	75,816.51	0.0	910,052.00	454,768.87	(50.0)
TOTAL FUND EXPENSES		75,738.17	0.00	100.0	908,858.00	114,291.25	87.4
FUND SURPLUS (DEFICIT)		99.50	75,816.51	6097.5	1,194.00	340,477.62	8415.7

VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

FUND: WATERWORKS & SEWERAGE FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE
OPERATING REVENUES							
REVENUES							
50-00-3310	BLDNG PERMITS-METER REINSPCTNS	51.50	0.00	100.0	618.00	495.00	(19.9)
50-00-3530	WATER PENALTIES	2,442.92	2,395.00	(1.9)	29,315.00	13,318.81	(54.5)
50-00-3540	SEWER PENALTIES	2,245.08	2,291.60	2.0	26,941.00	12,629.13	(53.1)
50-00-3590	OTHER FINES	0.00	0.00	0.0	0.00	0.00	0.0
50-00-3610	WATER SALES	139,597.00	150,305.90	7.6	1,675,164.00	789,340.54	(52.8)
50-00-3620	SEWER SALES	125,081.83	130,211.90	4.1	1,500,982.00	701,529.09	(53.2)
50-00-3630	ADMINISTRATIVE FEE	0.00	0.00	0.0	0.00	0.00	0.0
50-00-3670	METER SALES	2,131.67	1,430.00	(32.9)	25,580.00	14,266.00	(44.2)
50-00-3761	REIMBURSEMENT	32.50	45.00	38.4	390.00	72,949.57	8605.0
50-00-3791	WATER - OTHER CHARGES	0.00	0.00	0.0	0.00	0.00	0.0
50-00-3792	SEWER - OTHER CHARGES	957.17	1,919.00	100.4	11,486.00	15,278.50	33.0
50-00-3810	INTEREST INCOME	2,491.58	74.13	(97.0)	29,899.00	625.08	(97.9)
50-00-3811	INTEREST INCOME - CD	0.00	1,632.41	100.0	0.00	10,681.62	100.0
50-00-3817	INTEREST INCOME - MUNI BONDS	0.00	396.06	100.0	0.00	3,207.07	100.0
50-00-3818	INTEREST INCOME - US AGENCY	0.00	0.00	0.0	0.00	0.00	0.0
50-00-3819	INTEREST INCOME - BND PROCEEDS	0.00	4.30	100.0	0.00	25.50	100.0
50-00-3820	RENTAL INCOME	505.08	490.76	(2.8)	6,061.00	2,944.56	(51.4)
50-00-3830	DONATIONS	0.00	0.00	0.0	0.00	0.00	0.0
50-00-3878	GAIN (LOSS) - AGENCY REALIZED	0.00	0.00	0.0	0.00	0.00	0.0
50-00-3879	GAIN (LOSS) - AGENCY UNREAL	0.00	0.00	0.0	0.00	0.00	0.0
50-00-3880	GAIN (LOSS) - MUNI BONDS REAL	0.00	0.00	0.0	0.00	0.00	0.0
50-00-3881	GAIN (LOSS) - MUNI BOND UNREAL	0.00	561.40	100.0	0.00	(1,414.70)	100.0
50-00-3888	GAIN (LOSS) - IMET	0.00	1,961.54	100.0	0.00	2,523.43	100.0
50-00-3890	MISCELLANEOUS INCOME	1,130.00	2,746.60	143.0	13,560.00	9,795.60	(27.7)
50-00-3930	LOAN/BOND PROCEEDS	0.00	0.00	0.0	0.00	0.00	0.0
TOTAL REVENUES: OPERATING REVENUES		276,666.33	296,465.60	7.1	3,319,996.00	1,648,194.80	(50.3)
CAPITAL REVENUES							
REVENUES							
50-01-3651	WATER TAP-ON FEES	7,700.17	5,964.96	(22.5)	92,402.00	50,123.66	(45.7)
50-01-3652	SEWER TAP-ON FEES	1,165.33	366.16	(68.5)	13,984.00	5,904.36	(57.7)
50-01-3761	REIMBURSEMENT	0.00	0.00	0.0	0.00	0.00	0.0
50-01-3791	FIRE SUPPRESSION TAP-ON FEES	966.83	0.00	100.0	11,602.00	8,701.50	(25.0)
50-01-3930	LOAN/BOND PROCEEDS	0.00	0.00	0.0	0.00	0.00	0.0
50-01-3990	INTERFUND TRANSFER	16,009.83	9,524.17	(40.5)	192,118.00	57,145.02	(70.2)
TOTAL REVENUES: CAPITAL REVENUES		25,842.16	15,855.29	(38.6)	310,106.00	121,874.54	(60.7)

INFORMATION TECHNOLOGY
 EXPENSES

VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

FUND: WATERWORKS & SEWERAGE FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARIANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARIANCE
INFORMATION TECHNOLOGY EXPENSES							
50-49-6307	I.S. SERVICES	2,469.83	0.00	100.0	29,638.00	16,043.69	45.8
50-49-6502	TELECOMMUNICATIONS	40.00	44.99	(12.4)	480.00	267.44	44.2
50-49-6613	GENERAL OFFICE SUPPLIES	3.33	0.00	100.0	40.00	0.00	100.0
TOTAL EXPENSES: INFORMATION TECHNOLOGY		2,513.16	44.99	98.2	30,158.00	16,311.13	45.9
ADMINISTRATION EXPENSES							
50-50-6101	SALARIES - REGULAR	9,526.08	13,248.71	(39.0)	114,313.00	60,679.18	46.9
50-50-6102	SALARIES - OVERTIME	0.00	0.00	0.0	0.00	0.00	0.0
50-50-6104	SALARIES-PART-TIME	1,910.08	2,370.66	(24.1)	22,921.00	11,935.06	47.9
50-50-6201	MEDICAL/DENTAL INSURANCE	1,973.83	1,710.27	13.3	23,686.00	10,622.36	55.1
50-50-6202	GROUP LIFE INSURANCE	11.50	10.80	6.0	138.00	64.80	53.0
50-50-6204	UNEMPLOYMENT COMPENSATION	9.50	0.00	100.0	114.00	0.00	100.0
50-50-6205	SOCIAL SECURITY CONTRIBUTIONS	852.67	1,069.21	(25.4)	10,232.00	5,231.05	48.8
50-50-6206	IMRF CONTRIBUTIONS	900.25	1,251.99	(39.0)	10,803.00	5,734.01	46.9
50-50-6208	TRAINING & MEMBERSHIPS	188.25	142.50	24.3	2,259.00	1,247.60	44.7
50-50-6301	LEGAL SERVICES	166.67	0.00	100.0	2,000.00	0.00	100.0
50-50-6302	AUDIT SERVICES	925.00	9,950.00	(975.6)	11,100.00	10,035.00	9.5
50-50-6305	FINANCIAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
50-50-6306	MEDICAL SERVICES	6.25	0.00	100.0	75.00	0.00	100.0
50-50-6307	I.S. SERVICES	682.25	213.67	68.6	8,187.00	7,436.44	9.1
50-50-6309	OTHER PROFESSIONAL SERVICES	1,723.17	1,447.55	15.9	20,678.00	8,053.06	61.0
50-50-6402	RENTAL	83.75	(75.75)	190.4	1,005.00	255.25	74.6
50-50-6403	REPAIR & MAINT. SERV-EQUIPMENT	123.33	5.00	95.9	1,480.00	790.86	46.5
50-50-6501	POSTAGE & DELIVERY	1,557.67	1,560.84	(0.2)	18,692.00	9,241.64	50.5
50-50-6502	TELECOMMUNICATIONS	170.25	196.78	(15.5)	2,043.00	670.24	67.1
50-50-6503	PUBLISHING	28.17	0.00	100.0	338.00	0.00	100.0
50-50-6504	PRINTING	64.33	0.00	100.0	772.00	175.00	77.3
50-50-6507	MILEAGE REIMBURSEMENT	17.33	37.23	(114.8)	208.00	111.49	46.4
50-50-6509	RECRUITMENT	0.00	0.00	0.0	0.00	25.00	100.0
50-50-6514	INSURANCE PREMIUMS	8,707.50	0.00	100.0	104,490.00	3,279.70	96.8
50-50-6518	BAD DEBT EXPENSE - PROC. FEE	0.00	0.00	0.0	0.00	0.00	0.0
50-50-6601	FUEL & LUBRICANTS	0.00	21.28	100.0	0.00	52.30	100.0
50-50-6603	SPECIALIZED SUPPLIES	0.00	0.00	0.0	0.00	0.00	0.0
50-50-6608	BOOKS & PUBLICATIONS	4.17	0.00	100.0	50.00	0.00	100.0
50-50-6613	GENERAL OFFICE SUPPLIES	124.00	20.89	83.1	1,488.00	564.63	62.0
50-50-7010	TRANSFER TO EQUIP. REPLACEMENT	9,759.83	9,524.17	2.4	117,118.00	57,145.02	51.2
50-50-7011	TRANSFER TO INFRA. REPLACEMENT	6,250.00	0.00	100.0	75,000.00	0.00	100.0
50-50-7510	DEPRECIATION EXPENSE	0.00	0.00	0.0	0.00	0.00	0.0
50-50-8002	DEBT - PRINCIPAL	53,329.75	40,583.41	23.9	639,957.00	461,320.77	27.9
50-50-8003	DEBT - INTEREST	13,732.50	54,516.55	(296.9)	164,790.00	129,621.82	21.3

VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

FUND: WATERWORKS & SEWERAGE FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARIANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARIANCE
ADMINISTRATION EXPENSES							
50-50-8004	FISCAL AGENT FEES	70.83	0.00	100.0	850.00	850.00	0.0
50-50-8005	AMORITIZATION-BOND ISSUE COSTS	0.00	0.00	0.0	0.00	0.00	0.0
50-50-9003	INTERFUND TRANSFERS	26,372.08	26,372.08	0.0	316,465.00	158,232.48	50.0
TOTAL EXPENSES: ADMINISTRATION		139,270.99	164,177.84	(17.8)	1,671,252.00	943,374.76	43.5
PW ADMINISTRATION EXPENSES							
50-59-6101	SALARIES - FULL-TIME	36,057.33	50,367.60	(39.6)	432,688.00	228,867.49	47.1
50-59-6102	SALARIES - OVERTIME	3,820.42	2,706.16	29.1	45,845.00	13,905.38	69.6
50-59-6104	SALARIES - PART-TIME	0.00	0.00	0.0	0.00	0.00	0.0
50-59-6105	SALARIES - SEASONAL	0.00	0.00	0.0	0.00	0.00	0.0
50-59-6201	MEDICAL/DENTAL INSURANCE	7,945.75	7,010.79	11.7	95,349.00	41,727.73	56.2
50-59-6202	GROUP LIFE INSURANCE	59.50	56.00	5.8	714.00	336.00	52.9
50-59-6204	UNEMPLOYMENT COMPENSATION	39.83	0.00	100.0	478.00	0.00	100.0
50-59-6205	SOCIAL SECURITY CONTRIBUTIONS	3,032.83	3,858.14	(27.2)	36,394.00	17,639.66	51.5
50-59-6206	IMRF CONTRIBUTIONS	3,768.42	5,015.48	(33.0)	45,221.00	22,920.34	49.3
50-59-6208	TRAINING & MEMBERSHIPS	633.33	530.00	16.3	7,600.00	2,446.92	67.8
50-59-6209	UNIFORM ALLOWANCE	166.67	108.00	35.2	2,000.00	1,231.45	38.4
50-59-6301	LEGAL SERVICES	25.00	0.00	100.0	300.00	60.00	80.0
50-59-6303	ENGINEERING SERVICES	250.00	0.00	100.0	3,000.00	0.00	100.0
50-59-6306	MEDICAL SERVICES	87.75	0.00	100.0	1,053.00	0.00	100.0
50-59-6307	I.S. SERVICES	29.17	0.00	100.0	350.00	0.00	100.0
50-59-6309	OTHER PROFESSIONAL SERVICES	227.08	0.00	100.0	2,725.00	3,612.75	(32.5)
50-59-6312	JULIE SERVICES	205.33	0.00	100.0	2,464.00	0.00	100.0
50-59-6313	SCADA SERVICES	3,166.67	0.00	100.0	38,000.00	330.00	99.1
50-59-6402	RENTAL	91.67	(34.78)	137.9	1,100.00	122.96	88.8
50-59-6403	REPAIR & MAINT. SERV-EQUIPMENT	403.17	398.64	1.1	4,838.00	1,974.74	59.1
50-59-6406	REPAIR & MAINT. SERV-BUILDINGS	1,099.50	463.51	57.8	13,194.00	5,048.22	61.7
50-59-6407	REPAIR & MAINT SERV-VEHICLES	1,250.00	1,888.96	(51.1)	15,000.00	4,405.19	70.6
50-59-6500	GENERAL EQUIPMENT	500.00	0.00	100.0	6,000.00	0.00	100.0
50-59-6501	POSTAGE & DELIVERY	425.92	0.00	100.0	5,111.00	1,840.32	63.9
50-59-6502	TELECOMMUNICATIONS	680.25	1,225.08	(80.0)	8,163.00	3,171.41	61.1
50-59-6503	PUBLISHING	0.00	0.00	0.0	0.00	0.00	0.0
50-59-6504	PRINTING	250.00	0.00	100.0	3,000.00	1,402.00	53.2
50-59-6507	MILEAGE REIMBURSEMENT	4.17	0.00	100.0	50.00	16.50	67.0
50-59-6508	RECEPTIONS & ENTERTAINMENT	10.42	0.00	100.0	125.00	92.11	26.3
50-59-6509	RECRUITMENT	0.00	0.00	0.0	0.00	0.00	0.0
50-59-6510	NATURAL GAS	0.00	0.00	0.0	0.00	0.00	0.0
50-59-6512	WATER & SEWER	47.92	54.16	(13.0)	575.00	400.80	30.3
50-59-6515	PUBLIC RELATIONS	20.83	0.00	100.0	250.00	0.00	100.0
50-59-6516	EMPLOYEE ACTIVITIES	20.83	0.00	100.0	250.00	0.00	100.0

VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

FUND: WATERWORKS & SEWERAGE FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARIANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARIANCE
PW ADMINISTRATION EXPENSES							
50-59-6601	FUELS & LUBRICANTS	4,256.67	5,232.84	(22.9)	51,080.00	14,013.05	72.5
50-59-6602	CUSTODIAL SUPPLIES	250.00	0.00	100.0	3,000.00	779.49	74.0
50-59-6603	SPECIALIZED SUPPLIES/TOOLS	416.67	1,645.14	(294.8)	5,000.00	3,243.45	35.1
50-59-6604	SAFETY SUPPLIES	208.33	0.00	100.0	2,500.00	768.13	69.2
50-59-6608	BOOKS & SUBSCRIPTIONS	83.33	0.00	100.0	1,000.00	0.00	100.0
50-59-6612	EQUIPMENT MAINTENANCE SUPPLIES	250.00	542.32	(116.9)	3,000.00	1,873.24	37.5
50-59-6613	GENERAL OFFICE SUPPLIES	75.00	138.22	(84.2)	900.00	270.90	69.9
50-59-6617	VEHICLE MAINT. SUPPLIES	1,333.33	413.68	68.9	16,000.00	3,814.77	76.1
50-59-7004	OFFICE EQUIPMENT & MACHINERY	0.00	0.00	0.0	0.00	0.00	0.0
TOTAL EXPENSES: PW ADMINISTRATION		71,193.09	81,619.94	(14.6)	854,317.00	376,315.00	55.9
WATER OPERATIONS EXPENSES							
50-60-6303	ENGINEERING SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
50-60-6309	OTHER PROFESSIONAL SERVICES	2,125.00	1,360.00	36.0	25,500.00	29,922.66	(17.3)
50-60-6311	IEPA WATER SAMPLING	833.33	1,504.40	(80.5)	10,000.00	4,816.40	51.8
50-60-6402	RENTAL	266.50	0.00	100.0	3,198.00	310.75	90.2
50-60-6403	REPAIR & MAINT. SERV-EQUIPMENT	1,008.33	0.00	100.0	12,100.00	285.97	97.6
50-60-6406	REPAIR & MAINT. SERV-BUILDING	333.33	920.00	(176.0)	4,000.00	7,235.82	(80.9)
50-60-6510	NATURAL GAS	91.67	61.50	32.9	1,100.00	498.08	54.7
50-60-6511	ELECTRICITY	16,650.00	13,420.29	19.4	199,800.00	66,168.66	66.8
50-60-6518	BAD DEBT EXPENSE - WATER	27.42	0.00	100.0	329.00	167.85	48.9
50-60-6603	SPECIALIZED SUPPLIES	7,460.83	9,979.22	(33.7)	89,530.00	46,490.96	48.0
50-60-6606	LANDSCAPING SUPPLIES	250.00	1,295.00	(418.0)	3,000.00	3,242.97	(8.1)
50-60-6607	CHEMICALS & LAB SUPPLIES	8,457.92	9,917.14	(17.2)	101,495.00	39,664.12	60.9
50-60-6610	TRAFFIC CONTROL SUPPLIES	83.33	0.00	100.0	1,000.00	0.00	100.0
50-60-6611	BUILDING MATERIALS & SUPPLIES	229.17	0.00	100.0	2,750.00	470.62	82.8
50-60-6612	EQUIPMENT PARTS	66.67	0.00	100.0	800.00	0.00	100.0
TOTAL EXPENSES: WATER OPERATIONS		37,883.50	38,457.55	(1.5)	454,602.00	199,274.86	56.1
SEWER OPERATIONS EXPENSES							
50-65-6309	OTHER PROFESSIONAL SERVICES	2,666.67	220.00	91.7	32,000.00	4,400.00	86.2
50-65-6402	RENTAL	91.33	596.52	(553.1)	1,096.00	596.52	45.5
50-65-6403	REPAIR & MAINT. SERV-EQUIPMENT	1,291.67	243.97	81.1	15,500.00	243.97	98.4
50-65-6406	REPAIR & MAINT. SERV-BUILDING	83.33	0.00	100.0	1,000.00	3,402.85	(240.2)
50-65-6510	NATURAL GAS	177.08	138.77	21.6	2,125.00	696.17	67.2
50-65-6511	ELECTRICITY	1,431.00	983.95	31.2	17,172.00	4,033.03	76.5
50-65-6518	BAD DEBT EXPENSE - SEWER	23.83	0.00	100.0	286.00	156.01	45.4

VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

FUND: WATERWORKS & SEWERAGE FUND

ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARIANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARIANCE
SEWER OPERATIONS EXPENSES							
50-65-6603	SPECIALIZED SUPPLIES/TOOLS	833.33	980.00	(17.6)	10,000.00	980.00	90.2
50-65-6607	CHEMICALS & LAB SUPPLIES	250.00	49.67	80.1	3,000.00	144.99	95.1
50-65-6611	BUILDING MATERIALS & SUPPLIES	41.67	0.00	100.0	500.00	0.00	100.0
50-65-6612	EQUIPMENT PARTS	250.00	0.00	100.0	3,000.00	0.00	100.0
TOTAL EXPENSES: SEWER OPERATIONS		7,139.91	3,212.88	55.0	85,679.00	14,653.54	82.9
WATER CAPITAL EXPENSES							
50-71-6301	LEGAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
50-71-6303	ENGINEERING SERVICES	6,025.00	775.00	87.1	72,300.00	775.00	98.9
50-71-6305	FINANCIAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
50-71-6309	OTHER PROFESSIONAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
50-71-7001	LAND ACQUISITION	0.00	0.00	0.0	0.00	0.00	0.0
50-71-7003	BUILDING IMPROVEMENTS	0.00	0.00	0.0	0.00	0.00	0.0
50-71-7004	OFFICE MACHINERY & EQUIPMENT	0.00	0.00	0.0	0.00	0.00	0.0
50-71-7006	AUTOMOTIVE EQUIPMENT	0.00	0.00	0.0	0.00	0.00	0.0
50-71-7011	WATER SYSTEM IMPROVEMENTS	45,673.75	0.00	100.0	548,085.00	0.00	100.0
50-71-8002	DEBT - PRINCIPAL	3,750.00	0.00	100.0	45,000.00	45,000.00	0.0
50-71-8003	DEBT - INTEREST	7,960.42	47,312.51	(494.3)	95,525.00	95,525.02	0.0
TOTAL EXPENSES: WATER CAPITAL		63,409.17	48,087.51	24.1	760,910.00	141,300.02	81.4
SEWER CAPITAL EXPENSES							
50-72-6303	ENGINEERING SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
50-72-6309	OTHER PROFESSIONAL SERVICES	0.00	0.00	0.0	0.00	0.00	0.0
50-72-7001	LAND	0.00	0.00	0.0	0.00	0.00	0.0
50-72-7006	AUTOMOTIVE EQUIPMENT	0.00	0.00	0.0	0.00	0.00	0.0
50-72-7007	OTHER EQUIPMENT & MACHINERY	0.00	0.00	0.0	0.00	0.00	0.0
50-72-7012	SANITARY SEWER SYSTEM IMPROV.	0.00	0.00	0.0	0.00	0.00	0.0
50-72-8002	DEBT - PRINCIPAL	0.00	0.00	0.0	0.00	0.00	0.0
50-72-8003	DEBT - INTEREST	0.00	0.00	0.0	0.00	0.00	0.0
TOTAL EXPENSES: SEWER CAPITAL		0.00	0.00	0.0	0.00	0.00	0.0
TOTAL FUND REVENUES		302,508.49	312,320.89	3.2	3,630,102.00	1,770,069.34	(51.2)
TOTAL FUND EXPENSES		321,409.82	335,600.71	(4.4)	3,856,918.00	1,691,229.31	56.1
FUND SURPLUS (DEFICIT)		(18,901.33)	(23,279.82)	23.1	(226,816.00)	78,840.03	(134.7)

VILLAGE OF SUGAR GROVE
 DETAILED REVENUE & EXPENSE REPORT
 BUDGET VS. ACTUAL WITH PERCENT VARIANCE
 FOR 6 PERIODS ENDING OCTOBER 31, 2014

		FUND: REFUSE FUND						
ACCOUNT NUMBER	DESCRIPTION	OCTOBER BUDGET	OCTOBER ACTUAL	% VARI- ANCE	FISCAL YEAR BUDGET	FISCAL YEAR-TO-DATE ACTUAL	% VARI- ANCE	

REVENUES								
57-00-3650	REFUSE PENALTIES	1,227.83	1,220.14	(0.6)	14,734.00	7,253.47	(50.7)	
57-00-3690	REFUSE CHARGES	68,211.00	68,442.00	0.3	818,532.00	406,359.75	(50.3)	
57-00-3761	REIMBURSEMENT	0.00	0.00	0.0	0.00	0.00	0.0	
57-00-3810	INTEREST INCOME	6.25	6.04	(3.3)	75.00	33.93	(54.7)	

TOTAL REVENUES: REVENUES		69,445.08	69,668.18	0.3	833,341.00	413,647.15	(50.3)	
ADMINISTRATION EXPENSES								
57-50-6513	REFUSE & RECYCLING COLLECTION	64,684.00	64,926.57	(0.3)	776,208.00	317,791.78	59.0	
57-50-6518	BAD DEBT EXPENSE - GARBAGE	6.83	0.00	100.0	82.00	126.75	(54.5)	
57-50-9003	INTERFUND TRANSFER	3,125.00	3,125.00	0.0	37,500.00	18,750.00	50.0	

TOTAL EXPENSES: ADMINISTRATION		67,815.83	68,051.57	(0.3)	813,790.00	336,668.53	58.6	
TOTAL FUND REVENUES		69,445.08	69,668.18	0.3	833,341.00	413,647.15	(50.3)	
TOTAL FUND EXPENSES		67,815.83	68,051.57	(0.3)	813,790.00	336,668.53	58.6	
FUND SURPLUS (DEFICIT)		1,629.25	1,616.61	(0.7)	19,551.00	76,978.62	293.7	

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: WALTER MAGDZIARZ, COMMUNITY DEVELOPMENT DIRECTOR
MIKE FERENCAK, VILLAGE PLANNER
SUBJECT: ORDINANCE: HANNAFORD FARM ANNEXATION AGREEMENT
AMENDMENT FOR LOT 42 (1759 HUNTER'S RIDGE LANE)
AGENDA: NOVEMBER 18, 2014 REGULAR VILLAGE BOARD MEETING
CONSENT AGENDA
DATE: NOVEMBER 14, 2014

ISSUE

Shall the Village Board approve an Annexation Agreement Amendment for Hannaford Farm Lot 42 (1759 Hunter's Ridge Lane).

DISCUSSION

This item was not reviewed at a Committee of the Whole meeting as it is considered routine.

The Hannaford Farm annexation agreement was approved on May 25, 2004. On March 20, 2007 the annexation agreement was amended for a requirement relating to improvement of the intersection of Bliss and Merrill Roads. The March 20, 2007 amendment also incorporated an October 3, 2006 amendment relating to architectural requirements that was approved by ordinance but not formally drafted at that date. And on September 16, 2008 the annexation agreement was amended for the funding mechanics of the Bliss and Merrill Road intersection, removing the permit limit prior to those improvements taking place, and deferring Capital Improvement Fees.

Due to the failure of the initial developer/owner of Hannaford Farm to complete the required public improvements and the failure of the bank backing the associated Letter of Credit to provide the funds needed to complete the public improvements, the responsibility to complete these improvements falls to the successor/s (individual lot owners).

In 2009, the Village determined that each successor lot owner would be required to pay a fee to cover their portion of the overall outstanding public improvement costs. This fee and associated changes to the annexation agreement are made a part of an

annexation agreement amendment that needs to be processed for each lot. An amendment needs to be completed for each lot for issuance of a building permit.

Amendments approved to date:

May 18, 2010:	Lot 104,	1011 Redbud Lane
June 1, 2010:	Lot 29,	1098 Chestnut Hill Lane
June 15, 2010:	Lot 35,	1014 Chestnut Hill Lane
November 1, 2011:	Lot 53,	1800 Hunters Ridge Lane
January 7, 2014:	Lot 62,	835 Wheatfield Avenue
February 4, 2014:	Lot 28,	494 Willow Street
March 4, 2014:	Lot 99,	1091 Redbud Lane

Staff recommends approval of the annexation agreement amendment for Hannaford Farm Lot 42 (1759 Hunter's Ridge Lane).

ATTACHMENTS

1. Ordinance Authorizing Execution of an Annexation Agreement Amendment
2. Irrevocable Offer / Annexation Agreement signed October 14, 2014

COSTS

There are publication and Village Attorney costs associated with this project that the Village will pay.

RECOMMENDATION

That the Village Board approve an Ordinance. 20141118A, Authorizing Execution of an Annexation Agreement Amendment for Hannaford Farm Lot 42 (1759 Hunter's Ridge Lane).



**VILLAGE OF SUGAR GROVE
KANE COUNTY, ILLINOIS**

ORDINANCE NO. 2014-1118A

**AN ORDINANCE AUTHORIZING EXECUTION OF AN AMENDED ANNEXATION AGREEMENT FOR
HANNAFORD FARM - LOT 42
IN THE VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS
(1759 HUNTER'S RIDGE LANE)**

Adopted by the
Board of Trustees and President
of the Village of Sugar Grove
this 18th day of November, 2014.

Published in Pamphlet Form
by authority of the Board of Trustees
of the Village of Sugar Grove, Kane County,
Illinois, this 18th day of November, 2014.

VILLAGE OF SUGAR GROVE

ORDINANCE NO. 2014-1118A

**AN ORDINANCE AUTHORIZING EXECUTION OF AN AMENDED ANNEXATION AGREEMENT FOR
HANNAFORD FARM – LOT 42
IN THE VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS
(1759 HUNTER’S RIDGE LANE)**

BE IT ORDAINED by the Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

WHEREAS, the Village of Sugar Grove is not a home rule municipality within Article VII, Section 6A of the Illinois Constitution and, pursuant to the powers granted to it under 65 ILCS 5/1-8 *et seq.*; and,

WHEREAS, Midwest Custom Homes, Inc. has petitioned for an amendment to the Annexation Agreement for a portion of the Hannaford Farm development: Lot 42 in Hannaford Farm Subdivision Unit 1, 1759 Hunter’s Ridge Lane, PIN 14-04-452-002; and,

WHEREAS, the corporate authorities of the Village have held a public hearing on the proposed amended agreement, similar in form and substance to the Agreement attached hereto, pursuant to notice by publication in a newspaper of general circulation in the Village being not less than 15 days nor more than 30 days prior to said public hearing; and,

WHEREAS, the corporate authorities have approved this Agreement; and,

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

SECTION ONE: AMENDED ANNEXATION AGREEMENT

That the Amended Annexation Agreement entered into by and between the VILLAGE OF SUGAR GROVE, an Illinois municipal corporation (the "VILLAGE"); and McCue Builders Inc., (the "LOT OWNER" and/or "LOT DEVELOPER"); setting forth terms and conditions relating to the territory described in **Exhibit A** is hereby incorporated by reference in this ordinance as if fully set forth in the body hereof, a copy of which is attached hereto as **Exhibit B**. Said **Exhibit B** is hereby approved and the Village President and Clerk are hereby authorized to execute said amended agreement on behalf of the Village of Sugar Grove.

SECTION TWO: RECORDING AND NOTICE

The Village Clerk is hereby authorized to record this ordinance along with all exhibits in the Office of the Recorder of Kane County.

SECTION THREE: GENERAL PROVISIONS

REPEALER: All ordinances or portions thereof in conflict with this annexation ordinance are hereby repealed.

SEVERABILITY: Should any provision of this ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and effect the same as if the invalid provision had not been a part of this ordinance.

EFFECTIVE DATE: This ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED AND APPROVED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois this 18th day of November, 2014.

President of the Board of Trustees
of the Village of Sugar Grove, Kane
County, Illinois

ATTEST: _____
Clerk, Village of Sugar Grove

	Aye	Nay	Absent	Abstain
Trustee Robert E. Bohler	___	___	___	___
Trustee Kevin M. Geary	___	___	___	___
Trustee Sean Herron	___	___	___	___
Trustee Mari Johnson	___	___	___	___
Trustee Rick Montalto	___	___	___	___
Trustee David Paluch	___	___	___	___
President P. Sean Michels	___	___	___	___

Exhibit A

(Legal Description)

LOT 42 IN HANNAFORD FARM SUBDIVISION UNIT 1, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 4 AND THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 38 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 14, 2004 AS DOCUMENT NO. 2004K159382, IN KANE COUNTY, ILLINOIS.

Commonly known as: 1759 Hunter's Ridge Lane
PIN: 14-04-452-002

Exhibit B

(Amended Annexation Agreement on following pages)

IRREVOCABLE OFFER

DATE: OCTOBER 14th, 2014

The undersigned, Midwest Custom Homes, Inc. has executed the Attached Amendment to Annexation Agreement for LOT 42 (Exhibit A) of the Hannaford Farms subdivision in the Village of Sugar Grove, Illinois. In consideration of the Village's willingness to accept payment of certain fees and issue a building permit prior to Exhibit A being formally approved by both parties, we hereby make our offer (evidenced by execution of the Exhibit A) to enter into the aforementioned Amendment irrevocable until the Village Board either formally accepts or formally denies our offer of the aforementioned Amendment.

Printed Names: Midwest Custom Homes, Inc. Robert Rasmussen

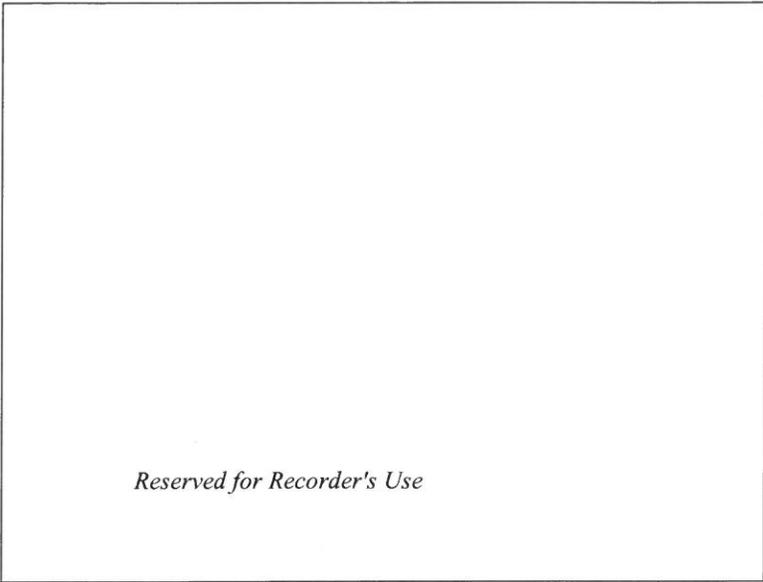
Signatures:  _____

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

Prepared by:

*Steven A. Andersson
Mickey, Wilson, Weiler, Renzi & Andersson,
P.C.
2111 Plum Street, Suite 201
Aurora, IL 60506*

*Return to after recording:
Village Clerk
Village of Sugar Grove
10 Municipal Drive
Sugar Grove, IL 60554*



Lot by Lot Amendment to Annexation Agreement

(Hannaford Farm Subdivision Lot 42)

This Amendment to Annexation Agreement (the "Amendment"), is made and entered into this 10th day of October 2014, by and between the VILLAGE OF SUGAR GROVE, a municipal corporation (the "VILLAGE"); and MIDWEST CUSTOM HOMES, INC, P.O. BOX 3970, ST CHARLES, IL 60774, owner of lot 42 as successor Developer and Owner of said lot (the "LOT OWNER" and/or "LOT DEVELOPER") individually referred to as "Party" and collectively referred to as "Parties."

WITNESSETH

WHEREAS, LOT OWNER owns fee simple interest to the property which is legally described in **Exhibit "AA"**, attached hereto, consisting of lot 42, (the "LOT"), and which was the subject of an Annexation Agreement recorded on July 8th, 2004 in Kane County as Document number 2004K090340 (and subsequently amended); and,

WHEREAS, it is the desire of LOT OWNER and LOT DEVELOPER to amend the annexation agreement for this portion of the original development (pursuant to Section 16A) only to address changes in circumstances since the time of the original agreement was passed; and,

WHEREAS, due to the failure of the initial developer and owner of the property to complete the required public improvements, and the failure of the financial institution backing the Letters of Credit to provide the funds needed to completed these same improvements it falls to the successor LOT DEVELOPER/LOT OWNER to complete said public improvements pursuant to Section 16A and 18 of the original Annexation Agreement for the Property; and,

WHEREAS, in consideration of the negotiations between the Parties, the Parties have agreed that if the LOT OWNER/LOT DEVELOPER complies with all obligations of the annexation

agreement and pays to the Village an additional impact fee (as noted herein) to address this LOT OWNER's obligations for the Public Improvements and related improvements and expenses of development, the Village will allow the LOT OWNER to develop this Lot.

WHEREAS, all notices required by law relating to amending the original annexation agreement of the Property to the VILLAGE have been given to the persons or entities entitled to such notice pursuant to the applicable provisions of the Illinois Compiled Statutes; and,

WHEREAS, the Corporate Authorities of the VILLAGE have duly affixed and completed the time for a public hearing on this Amendment and pursuant to legal notice have held (or will have held prior to execution) such hearing thereon all as required by the provisions of the Illinois Compiled Statutes; and,

WHEREAS, in accordance with the powers granted to the VILLAGE by the provisions of 65 ILCS 5/11-15.1-1 through 15.1-5, inclusive, relating to Annexation Agreements, the parties hereto wish to enter into a binding Amendment to Annexation Agreement and to provide for various other matters related directly or indirectly to the annexation of the LOT as authorized by the provisions of said statutes; and,

NOW, THEREFORE, in consideration of the mutual covenants, agreements and conditions herein contained, and by authority of and in accordance with the aforesaid statutes of the State of Illinois, the parties agree as follows:

1. SECTION 24 CREATED.

Section 24 is hereby created to read as follows:

Prior to this amendment of the annexation agreement for this property, the LOT OWNER/LOT DEVELOPER was responsible for various improvements and related expenses listed on **Exhibit BB**. In lieu of completion of said items listed on **Exhibit BB**, the LOT OWNER/LOT DEVELOPER shall pay, at issuance of the building permit the amount of Fifteen thousand, five hundred dollars (\$15,500) (subject to the next paragraph of this Section 24), in satisfaction of this LOT's obligation for the items listed on **Exhibit BB**. LOT OWNER/LOT DEVELOPER shall otherwise comply with all remaining obligations of the Annexation Agreement and development ordinances of the Village. All remaining sections of the Annexation Agreement (and previous amendments, if applicable to this LOT) shall remain in full force and effect.

Until paid, the above referenced fee may be changed by the VILLAGE at its discretion as to amount and timing by adoption of a motion or resolution by the Village Board of Trustees. Said adjusted fee shall be effective 30 days after passage of said motion or resolution.

2. **SECTION 25 CREATED.**

Section 25 is hereby created to read as follows:

The Parties acknowledge and agree that the terms and conditions of this Amendment, including the payment of new fees, have been reached through a process of good faith negotiation, both by Parties and through counsel, and represent terms and conditions that are deemed by the Parties to be fair, reasonable, acceptable and contractually binding upon each of them and not affecting any other lot or owner other than the LOT, LOT DEVELOPER and LOT OWNER herein and that the VILLAGE is free to negotiate additional amendments (with the same or different terms) with other lot owners without affecting in any way, the validity or enforceability of this Amendment and Agreement. Further this Amendment shall not be construed to benefit any third party, nor act as a release of any other owner, developer or surety's obligations under the original annexation agreement, any amendments thereto, the ordinances of the Village, the Letters of Credit previously posted, the liability of the issuing bank(s) or the FDIC in its action relative to said sureties.

By entering into this agreement, the LOT OWNER/LOT DEVELOPER (and its successors and assigns) hereby waives and releases any and all claims against the VILLAGE, its officers, agents, consultants, and assigns for any and all claims or damages of any type or character, including the costs of defending any such claims or damages, (including reasonable attorney's fees for attorneys to be chosen at the discretion of the VILLAGE) as a result of the actions of the VILLAGE in filing lis pendens and notices of breach, denial of building permits or other actions taken by the VILLAGE to insure the cure of the breach of the Annexation Agreement.

2. **SECTION 26 CREATED.**

Section 26 is hereby created to read as follows:

The LOT OWNER and LOT DEVELOPER agree that prior to issuance of a building permit they shall execute and have recorded upon their LOT (and have their LOT subjected to said covenants) the covenants attached hereto as **Exhibit CC**.

3. **SECTION 27 CREATED.**

Section 27 is hereby created to read as follows:

The LOT OWNER/LOT DEVELOPER agree as condition of the issuance of the building permit and of this Amendment that LOT OWNER/LOT DEVELOPER shall install at its own expense, the required sidewalk and parkway tree requirements for the LOT in question. To the extent that said sidewalk and/or parkway tree already exist for said LOT, should the LOT OWNER/LOT DEVELOPER damage said sidewalk or parkway tree, it shall be responsible for repair and/or replacement of same. The LOT OWNER/LOT DEVELOPER agree as condition of the issuance of the building permit, and of this Amendment, that it shall also be responsible for insuring that the water service connections, sanitary service connections function to the Village standards (as determined by the Village Engineer) for said LOT and that the LOT OWNER/LOT DEVELOPER shall also be responsible for any and all parkway restoration for said LOT. LOT OWNER/LOT

DEVELOPER shall at the time of issuance of the Building permit for said LOT, post a \$5,000.00 cash escrow for any damage to public improvements occurring during construction. Said escrow, if not used, shall be returned (without interest) to LOT OWNER/LOT DEVELOPER upon issuance of the final certificate of occupancy for said LOT.

4. REMAINDER OF AGREEMENT UNAFFECTED; AMENDMENT INTEGRATED IN AGREEMENT, TERM.

The Parties hereby agree and acknowledge that the remaining provisions of the original annexation agreement and previous amendments which are not referenced or amended by this Amendment shall remain in effect for the term of the Agreement. For purposes of construing the provisions of the Agreement, the Parties agree that this Amendment shall be fully integrated into the Agreement from and after its execution by the Parties. This Amendment shall be binding upon and inure to the benefit of the parties hereto, their successors and assigns including, but not limited to, successor owner of record, successor developers, lessees and successor lessees, and upon any successor municipal authority of the VILLAGE and successor municipalities for a period of twenty (20) years from the later of the date of execution hereof and the date of adoption of the ordinances pursuant hereto.

IN WITNESS WHEREOF, the parties have executed this Annexation Agreement the day and year first above written.

**VILLAGE:
THE VILLAGE OF SUGAR GROVE**

By: _____
Village President P. Sean Michels

Attest: _____
Village Clerk Cynthia L. Galbreath

STATE OF ILLINOIS)
) SS
COUNTY OF)

I, the undersigned, a Notary Public in and for the County and State aforesaid, do hereby certify that P. Sean Michels and Cynthia Galbreath, personally known to me to be the Village President and Village Clerk, respectively, of the Village of Sugar Grove, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledge that as such Village President and Village Clerk, they signed and delivered the said instrument as President and Village Clerk caused the corporate seal of said Village to be affixed thereto, pursuant to authority, given by the Village of Sugar Grove Board of

Trustees as the free and voluntary act and deed of said Village for the uses and purposes set forth.

Given under my hand and official seal, this ~~xxxx~~ ^{18th} day of ~~xxxxxxx~~ ^{November} ~~xxxx~~ ^{October} 2014

Notary Public

OWNER: LOT 42 NAME: MIDWEST CUSTOM HOMES, INC, P.O. BOX
3970, ST CHARLES, IL 60774.

By: Robert Rasmussen

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, the undersigned, a Notary Public in and for the County and State aforesaid, do hereby certify that Robert Rasmussen and _____, personally known to me to be the owner(s) of Lot 42 and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledge that as such they signed and delivered the said instrument as their free and voluntary act for the uses and purposes set forth.

Given under my hand and official seal, this 14th day of October, 2014.

Mary M. Moore

Notary Public



LIST OF EXHIBITS

- | | |
|------------|---|
| Exhibit AA | Legal Description of Lot |
| Exhibit BB | List of Public Improvements being addressed for this Lot only by payment of an additional fee |
| Exhibit CC | Covenants to be recorded against Lot |

EXHIBIT BB

Hannaford Farm

The improvements include some grading to accommodate the overland flow route, sanitary sewer manhole repairs and adjustments, valve vault and fire hydrant repairs and adjustments, storm sewer and structure repairs, adjustments and installation, curb and gutter repairs, pavement patching and replacement as required, surface course installation on roadways of the internal subdivision and Denny Road, minor sidewalk repairs, signage repairs and replacement, streetlight repairs, landscaping, minor restoration within the right of way adjacent to common areas, bike path repairs, additional bike path installation and replacement along Wheatfield and Redbud, soil erosion control necessary to complete these improvements, record drawing preparation, and fees associated with engineering, attorney, and snowplowing for the Hannaford Farm subdivision.

EXHIBIT CC

Conditions Covenants and Restrictions (CCR's)
recorded as document number 2011K026408
in the Kane County Recorder's Office

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: PATRICK J. ROLLINS, CHIEF OF POLICE
SUBJECT: ORDINANCE: AUTHORIZING THE REDUCTION OF SPEED LIMIT ON DENNY ROAD.
AGENDA: NOVEMBER 18, 2014 BOARD MEETING
DATE: NOVEMBER 13, 2014

ISSUE

Should the Village amend the Village Code, Section 6-2-2, reducing the speed limit on Denny Road.

DISCUSSION

The Village of Sugar Grove Police Department has received citizen concerns regarding speeding autos on Denny Rd. Directed traffic patrols were instituted and officers spent time out on Denny Rd. monitoring traffic, speed, and ingress/egress onto Denny from the arterial roads. In addition, the Speed Trailer was deployed for many weeks over the eight month observation. Speed on Denny from Bliss Rd to Norris Rd is currently posted in the Village portions at 45mph. Denny is heavily traveled all day long with cars going into the adjacent subdivision and as well as a cut through over to Norris Rd. The Road is abutted with residences for most of the roadway with a small section being farmed.

Three access roads off of Denny include Merrill New Rd, Blackwalnut Drive, and Pinecrest Drive which lead into the subdivisions of Windstone and Blackwalnut respectively. In addition, Walnut Woods and Prestbury subdivision residents traverse down Denny onto Norris to get to and from their residences. All of these immediate subdivision roads off of Denny Rd are posted at 30mph. Where Denny makes an abrupt corner at Norris Rd, there is a Cautionary Speed Limit Sign posted at 10mph with all of Norris Rd posted at 30mph. The terrain on Denny where the three roads intersect can be tricky to traverse for some motorists as not being able to see cars come up the over the hills. In addition, vehicles traveling at or over the 45mph posted speed limit is not in the best interest of traffic safety where the road abruptly changes to Norris.

As more residences are being built off of Denny and the current traffic volume continues, supporting resident concerns to lower the speed limit on Denny down to

40mph is in the best interest of the Village. (The main arterial road, Bliss Rd road leading to Denny is posted from Rt. 47 to almost Denny at a lower speed of 40mph.)

COST

Anticipated costs for replacing two existing 45mph signs with two 40mph signs is under \$130.

RECOMMENDATION

That the Village Board approve Ordinance #20141118B, Amending Village Code 6-2-2.



**VILLAGE OF SUGAR GROVE
KANE COUNTY, ILLINOIS**

Ordinance NO. 20141118B

**AN ORDINANCE AMENDING THE VILLAGE CODE OF ORDINANCES SECTION 6-2-2
FOR THE VILLAGE OF SUGAR GROVE,
KANE COUNTY, ILLINOIS
(SPEED LIMIT MAXIMUM ON CERTAIN STREETS)**

Adopted by the
Board of Trustees and President
of the Village of Sugar Grove
this 18th day of November 2014.

Published in Pamphlet Form
by authority of the Board of Trustees
of the Village of Sugar Grove, Kane County,
Illinois, this 18th day of November, 2014.

ORDINANCE NO. 20141118B

**AN ORDINANCE AMENDING THE VILLAGE CODE OF ORDINANCES SECTION 6-2-2
FOR THE VILLAGE OF SUGAR GROVE,
KANE COUNTY, ILLINOIS
(SPEED LIMIT MAXIMUM ON CERTAIN STREETS)**

BE IT ORDAINED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows;

WHEREAS, the Village of Sugar Grove is not a home rule municipality within Article VII, Section 6A of the Illinois Constitution and, pursuant to the powers granted to it under 65 ILCS 5/1-1 *et seq.*; and,

WHEREAS, the Village wishes to amend Section 6-2-2 of the Village of Sugar Grove Code of Ordinances to establishing maximum speed limits on Village streets;

NOW THEREFORE BE IT ORDAINED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows;

SECTION ONE: Amendment to Section 6-2-2

The Village Code of Ordinances Section 6-2-2 is hereby amended to read as follows:

6-2-2: SPEED LIMITS:

NAME OF STREET OR HIGHWAY	EXACT LIMITS OF ZONE		MAXIMUM SPEED LIMITS
	FROM	TO	
<i>Denny Road</i>	<i>Bliss Rd</i>	<i>Pinecrest Dr.</i>	<i>40mph</i>
Dugan Road	US 30	South to 235 ft. S. Fay's Lane	40 mph
Hankes Road	Illinois 56	1600 ft. West of Golfview Lane	45 mph
Kedeka Road	.45 mi. East of Illinois 47	.51 mi. East of Illinois 47	35 mph
	.75 mi. East of Illinois 47	Bliss Road	35 mph
Heartland Drive (fka – Stayner Road)	Waubensee Drive (fka) Lindsey Road	Wheeler Road	40 mph
Wheeler Road	Illinois 47	600 ft. W. Heartland Drive	40 mph
	600 ft. W. Heartland Drive	1600 ft. W. Heartland Drive	45 mph

SECTION TWO: GENERAL PROVISIONS

REPEALER: All ordinances or portions thereof in conflict with this ordinance are hereby repealed.

SEVERABILITY: Should any provision of this Ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and effect the same as if the invalid provision had not been a part of this Ordinance.

EFFECTIVE DATE: This Ordinance shall be in full force and effect on and after its approval, passage and publication in pamphlet form as provided by law.

PASSED AND APPROVED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, this 18th day of November, 2014.

P. Sean Michels
President of the Board of Trustees
of the Village of Sugar Grove, Kane
County, Illinois

	Aye	Nay	Absent
Trustee Bohler	_____	_____	_____
Trustee Geary	_____	_____	_____
Trustee Montalto	_____	_____	_____
Trustee Johnson	_____	_____	_____
Trustee Herron	_____	_____	_____
Trustee Paluch	_____	_____	_____

ATTEST: _____
Cynthia L. Galbreath
Clerk, Village of Sugar Grove

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: WALTER MAGDZIARZ, COMMUNITY DEVELOPMENT DIRECTOR
SUBJECT: RESOLUTION: AUTHORIZING EXECUTION OF A LEASE AGREEMENT
BETWEEN VILLAGE AND SPRINTCOM, INC.
ORDINANCE: APPROVING A SPECIAL USE FOR A COMMUNICATIONS
ANTENNA ON VILLAGE PROPERTY AT 75 RAILROAD STREET
AGENDA: NOVEMBER 18, 2014 REGULAR MEETING
DATE: NOVEMBER 14, 2014

ISSUE

Shall the Village Board authorize execution of a lease agreement with SprintCom, Inc., and shall the Village Board consider a request for Special Use to allow the addition of cellular communications antennas and equipment to an existing water tower at 75 Railroad Street.

DISCUSSION

The wireless communication service that was under lease on the Village's water tower at 75 Railroad Street no longer needed the facility and removed their equipment and restored the property as required under the terms of the lease agreement. SprintCom, Inc. determined that they need to use the same water tower for their equipment in order to provide service for their customers in the area. Village staff and Village Attorney negotiated a lease that addresses Village concerns, issues and objectives.

In a separate but related action, SprintCom, Inc. requested a Special Use in order to establish their facilities on the Village property located at 75 Railroad Street. Sprint will erect their antenna atop the water tower and will have a small equipment building at the base of the tower similar to what US Cellular had done. The new array at the top of the tower that would raise the height of the overall structure.

The Plan Commission held a public hearing on September 17, 2014. No objectors were present. The Plan Commission recommended approval (6-0) of the Special Use subject to the conditions in the staff report. Before a building permit will be issued, the plans will be reviewed by Municipal Wireless Solutions, a Village consultant that specializes in reviewing the structural and other particular factors associated with this type of equipment and installation.

Additional information, including staff's responses to the Special Use standards, can be found in the Plan Commission's staff report (attached). Before a building permit will be issued, the plans will be reviewed by Municipal Wireless Solutions, a consultant that specializes in reviewing the structural and other particular factors associated with this type of equipment and installation.

ATTACHMENTS

The following items are attached for your information:

1. Resolution authorizing execution of a lease agreement between the Village and SprintCom, Inc., and lease agreement
2. Staff Report to the September 17, 2014 Plan Commission
3. Ordinance 2014-1118C Granting a Special Use for a Communication Antenna on Village Property at 75 Railroad Street
4. Plan set last revised October 10, 2014

RECOMMENDATION

The Board should approve the Resolution authorizing execution of a lease agreement between Village and SprintCom, Inc., subject to staff negotiation of the monthly lease rate.

Provided the Board approves the lease agreement, the Village Board also should approve Ordinance 2014-1118C Granting a Special Use to property at 75 Railroad Street.

SITE AGREEMENT

Site Name: Sugar Grove

Sugar Site ID #: CH51XC435

This Site Agreement ("Agreement") is entered into as of _____ by SprintCom, Inc., a Kansas corporation ("Sprint" or "Tenant") and Village of Sugar Grove, a Municipal Corporation ("Owner"). Owner acknowledges receiving One Dollar (\$1.00) and other sufficient consideration for entering into this Agreement.

1. Premises and Use. Owner owns the property described on **Exhibit A** attached ("Owner's Property"). Subject to the provisions of Section 2 below regarding the Due Diligence Period, Owner leases to Sprint the site (consisting of a portion of Owner's Property) described below [**Check all appropriate boxes**]:

- Land consisting of approximately 12 x 20 square feet for construction of:
 - shelters and/or base station equipment and
 - antenna support structure;
- Building interior space consisting of approximately _____ square feet for placement of shelters and/or base station equipment;
- Building exterior space consisting of approximately _____ square feet for placement of shelters and/or base station equipment;
- Building exterior space for attachment of antennas;
- Tower space at the 168 foot level on the tower for attachment of antennas;

generally in the location(s) shown on **Exhibit B** attached, as well as riser, conduit and other space required for cable runs to connect its equipment and antennas, and together with all necessary non-exclusive easements for vehicular and pedestrian access thereto, for placement of an underground grounding system, and for access to the appropriate source of electric, telephone and other utilities, in the discretion of Sprint (the "Site"). The Site may be used by Sprint (and/or any of its affiliated entities) for the purpose of installing, removing, replacing, modifying, maintaining and operating, at its expense, communications service facilities, including, without limitation, antennas and microwave dishes, air conditioned equipment shelters and/or base station equipment, cable, wiring, power sources (including permanent generators and fuel storage tanks), related equipment and structures and, if applicable to the Site, an antenna support structure (the "Facilities"). All of the Facilities will remain Sprint's personal property and are not fixtures. Any visual or textual representation of the Facilities on **Exhibit B** is illustrative only, and does not limit the rights of Sprint as provided for in this Agreement. Sprint will use the Site in a manner which will not unreasonably disturb the occupancy of Owner's other tenants, if any. Sprint will have access to the Site and the Facilities 24 hours per day, 7 days per week, but shall provide at least twenty-four (24) hours' notice to Owner of its intent to access the site. Sprint shall be responsible for the costs and expenses associated with its installation of the Facilities described herein. All installations shall be completed in a workmanlike and professional manner. The installation of the Facilities described herein shall be completed by Tenant within ninety (90) days of the execution of this Agreement.

2. Term. This Agreement becomes effective on the date that both Owner and Sprint have executed this Agreement ("Effective Date"). Tenant's lease term shall commence, if at all, at the end of the Due Diligence Period on the Term Commencement Date. The term of Tenant's lease and tenancy, if any, (the "Term") is 5 years, commencing on the "Term Commencement Date" which is defined as the earlier to occur of: (a) the date that Sprint commences construction of the Facilities; or (b) 18 months after the Effective Date. The Term will be automatically renewed for 5 additional terms of 5 years each (each a "Renewal Term"), unless Tenant provides Owner with notice of its intention not to renew prior to the expiration of the initial Term or any Renewal Term. The Due Diligence Period is defined as the time between the Effective Date and the Term Commencement Date. During the Due Diligence Period, Sprint will be permitted to enter Owner's Property to perform surveys, inspections, investigations and tests, including, without limitation, signal, topographical, geotechnical, structural and environmental tests, in Sprint's discretion to determine the physical condition, suitability and feasibility of the Site. If Sprint determines, in its discretion, that the Site is not appropriate for Sprint's intended use (or if Sprint otherwise decides, for any reason or no reason, not to commence the lease Term), then Sprint may terminate this Agreement upon notice to Owner at any time prior to the end of the Due Diligence Period. Owner acknowledges that, prior to the Term Commencement Date, Sprint has limited access to, but no ownership or control of, any portion of Owner's Property and that Sprint's access during the Due Diligence Period shall not cause Sprint to be considered an owner or operator of Owner's Property or the Site for purposes of environmental laws or otherwise.

3. Rent. Starting on the date that is 30 days after the Term Commencement Date and on the first day of every month thereafter, Tenant will pay rent in advance in equal monthly installments of \$ 3,000.00. Rent for any partial

months will be prorated based upon a 30-day month. Notwithstanding anything contained in this Section, Tenant's obligation to pay rent is contingent upon Tenant's receipt of an IRS approved W-9 form setting forth the tax identification number of Owner or of the person or entity to whom rent checks are to be made payable as directed in writing by Owner. Rent will be sent to the address shown underneath Owner's signature.

4. Title and Quiet Possession. Owner represents and warrants to Tenant and further agrees that: (a) it is the owner of Owner's Property; (b) it has rights of pedestrian and vehicular access from the nearest public roadway to the Site, which Tenant is permitted to use; (c) it has the right to enter into this Agreement; (d) the person signing this Agreement has the authority to sign; (e) Tenant is entitled to access the Site upon providing the Owner with at least twenty-four hours' notice of its intent to access the site, and Tenant is entitled to quiet possession of the Site throughout the initial Term and each Renewal Term, so long as Tenant is not in default beyond the expiration of any notice or cure period..

5. Assignment/Subletting

Tenant will not assign or transfer this Agreement or sublet all or any portion of the Site without the prior written consent of Owner, which consent will not be unreasonably withheld, conditioned or delayed; provided, however, that Tenant will have the right, without notice to or consent of Owner, to sublease (or otherwise transfer or allow the use of) all or any portion of the Site or assign its rights under this Agreement in whole or in part to: (a) any entity controlling, controlled by or under common control with Tenant; (b) any entity acquiring substantially all of the assets of Tenant; (c) any entity that is authorized to sell telecommunications products or services under the "Sprint" or "Sprint PCS" or "Nextel" brand name or any successor brand name(s) or other brand name(s) used or licensed by Tenant's parent corporation ("Contract Affiliate") or (d) any successor entity in a merger or consolidation involving Tenant. Owner will not be entitled to any additional rent or other fees for its review or approval.

6. Notices. All notices, requests, demands or other communications with respect to this Agreement, whether or not herein expressly provided for, must be in writing and will be deemed to have been delivered upon receipt or refusal to accept delivery after being either mailed by United States first-class certified or registered mail, postage prepaid, return receipt requested or deposited with an overnight courier service for next-day delivery to the parties at the following addresses (the addresses may be changed by either party by giving written notice). Notices to Tenant are to be sent to: Sprint Property Services, Mailstop KSOPHT0101-Z2650, 6391 Sprint Parkway, Overland Park, Kansas 66251-2650, with a mandatory copy to: Sprint Law Department, Mailstop KSOPHT0101-Z2020, 6391 Sprint Parkway, Overland Park, Kansas 66251-2020, Attn.: Real Estate Attorney. Notices to Owner must be sent to the address shown underneath Owner's signature.

7. Improvements. Tenant may, at its expense, make improvements on and to the Site from time to time for the operation of the Facilities, but shall receive approval from Owner prior to making any such improvements to the site. Owner agrees to cooperate with Tenant with respect to obtaining any required zoning or other governmental approvals for the Site, the Facilities and contemplated use thereof. Upon termination or expiration of this Agreement, Tenant will remove the above-ground Facilities, and will remove any foundation down to one foot below grade level at Tenant's own expense.

8. Compliance with Laws. Owner represents and warrants to Tenant that Owner's Property (including the Site) and all improvements located thereon, are in substantial compliance with building, life/safety, disability and other laws, codes and regulations of applicable governmental authorities. Tenant will substantially comply with all applicable laws relating to its possession and use of the Site.

9. Interference. Tenant's installation, operation, and maintenance of its Facilities shall not damage or interfere in any way with Owner's operations or related repair and maintenance activities, or with any such activities of other existing tenants at the site. Tenant agrees to cease all such actions that materially interfere with Owner's use of the property immediately upon receiving notice from Owner of said interference. Tenant will resolve technical interference problems that the Facilities might cause (i) with other equipment located at the Site on the Effective Date, or (ii) when Tenant desires to add additional Facilities to the Site, any equipment that became

attached to the Site between the Effective Date and such future date. Likewise, Owner will not permit or suffer the installation of any equipment on Owner's Property after the Effective Date that: (a) results in technical interference problems with the Facilities, or (b) encroaches onto the Site.

10. Utilities. Owner represents and warrants to Tenant that all utilities adequate for Tenant's intended use of the Site are available at or near the Site. Tenant will pay for all utilities used by it at the Site. Owner grants to Tenant and the local utility companies (as appropriate) any easement(s) reasonably required by Tenant or the utility companies in order to provide utility service required by Tenant for its intended use of the Site throughout the initial Term and each Renewal Term, and Owner will execute, at no cost to Tenant or the utility companies, any instrument(s) reasonably necessary to evidence such rights. If there is a loss of electrical service at the Site, Tenant may, at its expense, install and maintain a temporary generator and fuel storage tank at the Site or on Owner's Property adjacent to the Site.

11. Termination. Notwithstanding any provision contained in this Agreement to the contrary, Tenant may terminate this Agreement for any reason and upon providing thirty days' notice to the other party of its decision to terminate the Agreement.

12. Default. If either party is in default under this Agreement for a period of 30 days following receipt of written notice from the non-defaulting party, the non-defaulting party may pursue any remedies available to it against the defaulting party at law and in equity, including, but not limited to, the right to terminate this Agreement. If a non-monetary default cannot reasonably be cured within a 30-day period, this Agreement may not be terminated if the defaulting party commences action to cure the default within the 30-day period and proceeds with due diligence to fully cure the default.

13. Indemnity. Owner shall not at any time be liable for injury or damage occurring to any person or property arising out of Tenant's installation, construction, maintenance, repair, use, or operation of the site and/or Tenant's facilities. Except with respect to Hazardous Substances, which are defined and provided for in Section 14 below, Owner and Tenant each indemnifies and agrees to defend the other against and holds the other harmless from any and all costs (including reasonable attorneys' fees), damages, claims of liability and losses (collectively, "Claims") which arise out of the negligence or intentional misconduct of the indemnifying party, its agents or contractors. This indemnity is subject to the waiver of recovery in Section 17 below, and does not apply to any claims arising from the negligence or intentional misconduct of the indemnified party, its agents or contractors. The indemnity obligations under this Section will survive termination of this Agreement.

14. Hazardous Substances. Owner represents and warrants to Tenant that it has no knowledge of any substance, chemical or waste on or affecting Owner's Property that is identified as hazardous, toxic or dangerous in any applicable federal, state or local law or regulation (collectively, "Hazardous Substance"). Notwithstanding any provision contained in this Agreement to the contrary, Owner will have sole responsibility for the identification, investigation, monitoring and remediation and cleanup of any Hazardous Substance discovered on Owner's Property. Owner agrees to indemnify, defend and hold harmless Tenant from any and all Claims relating to any Hazardous Substance present on or affecting Owner's Property prior to or on the Term Commencement Date, unless the presence or release of the Hazardous Substance is caused by the activities of Tenant. Tenant will not introduce or use any Hazardous Substance on the Site in violation of any applicable law, and Tenant will indemnify, defend and hold harmless Owner from and against all Claims arising out of Tenant's breach of this sentence. Owner will not introduce or use any Hazardous Substance on Owner's Property in violation of any applicable law, and Owner will indemnify, defend and hold harmless Tenant from and against all Claims arising out of Owner's breach of this sentence. The provisions of this Section will apply as of the Effective Date. The indemnity obligations under this Section will survive termination of this Agreement.

15. Subordination and Non-Disturbance. This Agreement is subordinate to any mortgage or deed of trust of record against the Site as of the Effective Date. Promptly after this Agreement is fully executed, however, Owner will obtain a non-disturbance agreement in a form reasonably acceptable to Tenant from the holder of any mortgage or deed of trust.

16. Property Taxes. Tenant will pay Owner any increase in Owner's real property taxes that is directly and solely attributable to improvements to the Site made by Tenant. Owner must pay prior to delinquency, all property taxes and assessments attributable to Owner's Property. Within 60 days after receipt of evidence of Owner's payment and a completed Tax Increase Worksheet in the form of **Exhibit C** attached, Tenant will pay to Owner any

increase in Owner's real property taxes which Owner demonstrates, to Tenant's satisfaction, is directly and solely attributable to any improvements to the Site made by Tenant.

17. Insurance. During the initial Term and all Renewal Terms, each party will procure and maintain commercial general liability insurance, with limits of not less than \$1,000,000 combined single limit per occurrence, and \$2,000,000 aggregate, and will make the other party an additional insured on such policy. Within 30 days after receipt of a written request from the other party, each party will provide the requesting party with a Certificate of Insurance evidencing the required coverage. Alternatively, each party will have the option of providing the requesting party with evidence of such coverage electronically, by providing the requesting party with a Uniform Resource Locator ("URL") link to access such party's Memorandum of Insurance website. Each party will cause each insurance policy obtained by it to provide that the insurance company waives all rights of recovery by subrogation against the other party in connection with any damage covered by the policy. Each party waives its right of recovery against the other for any loss or damage covered by any property insurance policies maintained by the waiving party.

18. Maintenance. Tenant will be responsible for repairing and maintaining the Facilities and any other improvements installed by Tenant at the Site in a proper operating and reasonably safe condition; provided, however, if any repair or maintenance is required due to the acts or omissions of Owner, its agents, contractors or employees, Owner will promptly reimburse Tenant for the reasonable costs incurred by Tenant to restore the damaged areas to the condition which existed immediately prior thereto. Owner will maintain and repair all other portions of Owner's Property in a proper operating and reasonably safe condition at all times during the term of this agreement. Notwithstanding the foregoing, Tenant agrees to maintain Owner's light mounted on top of the Tower. Said maintenance shall be at Tenant's expense and shall be in compliance with FAA and FCC regulations.

19. Removal of Equipment Upon Termination or Expiration of Agreement. Tenant agrees to remove its Facilities from the site within sixty (60) (90) days of the termination or expiration of this agreement. Such removal of Tenant's Facilities shall be done in a workmanlike and careful manner, and shall not interfere with or damage any other equipment, structures, or operations existing on the site. If however, Tenant requests permission from Owner not to remove all or a portion of the Facilities, and Owner agrees to such non-removal, title to the affected Facilities shall thereupon transfer to Owner, and the same thereafter shall be the sole and entire property of Owner. Upon removal of Tenant's Facilities following termination or expiration of this agreement, Tenant shall undertake to restore the site to its condition prior to this agreement, with ordinary wear and tear excepted. All costs and expenses associated with the removal and restoration described in this Section shall be the responsibility of Tenant, and Tenant shall hold Owner harmless from any portion thereof.

20. Miscellaneous. (a) This Agreement applies to and binds the heirs, successors, executors, administrators and assigns of the parties to this Agreement; (b) this Agreement is governed by the laws of the state in which the Site is located; (c) Owner agrees to promptly execute and deliver to Tenant a recordable Memorandum of Agreement in the form of **Exhibit D**, attached; (d) each party will execute, within 20 days after written request, an estoppel certificate or statement certifying that this Agreement is unmodified and in full force and effect or, if modified, describing such modification(s), and that the other party is not in default (beyond applicable cure periods), except as specified in the statement. The estoppel certificate may also certify the current rent amount and whether any rent has been paid in advance; (e) this Agreement (including the Exhibits and Riders) constitutes the entire agreement between the parties and supersedes all prior written and verbal agreements, representations, promises or understandings between the parties. Any amendments to this Agreement must be in writing and executed by both parties; (f) if any provision of this Agreement is invalid or unenforceable with respect to any party, the remainder of this Agreement or the application of the provision to persons other than those as to whom it is held invalid or unenforceable, will not be affected and each provision of this Agreement will be valid and enforceable to the fullest extent permitted by law; and (g) the prevailing party in any action or proceeding in court or mutually agreed upon arbitration proceeding to enforce the terms of this Agreement is entitled to receive its reasonable attorneys' fees and other reasonable enforcement costs and expenses from the non-prevailing party.

21. Non-Binding Until Fully Executed. This Agreement is for discussion purposes only and does not constitute a formal offer by either party. This

Site Name: Sugar Grove

Site ID #: CH51XC435

Agreement is not and will not be binding on either party until and unless it is fully executed by both parties.

The following Exhibits and Riders are attached to and made a part of this Agreement: Exhibits A, B, C, and D and _____.

OWNER:

Village of Sugar Grove
a Municipal Corporation

By: _____

Name: P. Sean Michels

Title: Village President

Date: November 18, 2014

Taxpayer ID: _____

Address: 10 South Municipal Drive
Sugar Grove, IL 60554

Contact Phone Number: 630-466-4507

Email address: _____

See Addendum to Site Agreement for continuation of Owner signatures

TENANT:

SprintCom, Inc.

a(n) a Kansas corporation

By: _____

Name: _____

Title: _____

Date: _____



Resolution # 2014-1118RA

RESOLUTION AUTHORIZING ACCEPTANCE AND EXECUTION OF A LEASE AGREEMENT BETWEEN THE VILLAGE OF SUGAR GROVE AND SPRINTCOM, INC. FOR CELLULAR ANTENNA ON VILLAGE WATER TOWER, VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS

WHEREAS, the Village is not a home rule municipality within Article VII, Section 6A of the Illinois Constitution; and

WHEREAS, SprintCom, Inc. desires to locate its communications facilities on Village property located at 75 Railroad Street; and

WHEREAS, a lease agreement has been prepared between the Village and SprintCom for the use of the Village-owned property; and

WHEREAS, it is in the Village’s best interest to enter into the lease agreement; and

NOW, THEREFORE, BE IT RESOLVED by the President and Board of Trustees that the Village Board hereby authorizes acceptance and execution of a lease agreement between the Village of Sugar Grove and SprintCom, Inc., attached hereto as **Exhibit A** and made a part hereof by this reference, and that the Village President and Village Clerk are hereby authorized to execute said document on behalf of the Village.

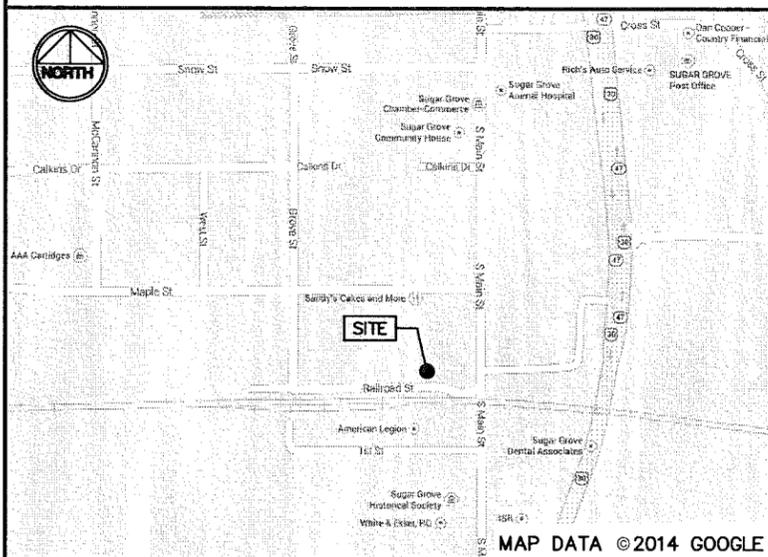
Passed by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, at a regular meeting thereof held on the 18th day of November, 2014.

P. Sean Michels, President of the Board of Trustees
of the Village of Sugar Grove, Kane County, Illinois

ATTEST: _____
Cynthia Galbreath, Clerk, Village of Sugar Grove

	Aye	Nay	Absent	Abstain
Trustee Robert E. Bohler	_____	_____	_____	_____
Trustee Kevin M. Geary	_____	_____	_____	_____
Trustee Sean Herron	_____	_____	_____	_____
Trustee Mari Johnson	_____	_____	_____	_____
Trustee Rick Montalto	_____	_____	_____	_____
Trustee David Paluch	_____	_____	_____	_____
President P. Sean Michels	_____	_____	_____	_____

LOCAL MAP



MAP DATA © 2014 GOOGLE

DRIVING DIRECTIONS

DEPART O'HARE INTERNATIONAL AIRPORT:
GET ON I-190 E. FOLLOW I-294 S AND I-88 W TO IL-56 W IN SUGAR GROVE. TAKE THE IL-56 W EXIT FROM I-88 W. MERGE ONTO I-190 E. TAKE EXIT 1D TOWARD I-294 S/INDIANA/S TOLLWAY. MERGE ONTO I-294 S. TAKE THE INTERSTATE 88 WEST E-W TOLLWAY EXIT TOWARD AURORA. MERGE ONTO I-88 W. EXIT ONTO IL-56 W TOWARD US-30/IL-47/SUGAR GROVE. CONTINUE ON IL-56 W. DRIVE TO RAILROAD ST. MERGE ONTO IL-56 W. MERGE ONTO IL-47 S VIA THE RAMP TO US-30 E/SUGAR GROVE. TURN RIGHT ONTO CROSS ST. TURN LEFT ONTO S MAIN ST. TURN RIGHT ONTO RAILROAD ST.

PLAN REVIEW NOTES

POWER REQUIREMENTS

120/240V, 200 AMP
SINGLE PHASE, 3 WIRE
TOTAL KVA = 19.18

CONTRACTOR NOTE:

CONTRACTOR SHALL VERIFY PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED IN FIELD. IF SIGNIFICANT DEVIATIONS OR DETERIORATION ARE ENCOUNTERED AT THE TIME OF CONSTRUCTION, A REPAIR PERMIT WILL BE OBTAINED AND CONTRACTOR SHALL NOTIFY STRUCTURAL ENGINEER IMMEDIATELY.

PLAN REVIEWER NOTES:

THESE PLANS HAVE BEEN PREPARED FOR THE PURPOSE OF DESIGN AND DETAILING OF ANY AND ALL CIVIL AND ELECTRICAL ENGINEERING ASPECTS OF THIS PROJECT. THE ATTACHED STRUCTURAL PLANS ARE PREPARED BY AND SIGNED BY A STRUCTURAL ENGINEER AND ARE MADE A PART OF THIS PACKAGE FOR CONVENIENCE.

DIG ALERT:

CONTRACTOR TO CONTACT LOCAL UTILITIES LOCATING SERVICE IN ILLINOIS CONTACT JULIE AT (800) 932-0123

DWG SCALE:

THESE DRAWINGS ARE FULL AND SCALEABLE ON 11"X 17" SHEET SIZE AND ARE NOT REDUCED IN SIZE.

PLUMBING NOTE:

THERE IS NO PLUMBING TO THIS COMMUNICATION SITE

EMERGENCY:

CALL 911

W-T Communication
Design Group's
Commitment to Quality



Please take a few moments to fill out an online survey.

Sprint



**SITE NUMBER:
CH51XC435
SUGAR GROVE
USC 8831013**

**SITE ADDRESS:
75 RAILROAD ST.
SUGAR GROVE, IL 60554**



6100 PARKWAY, US OP01 1C620
OVERLAND PARK, KS 66251



**W-T COMMUNICATION
DESIGN GROUP, LLC.**

WIRELESS INFRASTRUCTURE
2675 Pratum Avenue
Hoffman Estates, Illinois 60192
PH: (224) 293-6333 FAX: (224) 293-6444
www.wtengineering.com

IL License No.: 184.009042 Exp: 04/30/15

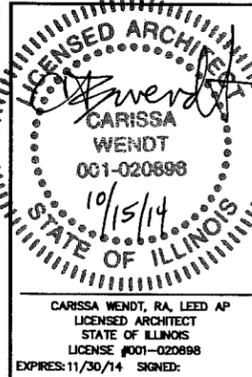
COPYRIGHT © 2014 W-T COMMUNICATION DESIGN GROUP, LLC.

PROJECT NO: T140633

DRAWN BY: SC

CHECKED BY: LAF

REV	DATE	DESCRIPTION
D	10.10.14	FINALS
D	09.24.14	RF UPDATE
C	07.17.14	FOR CLIENT REVIEW
B	07.16.14	REVISED LE
A	06.04.14	FOR CLIENT REVIEW



**CH51XC435
USC 8831013
SUGAR GROVE**
75 RAILROAD ST.
SUGAR GROVE, IL 60554

SHEET TITLE
TITLE SHEET

SHEET NUMBER
**T-1
114**

PROPOSED INSTALLATION OF ANTENNAS ON EXISTING TOWER & EQUIPMENT ON NEW PAD AT GRADE

APPROVAL

OWNER'S AGENT APPROVAL	SIGNATURE	PHONE NUMBER	DATE
CONSTRUCTION COORDINATOR	SIGNATURE	PHONE NUMBER	DATE
APPROVAL	SIGNATURE	PHONE NUMBER	DATE

CONSULTING TEAM

ARCHITECT / ENGINEER:
W-T COMMUNICATION DESIGN GROUP, LLC
2675 PRATUM AVENUE
HOFFMAN ESTATES, IL 60192
CONTACT: LESLIE FREEMAN
(PROJECT MANAGER)
TEL: (224) 293-6333
FAX: (224) 293-6444

SITE ACQUISITION CONTACT:
LCC LAW
CONTACT: LAURA LORA
PHONE: (847) 924-7847
E-MAIL: llora@lcclaw.net

PROPERTY OWNER:
VILLAGE OF SUGAR GROVE
CONTACT: MICHAEL FERENACK
PHONE: (630)-466-8954

EQUIPMENT SUPPLIER:
NAME: SAMSUNG TELECOMMUNICATIONS AMERICA (STA)
ADDRESS: 1301 EAST LOOKOUT DRIVE
RICHARDSON, TX 75082-4124
PHONE: (972) 761-7000

UTILITIES:

POWER COMPANY:
COMPANY NAME: COMED
TEL: (847)-608-2338

FIBER PROVIDER:
COMPANY NAME: PENDING
TEL: PENDING

PROJECT SUMMARY

SITE NUMBER:
CH51XC435
SITE ADDRESS:
75 RAILROAD ST.
SUGAR GROVE, IL 60554

APPLICANT BUILDING INFO:
SPRINT
6100 PARKWAY
OVERLAND PARK, KS

PROJECT DESCRIPTION:
AN EXISTING UNMANNED WIRELESS TELECOMMUNICATIONS FACILITY UPGRADE

ADA COMPLIANCE:
FACILITY IS EXISTING UNMANNED AND NOT FOR HUMAN HABITATION

PROJECT DATA:
ZONING: RESIDENTIAL
ZONING JURISDICTION: VILLAGE OF SUGAR GROVE
PARCEL #: 14-21-182-012
TYPE OF CONSTRUCTION: EXISTING
TYPE OF OCCUPANCY: U-UTILITY
BUILDING CODE: IBC 2006
ELECTRICAL CODE: IEC 2006 & NEC 2005

GEOGRAPHIC COORDINATES:
LATITUDE: 41.75847
LONGITUDE: -88.445214
GROUND ELEVATION: UNKNOWN

SHEET INDEX

SHT NO:	DESCRIPTION:
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GN-2	NOTES
GN-3	NOTES
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A-2	ENLARGED SITE PLAN
A-3	TOWER ELEVATION
A-4	CABLE CHART
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A-5	ANTENNA DETAILS
A-5A	ANTENNA DETAILS
A-6	ANTENNA RRH DETAILS
A-6A	HYBRID DETAILS
A-7	ANTENNA & GPS DETAIL
A-7A	JUNCTION CYLINDERS DETAILS
A-8	CABLE MOUNTING DETAILS
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G-2	GROUNDING DIAGRAM
G-3	GROUNDING DETAILS
G-4	FENCE GROUNDING

SECTION 01 100 – SCOPE OF WORK

THE WORK:
SHALL COMPLY WITH ALL APPLICABLE ADOPTED CODES AND STANDARDS, AND PORTIONS THEREOF.

PRECEDENCE:
SHOULD CONFLICTS OCCUR BETWEEN THE STANDARD CONSTRUCTION SPECIFICATIONS FOR WIRELESS SITES INCLUDING THE STANDARD CONSTRUCTION DETAILS FOR WIRELESS SITES AND THE CONSTRUCTION DRAWINGS, INFORMATION ON THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE.

SITE FAMILIARITY:
CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.

ON-SITE SUPERVISION:
THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

DRAWINGS, SPECIFICATIONS AND DETAILS REQUIRED AT JOBSITE:
THE CONSTRUCTION CONTRACTOR SHALL MAINTAIN A FULL SET OF THE CONSTRUCTION DRAWINGS AT THE JOBSITE FROM MOBILIZATION THROUGH CONSTRUCTION COMPLETION.

- A. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. PROVIDE ALL MATERIALS AND LABOR AS REQUIRED TO PROVIDE A COMPLETE AND FUNCTIONING SYSTEM. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- B. CONTRACTOR SHALL NOTIFY SPRINT CONSTRUCTION MANAGER OF ANY VARIATIONS PRIOR TO PROCEEDING WITH THE WORK. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS NOTED OTHERWISE. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- C. MARK THE FIELD SET OF DRAWINGS IN RED, DOCUMENTING ANY CHANGES FROM THE CONSTRUCTION DOCUMENTS.

METHODS OF PROCEDURE (MOPS) FOR CONSTRUCTION:
CONTRACTOR SHALL PERFORM WORK AS DESCRIBED IN:

- A. COAX COLOR CODING SWEEPS AND FIBER TESTING TS-0200 AND EL-0568
- B. CABLE LABELING EN-2012-00
- C. APPLICABLE INSTALLATION MOPS IDENTIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS

SECTION 01 200 – COMPANY FURNISHED MATERIAL AND EQUIPMENT

- A. COMPANY FURNISHED MATERIAL AND EQUIPMENT IS IDENTIFIED ON THE RF DATA SHEET IN THE CONSTRUCTION DRAWINGS.
- B. CONTRACTOR IS RESPONSIBLE FOR SPRINT PROVIDED MATERIAL AND EQUIPMENT TO ENSURE IT IS PROTECTED AND HANDLED PROPERLY THROUGHOUT THE CONSTRUCTION DURATION.
- C. CONTRACTOR IS RESPONSIBLE FOR RECEIPT OF SPRINT FURNISHED EQUIPMENT AT CELL SITE OR CONTRACTORS LOCATION. CONTRACTOR TO COMPLETE SHIPPING AND RECEIPT DOCUMENTATION IN ACCORDANCE WITH COMPANY PRACTICE.

SECTION 01 300 – CELL SITE CONSTRUCTION

NOTICE TO PROCEED:
NO WORK SHALL COMMENCE PRIOR TO COMPANY'S WRITTEN NOTICE TO PROCEED AND THE ISSUANCE OF WORK ORDER.

SITE CLEANLINESS:
CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH. AT THE COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE FROM THE SITE ALL REMAINING RUBBISH, IMPLEMENTS, TEMPORARY FACILITIES, AND SURPLUS MATERIALS.

SECTION 01 400 – SUBMITTALS & TESTS

ALTERNATES:
AT THE COMPANY'S REQUEST, ANY ALTERNATIVES TO THE MATERIALS OR METHODS SPECIFIED SHALL BE SUBMITTED TO SPRINT'S CONSTRUCTION MANAGER FOR APPROVAL. SPRINT WILL REVIEW AND APPROVE ONLY THOSE REQUESTS MADE IN WRITING. NO VERBAL APPROVALS WILL BE CONSIDERED.

TESTS AND INSPECTIONS:

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION TESTS, INSPECTIONS AND PROJECT DOCUMENTATION.
- B. CONTRACTOR SHALL ACCOMPLISH TESTING INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - 1. COAX SWEEPS AND FIBER TESTS PER TS-0200 REV 4 ANTENNA LINE ACCEPTANCE STANDARDS.
 - 2. AGL, AZIMUTH AND DOWNTILT: PROVIDE AN AUTOMATED REPORT UPLOADED TO SITERRA USING A COMMERCIAL MADE-FOR-THE-PURPOSE ELECTRONIC ANTENNA ALIGNMENT TOOL (AAT). INSTALLED AZIMUTH, CENTERLINE AND DOWNTILT MUST CONFORM WITH RF CONFIGURATION DATA.
 - 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL CORRECTIONS TO ANY WORK IDENTIFIED AS UNACCEPTABLE IN SITE INSPECTION ACTIVITIES AND/OR AS A RESULT OF TESTING.
 - 4. ALL TESTING REQUIRED BY APPLICABLE INSTALLATION MOPS.
- C. REQUIRED CLOSEOUT DOCUMENTATION INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
 - 1. AZIMUTH, DOWNTILT, AGL FROM SUNSIGHT INSTRUMENTS – ANTENNA ALIGNMENT TOOL (AAT).
 - 2. SWEEP AND FIBER TESTS.
 - 3. SCALABLE BARCODE PHOTOGRAPHS OF TOWER TOP AND INACCESSIBLE SERIALIZED EQUIPMENT.
 - 4. ALL AVAILABLE JURISDICTIONAL PERMIT AND OCCUPANCY INFORMATION.
 - 5. PDF SCAN OF REDLINES PRODUCED IN FIELD.
 - 6. A PDF SCAN OF REDLINE MARK-UPS SUITABLE FOR USE IN ELECTRONIC AS-BUILT DRAWING PRODUCTION.
 - 7. LIEN WAIVERS.
 - 8. FINAL PAYMENT APPLICATION.
 - 9. REQUIRED FINAL CONSTRUCTION PHOTOS.
 - 10. CONSTRUCTION AND COMMISSIONING CHECKLIST COMPLETE WITH NO DEFICIENT ITEMS.
 - 11. APPLICABLE POST NTP TASKS INCLUDING DOCUMENT UPLOADS COMPLETED IN SITERRA (SPRINT'S DOCUMENT REPOSITORY OF RECORD).
 - 12. CLOSEOUT PHOTOGRAPHS AND CLOSEOUT CHECKLIST: SPRINT WILL PROVIDE SEPARATE GUIDANCE.

SECTION 07 500 – ROOF CUTTING, PATCHING AND REPAIR

SUMMARY:
THIS SECTION SPECIFIES CUTTING AND PATCHING ROOFING SYSTEMS WHERE CONDUIT OR CABLES EXIT THE BUILDING ONTO THE ROOF OR BUILDING-MOUNTED ANTENNAS, AND AS REQUIRED FOR WATERTIGHT PERFORMANCE. ROOFTOP ENTRY OPENINGS IN MEMBRANE ROOFTOPS SHALL BE CONSTRUCTED TO COMPLY WITH LANDLORD, ANY EXISTING WARRANTY, AND LOCAL JURISDICTIONAL STANDARDS.

1.4 SUBMITTALS:

- A. **PRE-CONSTRUCTION ROOF PHOTOS:** COMPLETE A ROOF INSPECTION PRIOR TO THE INSTALLATION OF SPRINT EQUIPMENT ON ANY ROOFTOP BUILD, AT A MINIMUM INSPECT AND PHOTOGRAPH (MINIMUM 3 EA.). ALL AREAS IMPACTED BY THE ADDITION OF THE SPRINT EQUIPMENT.
- B. PROVIDE SIMILAR PHOTOGRAPHS SHOWING ROOF CONDITIONS AFTER CONSTRUCTION (MINIMUM 3 EA.)
- C. ROOF INSPECTION PHOTOGRAPHS SHOULD BE WITH CLOSEOUT PHOTOGRAPHS.

SECTION 09 900 – PAINTING

QUALITY ASSURANCE:

- A. COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS. USE EXPERIENCED INSTALLERS, DELIVER, AND HANDLE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- B. COMPLY WITH ALL ENVIRONMENTAL REGULATIONS FOR VOLATILE ORGANIC COMPOUNDS.

MATERIALS:

- A. MANUFACTURERS: BENJAMIN MOORE, ICI DEVCO COATINGS, PPG, SHERWIN WILLIAMS OR APPROVED EQUAL. PROVIDE PREMIUM GRADE, PROFESSIONAL-QUALITY PRODUCTS FOR COATING SYSTEM.

PAINT SCHEDULE:

- A. **EXTERIOR ANTENNAE AND ANTENNA MOUNTING HARDWARE:** ONE COAT OF PRIMER AND TWO FINISH COATS. PAINT FOR ANTENNAE SHALL BE NON-METALLIC BASE AND CONTAIN NO METALLIC PARTICLES. PROVIDE COLORS AND PATTERNS AS REQUIRED TO MASK APPEARANCE OF ANTENNAE ON ADJACENT BUILDING SURFACES AND AS ACCEPTABLE TO THE OWNER. REFER TO ANTENNA MANUFACTURER'S INSTRUCTIONS WHENEVER POSSIBLE.
- B. **ROOF CONSTRUCTION:** TOUCH UP – PREPARE SURFACES TO BE REPAIRED. FOLLOW INDUSTRY STANDARDS AND REQUIREMENTS OF OWNER TO MATCH EXISTING COATING AND FINISH.

PAINTING APPLICATION:

- 1. INSPECT SURFACES, REPORT UNSATISFACTORY CONDITIONS IN WRITING; BEGINNING WORK MEANS ACCEPTANCE OF SUBSTRATE.
- 2. COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS FOR PREPARATION, PRIMING AND COATING WORK. COORDINATE WITH WORK OF OTHER SECTIONS.
- 3. MATCH APPROVED MOCK-UP FOR COLOR, TEXTURE AND PATTERN. RE-COAT OR REMOVE AND REPLACE WORK WHICH DOES NOT MATCH OR SHOWS LOSS OF ADHESION.
- 4. CLEAN UP. TOUCH UP AND PROTECT WORK.

TOUCHUP PAINTING:

- 1. GALVANIZING DAMAGE AND ALL BOLTS AND NUTS SHALL BE TOUCHED UP AFTER ERECTION WITH "GALNOX," "DRY GALV," OR "ZINC-IT."
- 2. FIELD TOUCH UP PAINT SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 3. ALL METAL COMPONENTS SHALL BE HANDLED WITH CARE TO PREVENT DAMAGE TO THE COMPONENTS, THEIR PRESERVATIVE TREATMENT, OR THEIR PROTECTIVE COATINGS.



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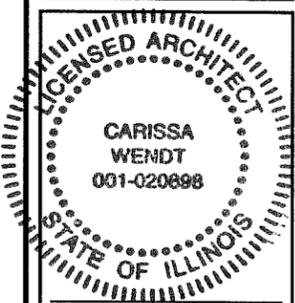
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PROJECT NO: T140633

DRAWN BY: SC

CHECKED BY: LAF

D	10.10.14	FINALS
D	08.24.14	RF UPDATE
C	07.17.14	FOR CLIENT REVIEW
B	07.16.14	REVISED LE
A	06.04.14	FOR CLIENT REVIEW



CARISSA WENDT, RA, LEED AP
LICENSED ARCHITECT
STATE OF ILLINOIS
LICENSE #001-020898
EXPIRES: 11/30/14 SIGNED:

**CH51XC435
USC 8831013
SUGAR GROVE**

75 RAILROAD ST.
SUGAR GROVE, IL 60554

SHEET TITLE

NOTES

SHEET NUMBER

GN-1
115

SECTION 11 700 – ANTENNA ASSEMBLY, REMOTE RADIO UNITS AND CABLE INSTALLATION

SUMMARY:

THIS SECTION SPECIFIES INSTALLATION OF ANTENNAS, RRU'S, AND CABLE EQUIPMENT, INSTALLATION, AND TESTING OF COAXIAL FIBER CABLE.

ANTENNAS AND RRU'S:

THE NUMBER AND TYPE OF ANTENNAS AND RRU'S TO BE INSTALLED IS DETAILED ON THE CONSTRUCTION DRAWINGS.

HYBRID CABLE:

HYBRID CABLE WILL BE DC/FIBER AND FURNISHED FOR INSTALLATION AT EACH SITE. CABLE SHALL BE INSTALLED PER THE CONSTRUCTION DRAWINGS AND THE APPLICABLE MANUFACTURER'S REQUIREMENTS.

JUMPERS AND CONNECTORS:

FURNISH AND INSTALL 1/2" COAX JUMPER CABLES BETWEEN THE RRU'S AND ANTENNAS. JUMPERS SHALL BE TYPE LDF 4, FLC 12-50, CR 540, OR FXL 540. SUPER-FLEX CABLES ARE NOT ACCEPTABLE. JUMPERS BETWEEN THE RRU'S AND ANTENNAS OR TOWER TOP AMPLIFIERS SHALL CONSIST OF 1/2 INCH FOAM DIELECTRIC, OUTDOOR RATED COAXIAL CABLE, MIN. LENGTH FOR JUMPER SHALL BE 10"-0".

REMOTE ELECTRICAL TILT (RET) CABLES:

MISCELLANEOUS:

INSTALL SPLITTERS, COMBINERS, FILTERS PER RF DATA SHEET, FURNISHED BY SPRINT.

ANTENNA INSTALLATION:

THE CONTRACTOR SHALL ASSEMBLE ALL ANTENNAS ONSITE IN ACCORDANCE WITH THE INSTRUCTIONS SUPPLIED BY THE MANUFACTURER. ANTENNA HEIGHT, AZIMUTH, AND FEED ORIENTATION INFORMATION SHALL BE A DESIGNATED ON THE CONSTRUCTION DRAWINGS.

- A. THE CONTRACTOR SHALL POSITION THE ANTENNA ON TOWER PIPE MOUNTS SO THAT THE BOTTOM STRUT IS LEVEL. THE PIPE MOUNTS SHALL BE PLUMB TO WITHIN 1 DEGREE.
- B. ANTENNA MOUNTING REQUIREMENTS: PROVIDE ANTENNA MOUNTING HARDWARE AS INDICATED ON THE DRAWINGS.

HYBRID CABLE INSTALLATION:

- A. THE CONTRACTOR SHALL ROUTE, TEST, AND INSTALL ALL CABLES AS INDICATED ON THE CONSTRUCTION DRAWINGS AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- B. THE INSTALLED RADIUS OF THE CABLES SHALL NOT BE LESS THAN THE MANUFACTURER'S SPECIFICATIONS FOR BENDING RADII.
- C. EXTREME CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE CABLES DURING HANDLING AND INSTALLATION.
 - 1. FASTENING MAIN HYBRID CABLES: ALL CABLES SHALL BE INSTALLED INSIDE MONOPOLE WITH CABLE SUPPORT GRIPS AS REQUIRED BY THE MANUFACTURER.
 - 2. FASTENING INDIVIDUAL FIBER AND DC CABLES ABOVE BREAKOUT ENCLOSURE (MEDUSA), WITHIN THE MMBS CABINET AND ANY INTERMEDIATE DISTRIBUTION BOXES:
 - a. FIBER: SUPPORT FIBER BUNDLES USING 1/2" VELCRO STRAPS OF THE REQUIRED LENGTH AT 18" O.C. STRAPS SHALL BE UV, OIL AND WATER RESISTANT AND SUITABLE FOR INDUSTRIAL INSTALLATIONS AS MANUFACTURED BY TEXTOL OR APPROVED EQUAL.
 - b. DC: SUPPORT DC BUNDLES WITH ZIP TIES OF THE ADEQUATE LENGTH. ZIP TIES TO BE UV STABILIZED, BLACK NYLON, WITH TENSILE STRENGTH AT 12,000 PSI AS MANUFACTURED BY NELCO PRODUCTS OR EQUAL.
 - 3. FASTENING JUMPERS: SECURE JUMPERS TO THE SIDE ARMS OR HEAD FRAMES USING STAINLESS STEEL TIE WRAPS OR STAINLESS STEEL BUTTERFLY CLIPS.
 - 4. CABLE INSTALLATION:
 - a. INSPECT CABLE PRIOR TO USE FOR SHIPPING DAMAGE, NOTIFY THE CONSTRUCTION MANAGER.
 - b. CABLE ROUTING: CABLE INSTALLATION SHALL BE PLANNED TO ENSURE THAT THE LINES WILL BE PROPERLY ROUTED IN THE CABLE ENVELOP AS INDICATED ON THE DRAWINGS. AVOID TWISTING AND CROSSOVERS.
 - c. HOIST CABLE USING PROPER HOISTING GRIPS. DO NOT EXCEED MANUFACTURER'S RECOMMENDED MAXIMUM BEND RADIUS.
 - 5. GROUNDING OF TRANSMISSION LINES: ALL TRANSMISSION LINES SHALL BE GROUNDED AS INDICATED ON DRAWINGS.
 - 6. HYBRID CABLE COLOR CODING: ALL COLOR CODING SHALL BE AS REQUIRED IN TS 0200 REV 4.
 - 7. HYBRID CABLE LABELING: INDIVIDUAL HYBRID AND DC BUNDLES SHALL BE LABELED ALPHA-NUMERICALLY ACCORDING TO SPRINT CELL SITE ENGINEERING NOTICE – EN 2012-001, REV 1

WEATHERPROOFING EXTERIOR CONNECTORS AND HYBRID CABLE GROUND KITS:

- A. ALL FIBER & COAX CONNECTORS AND GROUND KITS SHALL BE WEATHERPROOFED.
- B. WEATHERPROOFED USING ONE OF THE FOLLOWING METHODS. ALL INSTALLATIONS MUST BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INDUSTRY BEST PRACTICES.
 - 1. COLD SHRINK: ENCOMPASS CONNECTOR IN COLD SHRINK TUBING AND PROVIDE A DOUBLE WRAP OF 2" ELECTRICAL TAPE EXTENDING 2" BEYOND TUBING. PROVIDE 3M COLD SHRINK CXS SERIES OR EQUAL.
 - 2. SELF-AMALGAMATING TAPE: CLEAN SURFACES. APPLY A DOUBLE WRAP OF SELF-AMALGAMATING TAPE 2" BEYOND CONNECTOR. APPLY A SECOND WRAP OF SELF-AMALGAMATING TAPE IN OPPOSITE DIRECTION. APPLY DOUBLE WRAP OF 2" WIDE ELECTRICAL TAPE EXTENDING 2" BEYOND THE SELF-AMALGAMATING TAPE.
 - 3. 3M SLIM LOCK CLOSURE 716: SUBSTITUTIONS WILL NOT BE ALLOWED.
 - 4. OPEN FLAME ON JOB SITE IS NOT ACCEPTABLE

SECTION 11 800 – INSTALLATION OF MULTIMODAL BASE STATIONS (MMBS) AND RELATED EQUIPMENT

SUMMARY:

- A. THIS SECTION SPECIFIES MMBS CABINETS, POWER CABINETS, AND INTERNAL EQUIPMENT INCLUDING BY NOT LIMITED TO RECTIFIERS, POWER DISTRIBUTION UNITS, BASE BAND UNITS, SURGE ARRESTORS, BATTERIES, AND SIMILAR EQUIPMENT FURNISHED BY THE COMPANY FOR INSTALLATION BY THE CONTRACTOR (OFCI).
- B. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MISCELLANEOUS MATERIALS AND PROVIDE ALL LABOR REQUIRED FOR INSTALLATION EQUIPMENT IN EXISTING CABINET OR NEW CABINET AS SHOWN ON DRAWINGS AND AS REQUIRED BY THE APPLICABLE INSTALLATION MOPS.
- C. COMPLY WITH MANUFACTURER'S INSTALLATION AND START-UP REQUIREMENTS.

DC CIRCUIT BREAKER LABELING

- A. NEW DC CIRCUIT IS REQUIRED IN MMBS CABINET SHALL BE CLEARLY IDENTIFIED AS TO RRU BEING SERVICED.

SECTION 26 100 – BASIC ELECTRICAL REQUIREMENTS

SUMMARY:

THIS SECTION SPECIFIES BASIC ELECTRICAL REQUIREMENTS FOR SYSTEMS AND COMPONENTS.

QUALITY ASSURANCE:

- A. ALL EQUIPMENT FURNISHED UNDER DIVISION 26 SHALL CARRY UL LABELS AND LISTINGS WHERE SUCH LABELS AND LISTINGS ARE AVAILABLE IN THE INDUSTRY.
- B. MANUFACTURERS OF EQUIPMENT SHALL HAVE A MINIMUM OF THREE YEARS EXPERIENCE WITH THEIR EQUIPMENT INSTALLED AND OPERATING IN THE FIELD IN A USE SIMILAR TO THE PROPOSED USE FOR THIS PROJECT.
- C. MATERIALS AND EQUIPMENT: ALL MATERIALS AND EQUIPMENT SPECIFIED IN DIVISION 26 OF THE SAME TYPE SHALL BE OF THE SAME MANUFACTURER AND SHALL BE NEW, OF THE BEST QUALITY AND DESIGN, AND FREE FROM DEFECTS.

SUPPORTING DEVICES:

- A. MANUFACTURED STRUCTURAL SUPPORT MATERIALS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY THE FOLLOWING:
 - 1. ALLIED TUBE AND CONDUIT.
 - 2. B-LINE SYSTEM.
 - 3. UNISTRUT DIVERSIFIED PRODUCTS.
 - 4. THOMAS & BETTS.



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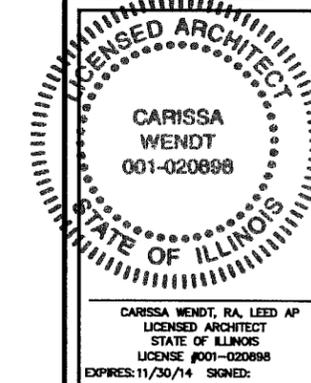
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PROJECT NO: T140633

DRAWN BY: SC

CHECKED BY: LAF

0	10.10.14	FINALS
D	09.24.14	RF UPDATE
C	07.17.14	FOR CLIENT REVIEW
B	07.16.14	REVISED LE
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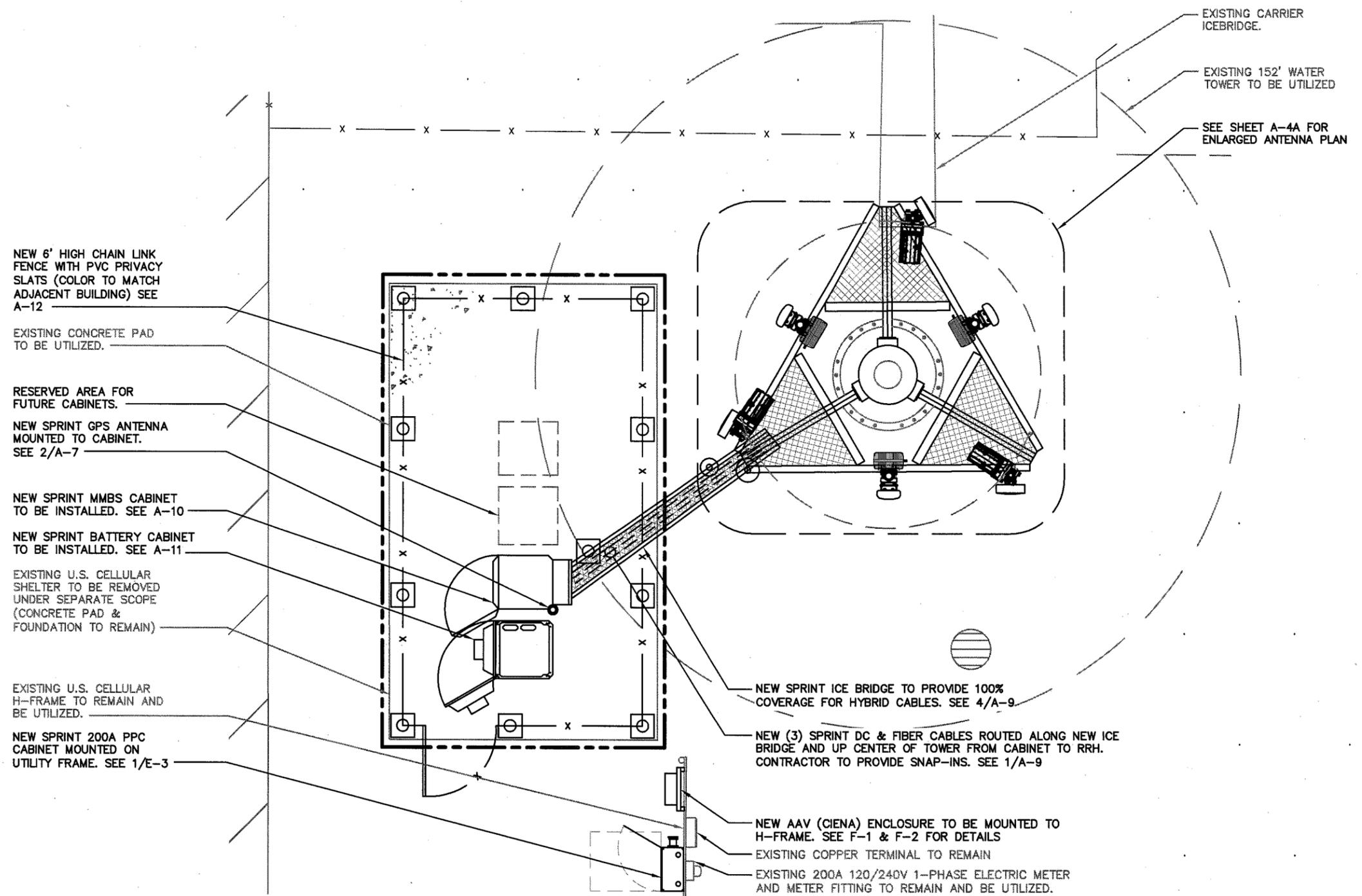
SHEET TITLE

NOTES

SHEET NUMBER

GN-2
116

NOTE:
 AN ANALYSIS OF THE TOWER OR STRUCTURE HAS BEEN PERFORMED BY W-T STRUCTURAL ENGINEERING, LLC DATED 10/06/14. THE ANTENNAS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND THE HEIGHT, LOCATION, AND MOUNTING SHOWN IN THE STRUCTURAL ANALYSIS SHOULD SUPERSEDE THESE DRAWINGS



NEW 6' HIGH CHAIN LINK FENCE WITH PVC PRIVACY SLATS (COLOR TO MATCH ADJACENT BUILDING) SEE A-12

EXISTING CONCRETE PAD TO BE UTILIZED.

RESERVED AREA FOR FUTURE CABINETS.

NEW SPRINT GPS ANTENNA MOUNTED TO CABINET. SEE 2/A-7

NEW SPRINT MMBS CABINET TO BE INSTALLED. SEE A-10

NEW SPRINT BATTERY CABINET TO BE INSTALLED. SEE A-11

EXISTING U.S. CELLULAR SHELTER TO BE REMOVED UNDER SEPARATE SCOPE (CONCRETE PAD & FOUNDATION TO REMAIN)

EXISTING U.S. CELLULAR H-FRAME TO REMAIN AND BE UTILIZED.

NEW SPRINT 200A PPC CABINET MOUNTED ON UTILITY FRAME. SEE 1/E-3

EXISTING CARRIER ICEBRIDGE.

EXISTING 152' WATER TOWER TO BE UTILIZED

SEE SHEET A-4A FOR ENLARGED ANTENNA PLAN

NEW SPRINT ICE BRIDGE TO PROVIDE 100% COVERAGE FOR HYBRID CABLES. SEE 4/A-9

NEW (3) SPRINT DC & FIBER CABLES ROUTED ALONG NEW ICE BRIDGE AND UP CENTER OF TOWER FROM CABINET TO RRH. CONTRACTOR TO PROVIDE SNAP-INS. SEE 1/A-9

NEW AAV (CIENA) ENCLOSURE TO BE MOUNTED TO H-FRAME. SEE F-1 & F-2 FOR DETAILS

EXISTING COPPER TERMINAL TO REMAIN

EXISTING 200A 120/240V 1-PHASE ELECTRIC METER AND METER FITTING TO REMAIN AND BE UTILIZED.

1 ENLARGED SITE PLAN
 SCALE: 1" = 5'-0"



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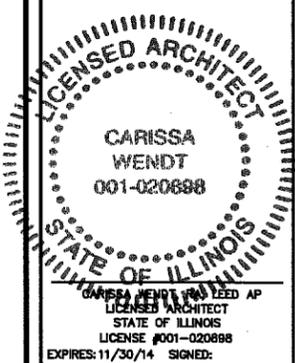
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PROJECT NO: T140633

DRAWN BY: SC

CHECKED BY: LAF

D	10.10.14	FNALS
D	09.24.14	RF UPDATE
C	07.17.14	FOR CLIENT REVIEW
B	07.16.14	REVISED LE
A	06.04.14	FOR CLIENT REVIEW



CH51XC435
USC 8831013
SUGAR GROVE
 75 RAILROAD ST.
 SUGAR GROVE, IL 60554

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
A-2
 119

ANTENNA SCHEDULE

ANTENNA TABLE

	AZIMUTH	TYPE	TYPE	COLOR CODE	MECH DOWN-TILT	EFFECTIVE DOWN-TILT	QTY.	MANUFACTURER	MODEL	HEIGHT	WIDTH	DEPTH	WEIGHT (LBS)	RAD CENTER
SECTOR 1	60°	ANTENNA	800 MHz 1900 MHz	G/Y/G G/Y/R	0	3	1	KMW	ET-X-TS-70-16-62-18-IR-RD	73.8"	11.8"	5.9"	41.9	168'-0"
	/	RRH	/	G			1	SAMSUNG	RRH-C2 W/EXT FILTER	18.1"	11"	15.4"	68.8	/
	/	RRH	/	G			1	SAMSUNG	RRH-P4	13.8"	23.8"	9"	60	/
	60°	ANTENNA	2500 MHz	G/G/Y/R	3	2	1	KMW	AW3266	61.0"	12.0"	4.0"	36.0	168'-0"
/	RRH	/	G/G			1	SAMSUNG	RRH-V3	15.5"	18.6"	7.48"	54	/	
SECTOR 2	180°	ANTENNA	800 MHz 1900 MHz	G/G/Y/G G/G/Y/R	0	3	1	KMW	APXV9ERR18-C-A20	72"	11.8"	7"	50	168'-0"
	/	RRH	/	G/G			1	SAMSUNG	RRH-C2 W/EXT FILTER	18.1"	11"	15.4"	68.8	/
	/	RRH	/	G/G			1	SAMSUNG	RRH-P4	13.8"	23.8"	9"	60	/
	180°	ANTENNA	2500 MHz	G/G/Y/R	3	3	1	ALPHA WIRELESS	AW3266	55.1"	11.8"	4.3"	35.2	168'-0"
/	RRH	/	G/G			1	SAMSUNG	RRH-V3	15.5"	18.6"	7.48"	54	/	
SECTOR 3	300°	ANTENNA	800 MHz 1900 MHz	G/G/G/Y/G G/G/G/Y/R	0	3	1	KMW	APXV9ERR18-C-A20	72"	11.8"	7"	50	168'-0"
	/	RRH	/	G/G/G			1	SAMSUNG	RRH-C2 W/EXT FILTER	18.1"	11"	15.4"	68.8	/
	/	RRH	/	G/G/G			1	SAMSUNG	RRH-P4	13.8"	23.8"	9"	60	/
	300°	ANTENNA	2500 MHz	G/G/Y/R	3	2	1	KMW	ET-X-WM-18-65-8P	61.0"	12.0"	4.0"	36.0	168'-0"
/	RRH	/	G/G			1	SAMSUNG	RRH-V3	15.5"	18.6"	7.48"	54	/	

COAX CABLE TABLE

TYPE	QUANTITY	MANUFACTURER	MODEL	DIAMETER	WEIGHT	LENGTH		
FIBER CABLE	1 PER SECTOR	SAMSUNG	HFC	1-1/2"	0.8 lb/ft	(210') (64.00 m) (TYPE 3) SECTOR 1	(210') (64.00 m) (TYPE 3) SECTOR 2	(210') (64.00 m) (TYPE 3) SECTOR 3
GPS	1	PCTEL	GPS-TMG-HR-26NCM	1/2" LMR-400 PCTEL	TBD	15'		
TOP JUMPERS	27	VARIOUS	VARIOUS	1/2"	TBD	6'		
RET	6	ANDREW	ATCB-B01-003	.315"	TBD	3M 9.8'		

ANTENNA MOUNTING NOTES

- APPROXIMATE LENGTH OF (1) HYBRID CABLE RUN = APPROX. LENGTH OF ICE BRIDGE + ANTENNA MOUNTING HEIGHT + 20 FEET
- CONTRACTOR SHALL VERIFY THE DOWNTILT OF EACH ANTENNA WITH A DIGITAL LEVEL.
- CONTRACTOR TO CONFIRM HYBRID CABLE COLOR CODING PRIOR TO CONSTRUCTION.

CABLE MARKING NOTES

- ALL CABLES SHALL BE MARKED WITH 2" WIDE, UV STABILIZED, UL APPROVED TAPE.
- THE FIRST RING SHALL BE CLOSEST TO THE END OF THE CABLE AND SPACED APPROXIMATELY 2" FROM THE END CONNECTOR, WEATHERPROOFING, OR BREAK-OUT CYLINDER. THERE SHALL BE 1" SPACE BETWEEN EACH RING.
- A 2" GAP SHALL SEPARATE THE CABLE COLOR CODE FROM THE FREQUENCY COLOR CODE. THE 2" COLOR RINGS FOR THE FREQUENCY CODE SHALL BE PLACED NEXT TO EACH OTHER WITH NO SPACES.
- THE 2" COLORED TAPE(S) SHALL BE WRAPPED A MINIMUM OF 3 TIMES AROUND THE INDIVIDUAL CABLES, AND THE TAPE SHALL BE KEPT IN THE SAME LOCATION AS MUCH AS POSSIBLE.
- SITES WITH MORE THAN FOUR (4) SECTORS WILL REQUIRE ADDITIONAL RINGS FOR EACH SECTOR, FOLLOWING THE PATTERN. HIGH CAPACITY SITES WILL USE THE SECOND CABLE IDENTIFIED BY BLUE BANDS OF TAPE
- HYBRID FIBER CABLE SHALL BE SECTOR IDENTIFIED INSIDE THE CABINET ON FREQUENCY BUNDLES, ON THE SEALTITE, ON THE MAIN LINE UPON EXIT OF SEALTITE, AND BEFORE AND AFTER THE BREAKOUT UNIT (MEDUSA), AS WELL AS BEFORE AND AFTER ANY ENTRANCE OR EXIT.
- HFC "MAIN TRUNK" WILL NOT BE MARKED WITH THE FREQUENCY CODES, AS IT CONTAINS ALL FREQUENCIES.
- INDIVIDUAL POWER PAIRS AND FIBER BUNDLES SHALL BE LABELED WITH BOTH THE CABLE AND FREQUENCY.

COAXIAL CABLE COLOR CODE

SECTOR	CABLE	FIRST RING	SECOND RING	THIRD RING
1 ALPHA	1	G	N/A	N/A
	2	BLU	N/A	N/A
	3	BR	N/A	N/A
	4	WHT	N/A	N/A
	5	R	N/A	N/A
	6	GRY	N/A	N/A
	7	PUR	N/A	N/A
	8	ORG	N/A	N/A
2 BETA	1	N/A	G/G	N/A
	2	N/A	BLU/BLU	N/A
	3	N/A	BR/BR	N/A
	4	N/A	WHT/WHT	N/A
	5	N/A	R/R	N/A
	6	N/A	GRY/GRY	N/A
	7	N/A	PUR/PUR	N/A
	8	N/A	ORG/ORG	N/A
3 GAMMA	1	N/A	N/A	G/G/G
	2	N/A	N/A	BLU/BLU/BLU
	3	N/A	N/A	BR/BR/BR
	4	N/A	N/A	WHT/WHT/WHT
	5	N/A	N/A	R/R/R
	6	N/A	N/A	GRY/GRY/GRY
	7	N/A	N/A	PUR/PUR/PUR
	8	N/A	N/A	ORG/ORG/ORG

FINAL BULD: 1 RADIO CABINET, 1 BATTERY CABINET, 6 ANTENNAS, 3 HYBRID CABLES

HYBRID FIBER CABLE

SECTOR	CABLE	1ST RING	2ND RING	3RD RING	4TH RING
1	1	G	N/A	N/A	N/A
	2	BLU	N/A	N/A	N/A
2	1	G	G	N/A	N/A
	2	BLU	BLU	N/A	N/A
3	1	G	G	G	N/A
	2	BLU	BLU	BLU	N/A
4	1	G	G	G	G
	2	BLU	BLU	BLU	BLU

FREQUENCY COLOR CODE

FREQUENCY	INDICATOR	ID
800 #1	YELLOW	G
1900 #1	YELLOW	R
1900 #2	YELLOW	BR
1900 #3	YELLOW	BLU
1900 #4	YELLOW	SLT
800 #2	YELLOW	ORG



6100 PARKWAY, US OP01 1C620
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D	10.10.14	FNALS
D	09.24.14	RF UPDATE
C	07.17.14	FOR CLIENT REVIEW
B	07.16.14	REVISED LE
A	06.11.14	FOR CLIENT REVIEW



CARISSA WENDT, RA, LEED AP
LICENSED ARCHITECT
STATE OF ILLINOIS
LICENSE #001-020898
EXPIRES: 11/30/14 SIGNED:

**CH51XC435
USC 8831013
SUGAR GROVE**

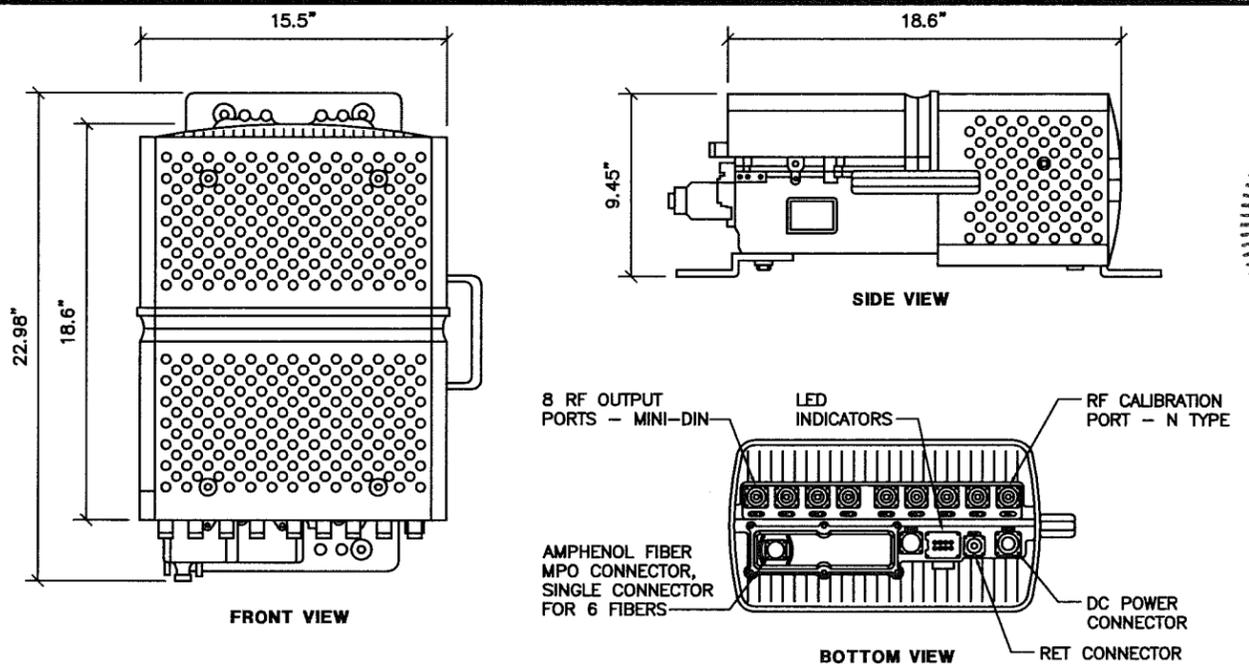
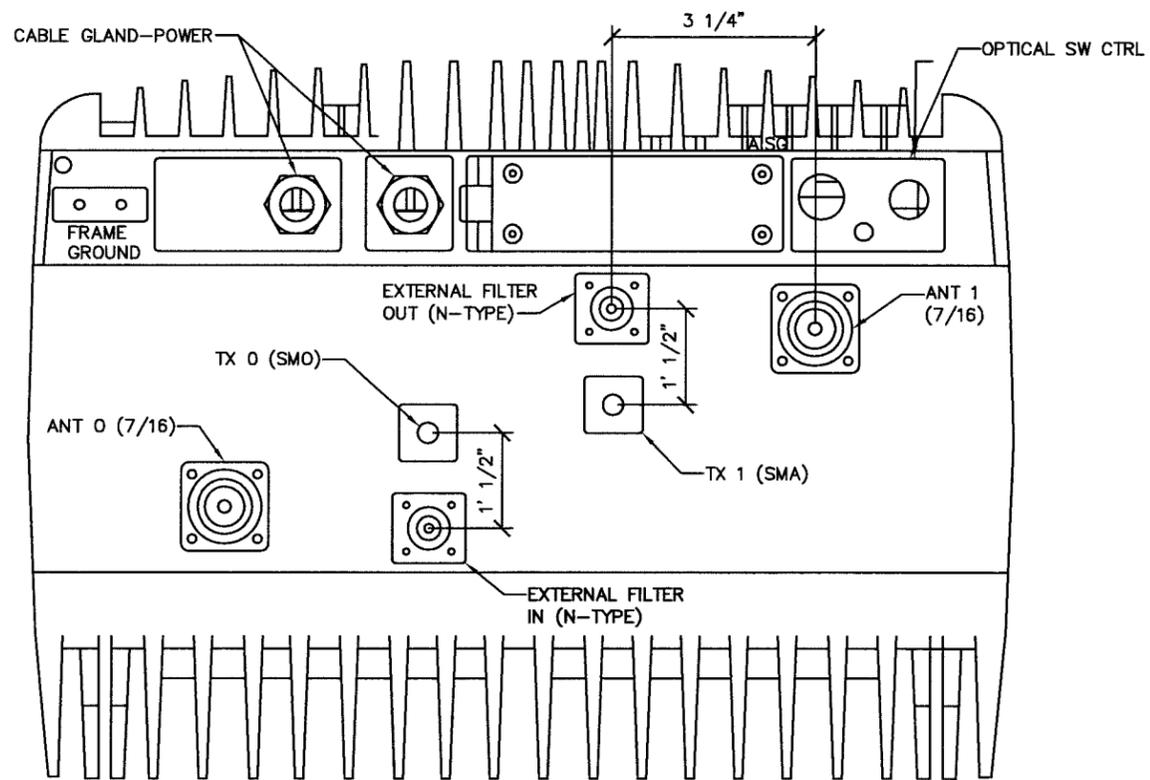
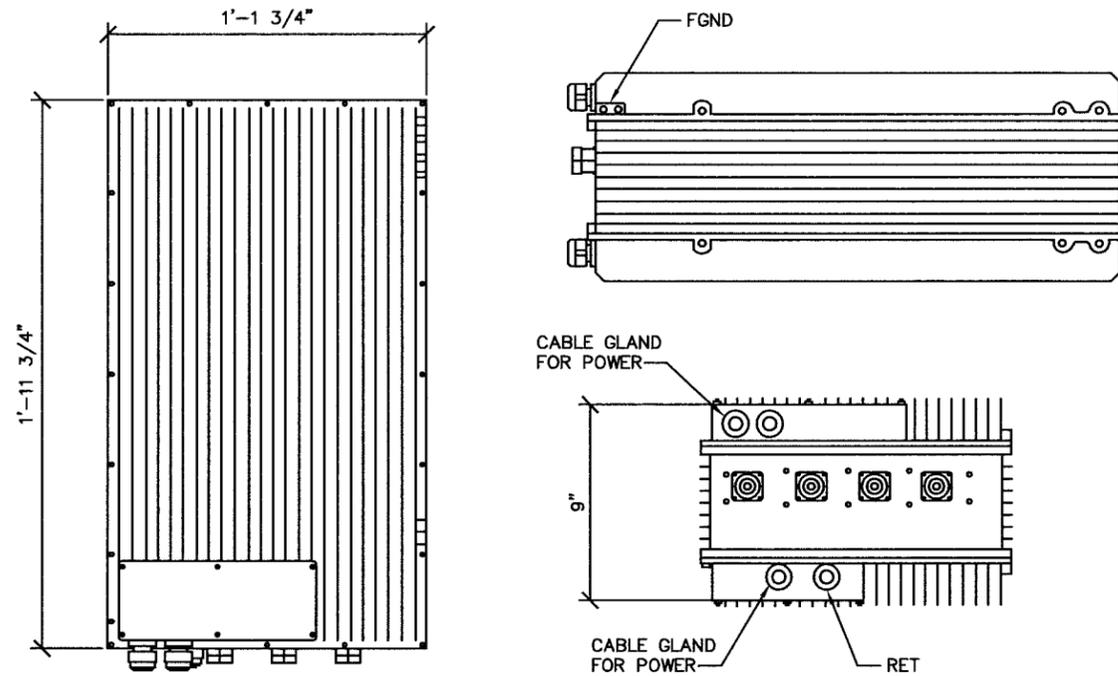
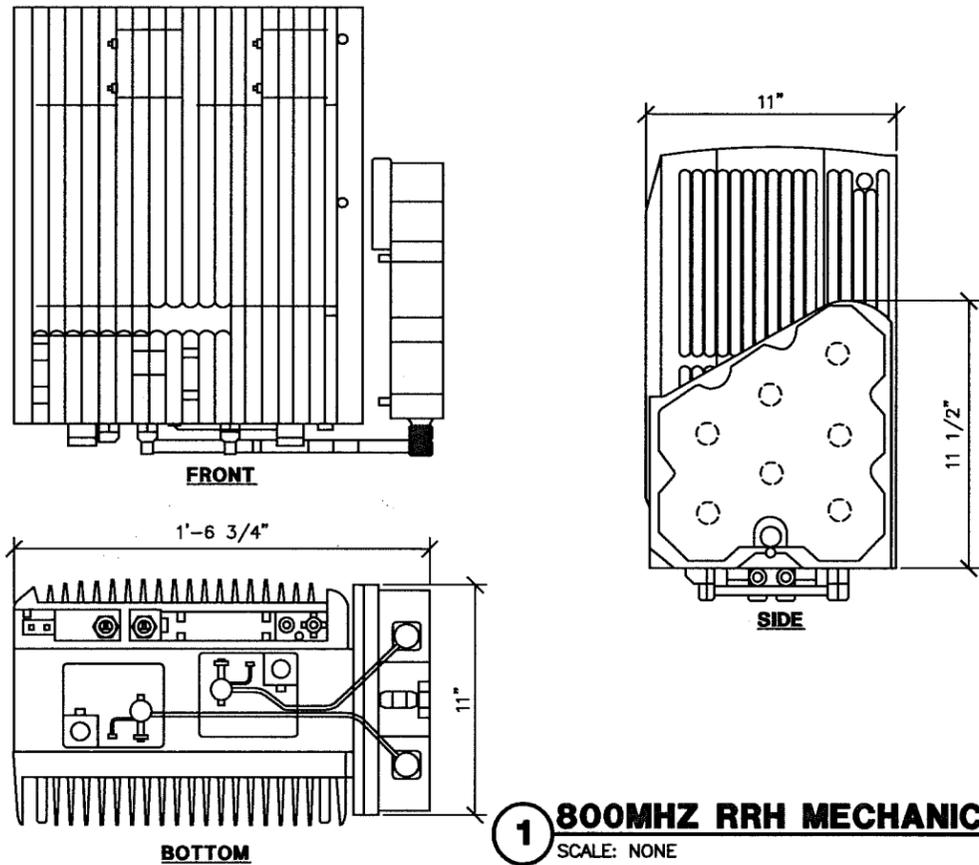
75 RAILROAD ST.
SUGAR GROVE, IL 60554

SHEET TITLE

CABLE CHART

SHEET NUMBER

A-4
121



DIMENSIONS, HxWxD: (18.6"x15.5"x9.45")
 RRU WEIGHT: 59.5 lbs
 MOUNTING KIT WEIGHT: 12.32 lbs



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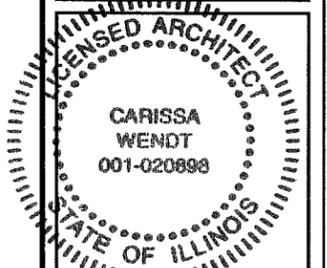
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CARISSA WENDT, RA, LEED AP
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USC 8831013
SUGAR GROVE

75 RAILROAD ST.
 SUGAR GROVE, IL 60554

SHEET TITLE
ANTENNA RRH
 DETAILS

SHEET NUMBER

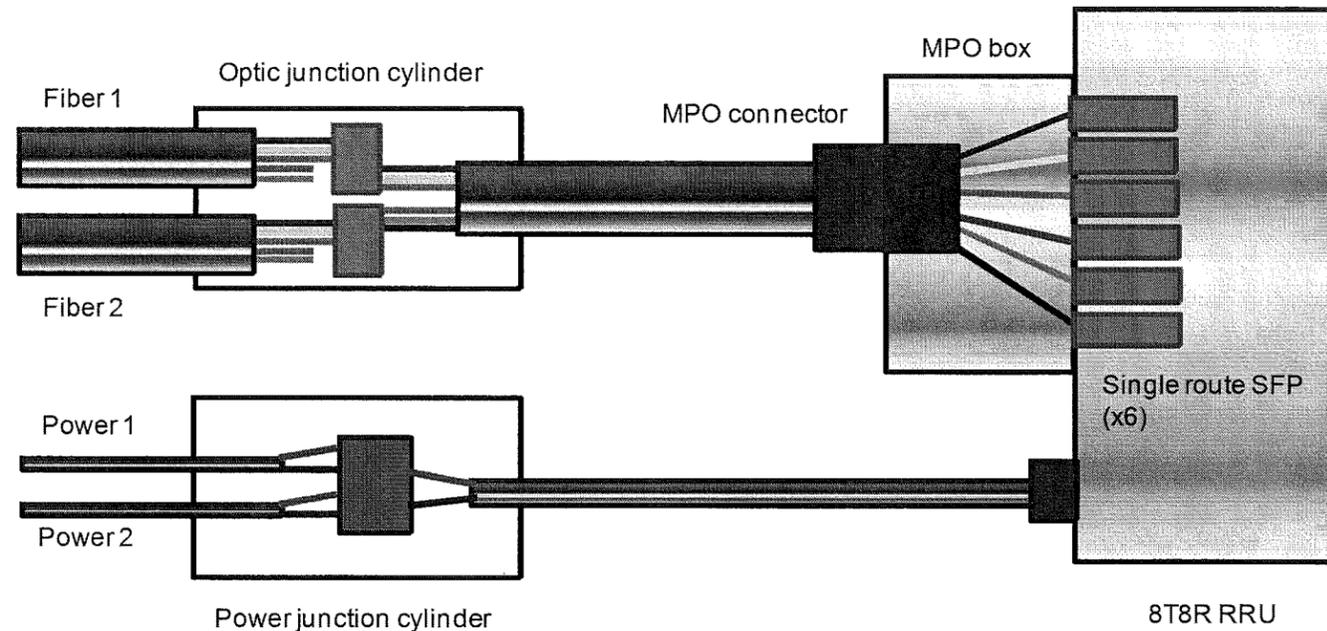
A-6
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ANTENNA MOUNTING NOTES

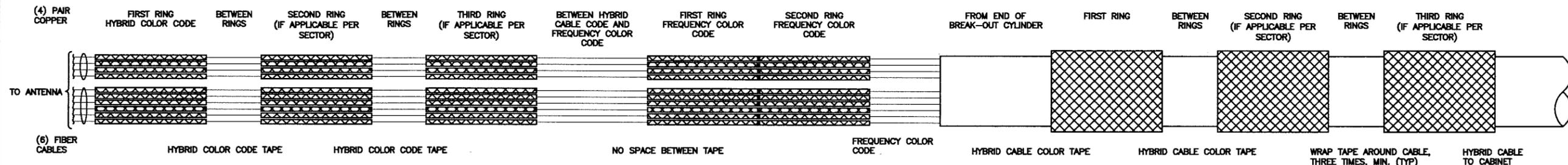
1. APPROXIMATE LENGTH OF (1) HYBRID CABLE RUN = APPROX. LENGTH OF ICE BRIDGE + ANTENNA MOUNTING HEIGHT + 20 FEET
2. CONTRACTOR SHALL VERIFY THE DOWNTILT OF EACH ANTENNA WITH A DIGITAL LEVEL.
3. CONTRACTOR TO CONFIRM HYBRID CABLE COLOR CODING PRIOR TO CONSTRUCTION.

CABLE MARKING NOTES

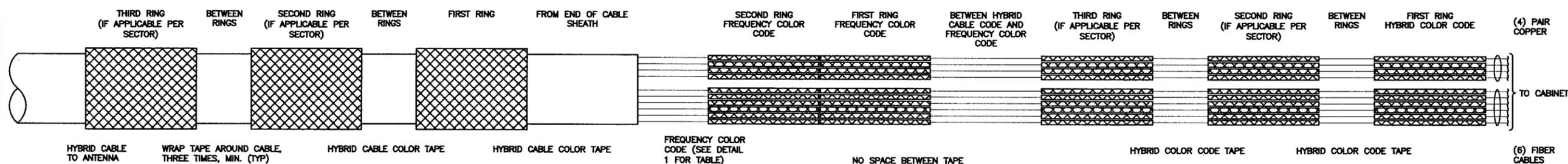
1. ALL CABLES SHALL BE MARKED WITH 2" WIDE, UV STABILIZED, UL APPROVED TAPE.
2. THE FIRST RING SHALL BE CLOSEST TO THE END OF THE CABLE AND SPACED APPROXIMATELY 2" FROM THE END CONNECTOR, WEATHERPROOFING, OR BREAKOUT UNIT. THERE SHALL BE 1" SPACE BETWEEN EACH RING.
3. A 2" GAP SHALL SEPARATE THE CABLE COLOR CODE FROM THE FREQUENCY COLOR CODE. THE 2" COLOR RINGS FOR THE FREQUENCY CODE SHALL BE PLACED NEXT TO EACH OTHER WITH NO SPACES.
4. THE 2" COLORED TAPE(S) SHALL BE WRAPPED A MINIMUM OF 3 TIMES AROUND THE INDIVIDUAL CABLES, AND THE TAPE SHALL BE KEPT IN THE SAME LOCATION AS MUCH AS POSSIBLE.
5. SITES WITH MORE THAN FOUR (4) SECTORS WILL REQUIRE ADDITIONAL RINGS FOR EACH SECTOR, FOLLOWING THE PATTERN. HIGH CAPACITY SITES WILL USE THE SECOND CABLE IDENTIFIED BY BLUE BANDS OF TAPE
6. HYBRID FIBER CABLE SHALL BE SECTOR IDENTIFIED INSIDE THE CABINET ON FREQUENCY BUNDLES, ON THE SEALTITE, ON THE MAIN LINE UPON EXIT OF SEALTITE, AND BEFORE AND AFTER THE BREAKOUT UNIT (MEDUSA), AS WELL AS BEFORE AND AFTER ANY ENTRANCE OR EXIT.
7. HFC "MAIN TRUNK" WILL NOT BE MARKED WITH THE FREQUENCY CODES, AS IT CONTAINS ALL FREQUENCIES.
8. INDIVIDUAL POWER PAIRS AND FIBER BUNDLES SHALL BE LABELED WITH BOTH THE CABLE AND FREQUENCY.



1 JUNCTION CYLINDER DETAIL
SCALE: NONE



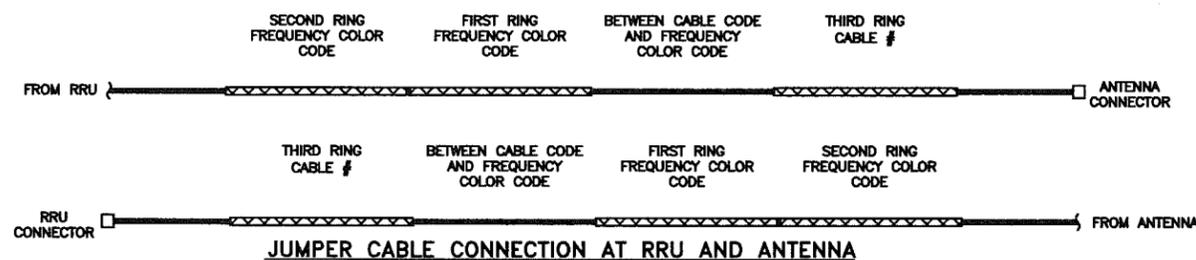
HYBRID CABLE CONNECTION AT ANTENNA



HYBRID CABLE CONNECTION AT CABINET

NOTES

1. ALL CABLES SHALL BE MARKED AT THE TOP AND BOTTOM WITH 2" COLORED TAPE OR STENCIL TAG. COLOR TAPE SHALL BE OBTAINED FROM GRAYBAR ELECTRIC.
2. THE FIRST RING SHALL BE CLOSEST TO THE END OF THE CABLE AND SPACED APPROXIMATELY 2" FROM AN END CONNECTOR, WEATHERPROOFING, OR BREAK-OUT CYLINDER, WITH 1" SPACE BETWEEN EACH RING.
3. THE HYBRID CABLE COLOR SHALL BE APPLIED IN ACCORDANCE WITH THE "TYPICAL HYBRID CABLE COLOR CODE" TABLE ABOVE FOR THE RESPECTIVE SECTOR.
4. INDIVIDUAL POWER PAIRS AND FIBER CABLES SHALL BE LABELED WITH BOTH THE HYBRID CABLE COLOR FOR THE RESPECTIVE SECTOR AND A FREQUENCY COLOR CODE IN ACCORDANCE WITH THE "FREQUENCY COLOR CODE FOR PAIRS AND FIBER CABLES OF HYBRID CABLE" TABLE ABOVE.
5. A 2" GAP SHALL SEPARATE THE HYBRID CABLE COLOR CODE FROM THE FREQUENCY COLOR CODE.
6. THE 2" COLOR RINGS FOR THE FREQUENCY CODE SHALL BE PLACED NEXT TO EACH OTHER WITH NO SPACES.
7. THE 2" COLORED TAPE(S) SHALL EACH BE WRAPPED A MINIMUM OF 3 TIMES AROUND THE HYBRID CABLE OR INDIVIDUAL CABLES, AND THE TAPE SHALL BE KEPT IN THE SAME LOCATION AS MUCH AS POSSIBLE.
8. COLOR BAND ON JUMPERS SHALL BE 1" WIDE WITH A 1" SPACE.



JUMPER CABLE CONNECTION AT RRU AND ANTENNA

2 HYBRID COLOR CODING
SCALE: NONE



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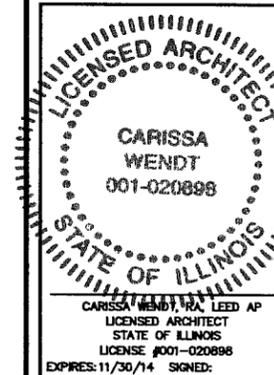
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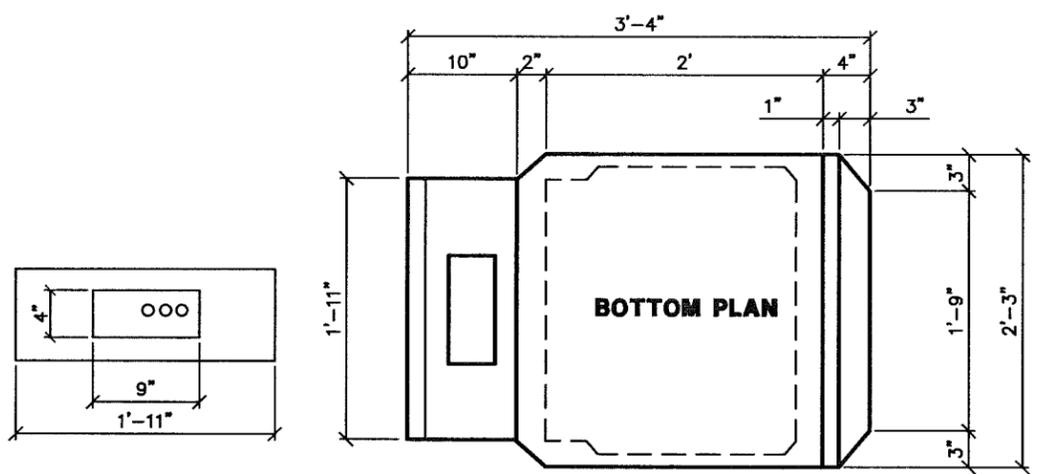
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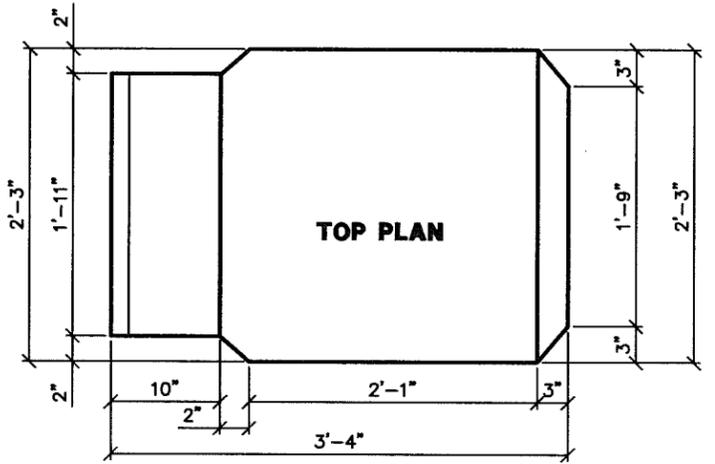
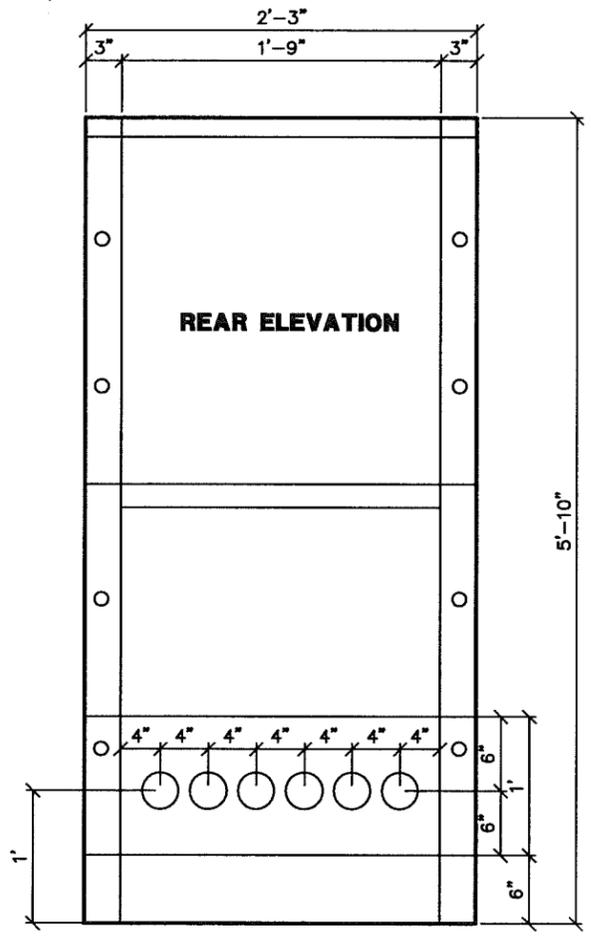
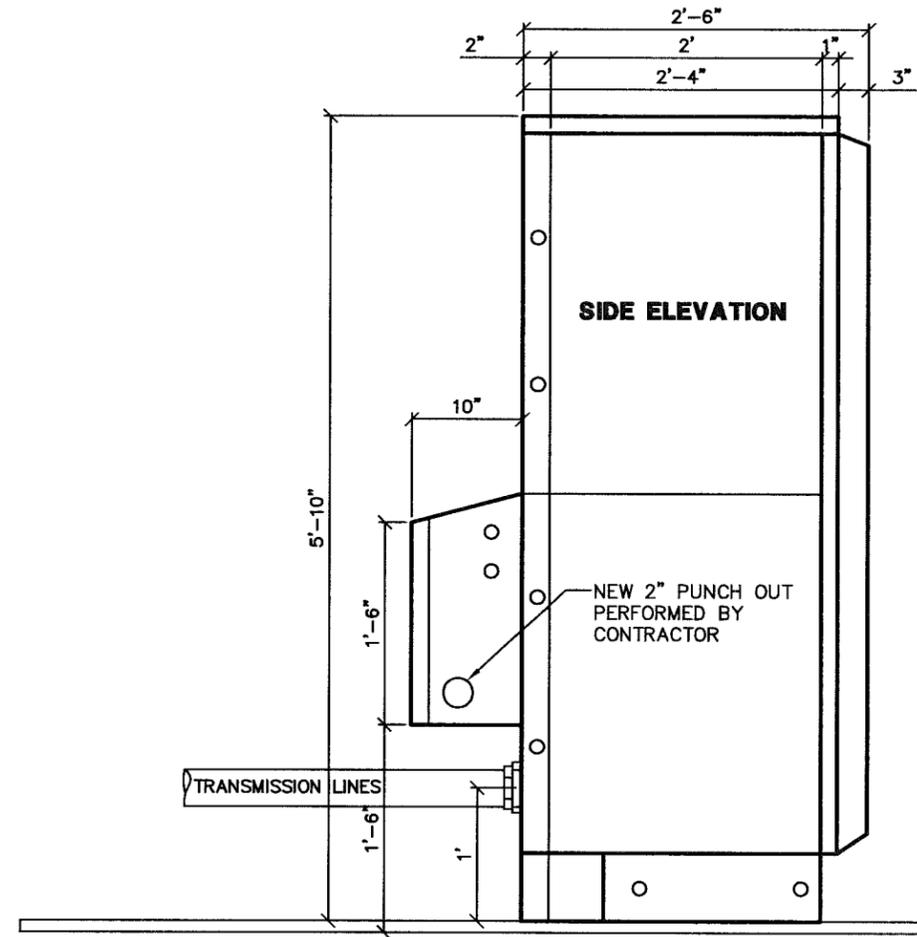
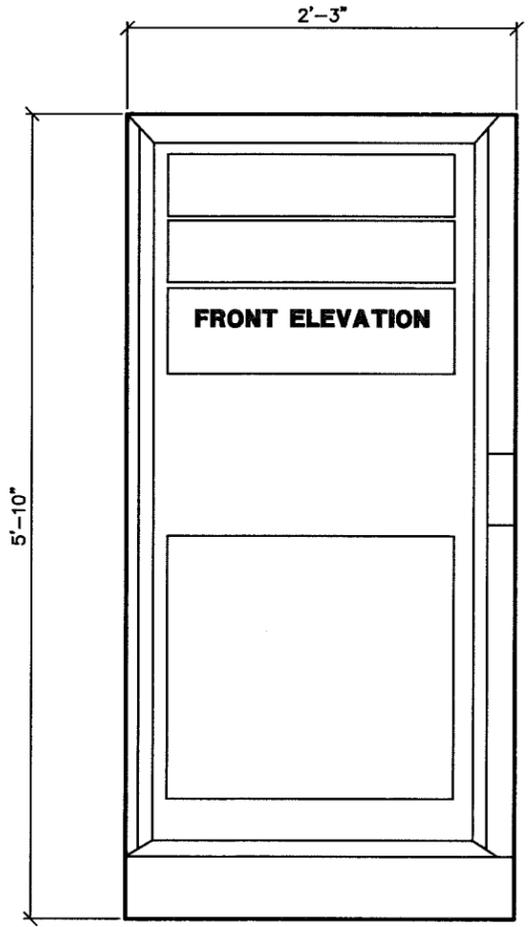
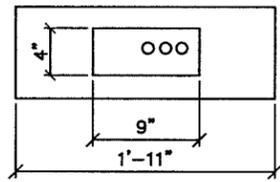
SHEET TITLE
HYBRID DETAILS

SHEET NUMBER
A-6A
126

NOTE:
CONTRACTOR TO
MOUNT ALL EQUIPMENT
PER MANUFACTURER'S
SPECIFICATIONS



SAMSUNG RF CABINET
MIN. CABINET CLEARANCE
RF CABINET
- FRONT- 36"
- REAR- 36"
- LEFT- 12"
WEIGHT: 660 LBS.



1 RF CABINET
SCALE: 3/4" = 1' (FOR REFERENCE ONLY)



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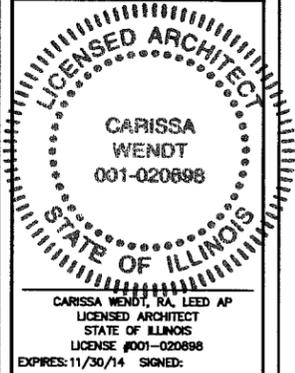


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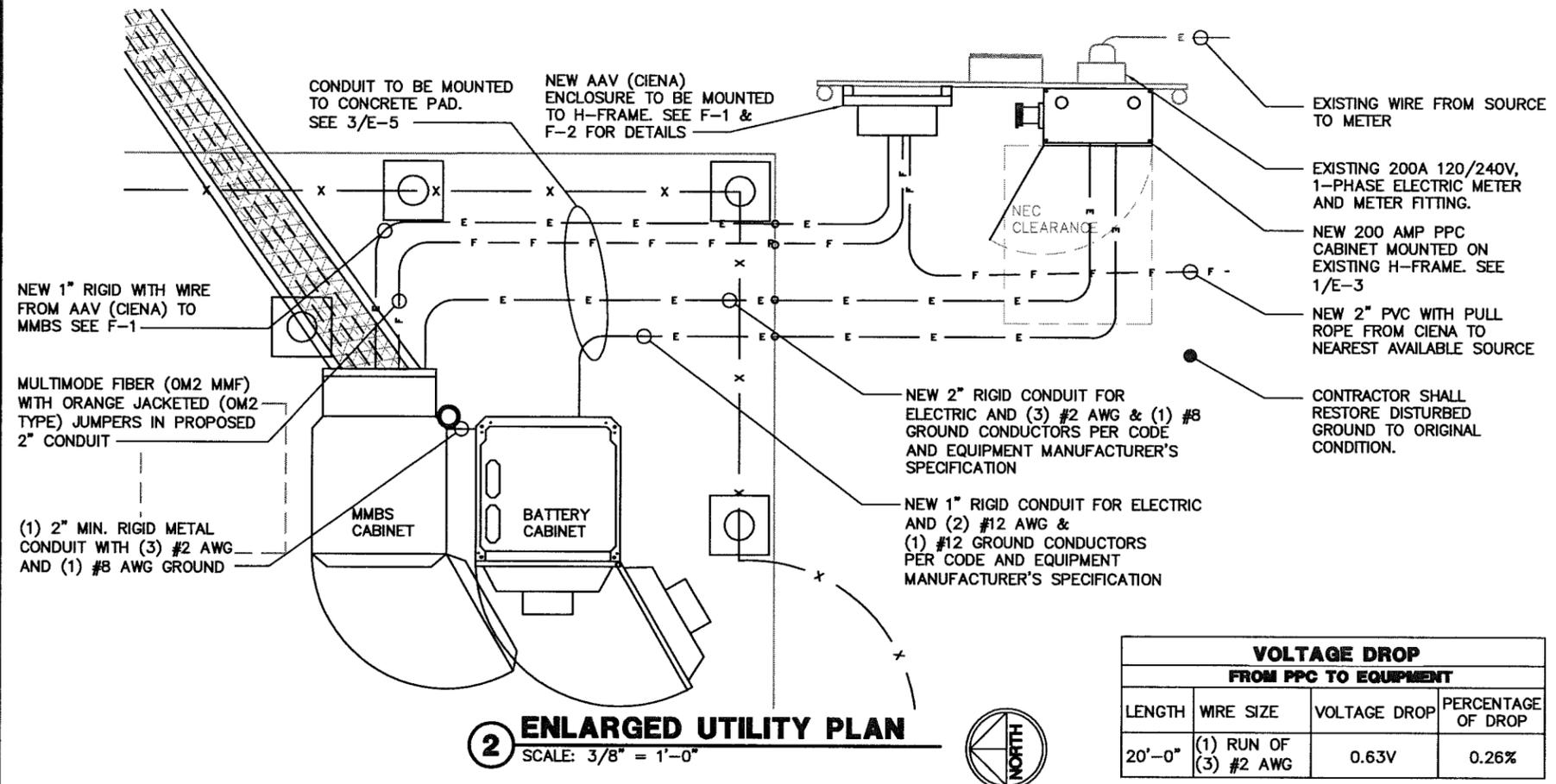
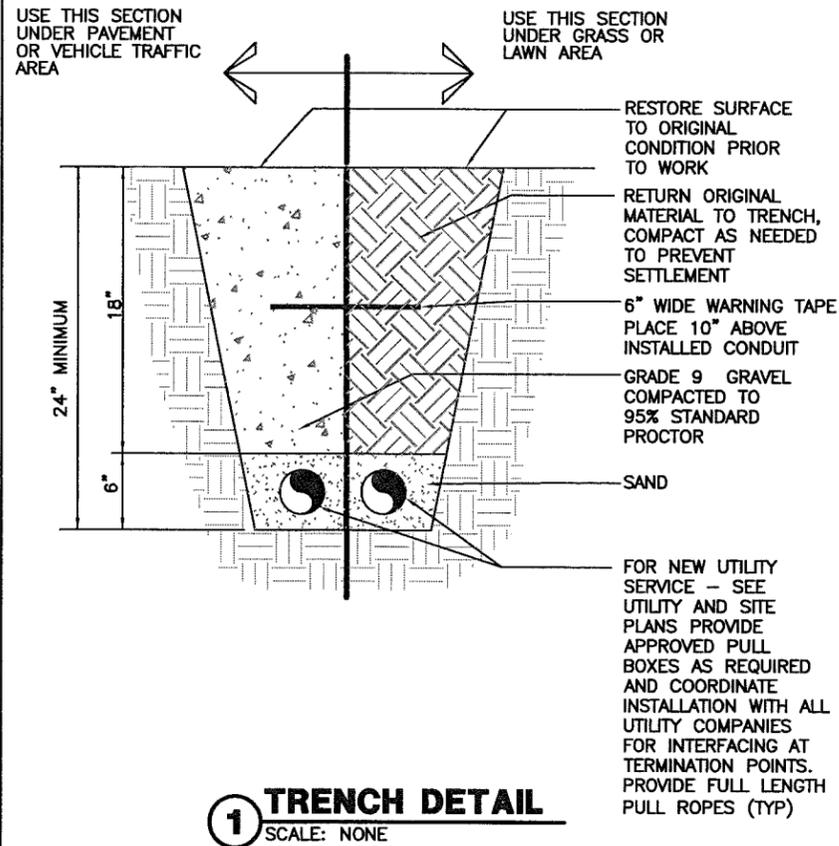
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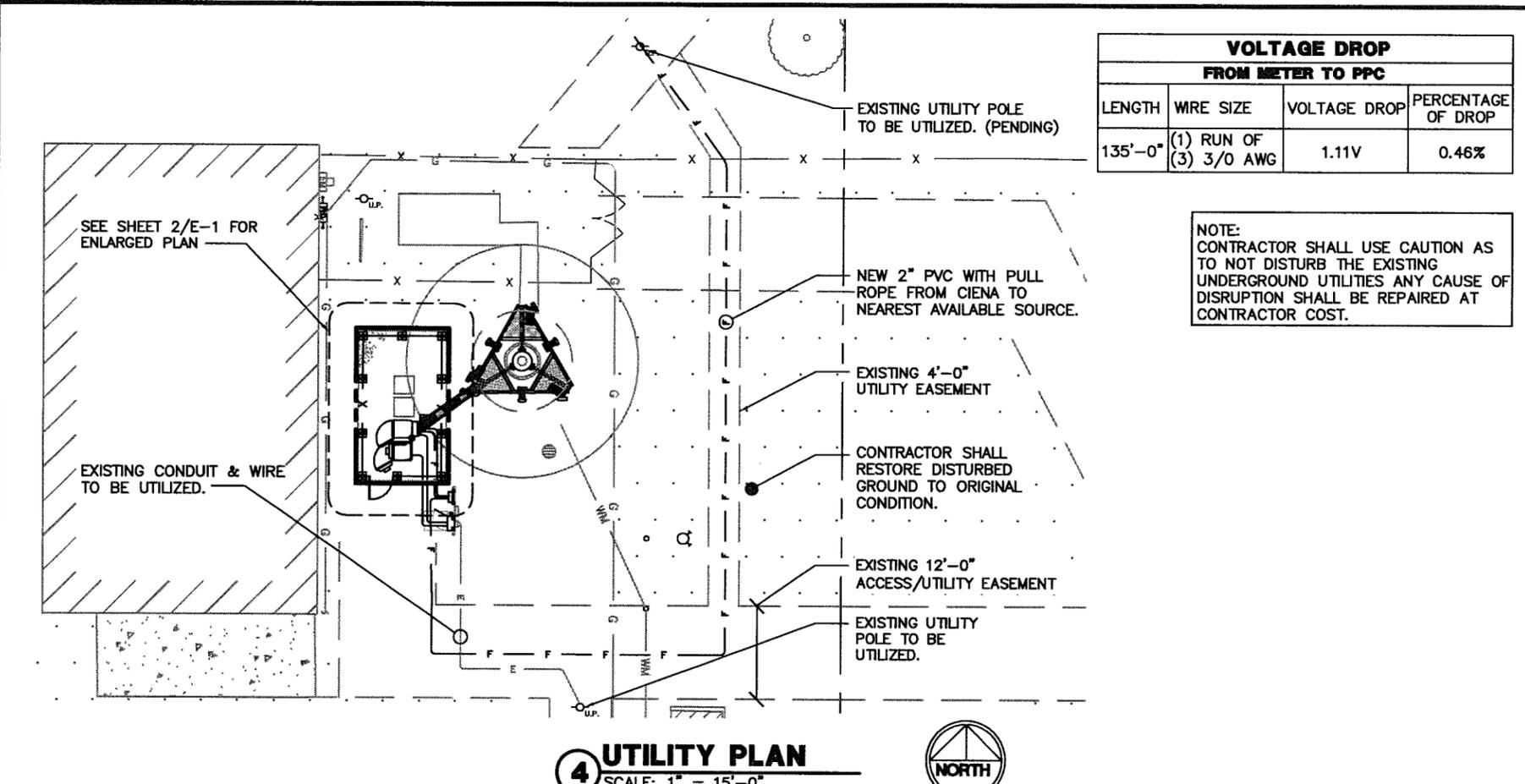
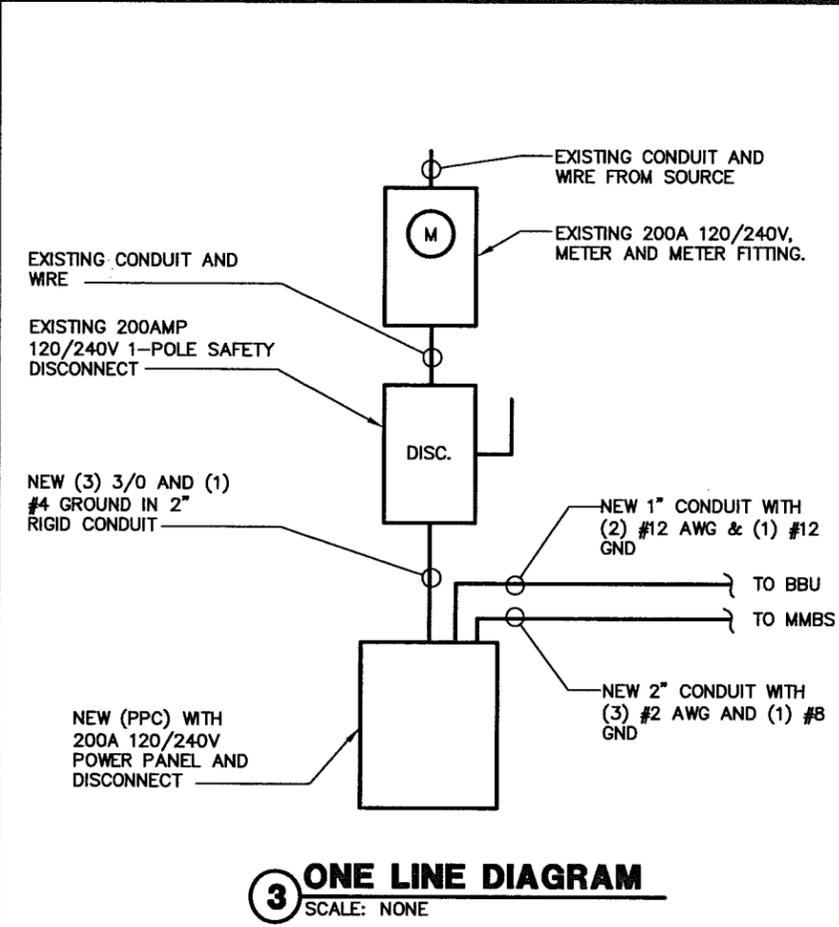
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USC 8831013
SUGAR GROVE**
75 RAILROAD ST.
SUGAR GROVE, IL 60554

SHEET TITLE
**RF CABINET
DETAILS**

SHEET NUMBER
**A-10
131**



VOLTAGE DROP FROM PPC TO EQUIPMENT			
LENGTH	WIRE SIZE	VOLTAGE DROP	PERCENTAGE OF DROP
20'-0"	(1) RUN OF (3) #2 AWG	0.63V	0.26%



VOLTAGE DROP FROM METER TO PPC			
LENGTH	WIRE SIZE	VOLTAGE DROP	PERCENTAGE OF DROP
135'-0"	(1) RUN OF (3) 3/0 AWG	1.11V	0.46%

NOTE: CONTRACTOR SHALL USE CAUTION AS TO NOT DISTURB THE EXISTING UNDERGROUND UTILITIES ANY CAUSE OF DISRUPTION SHALL BE REPAIRED AT CONTRACTOR COST.

Sprint

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OVERLAND PARK, KS 66251

WT

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LICENSED ARCHITECT

CARISSA WENDT
001-020898

STATE OF ILLINOIS

CARISSA WENDT, RA, LEED AP
LICENSED ARCHITECT
STATE OF ILLINOIS
LICENSE #001-020898
EXPIRES: 11/30/14 SIGNED:

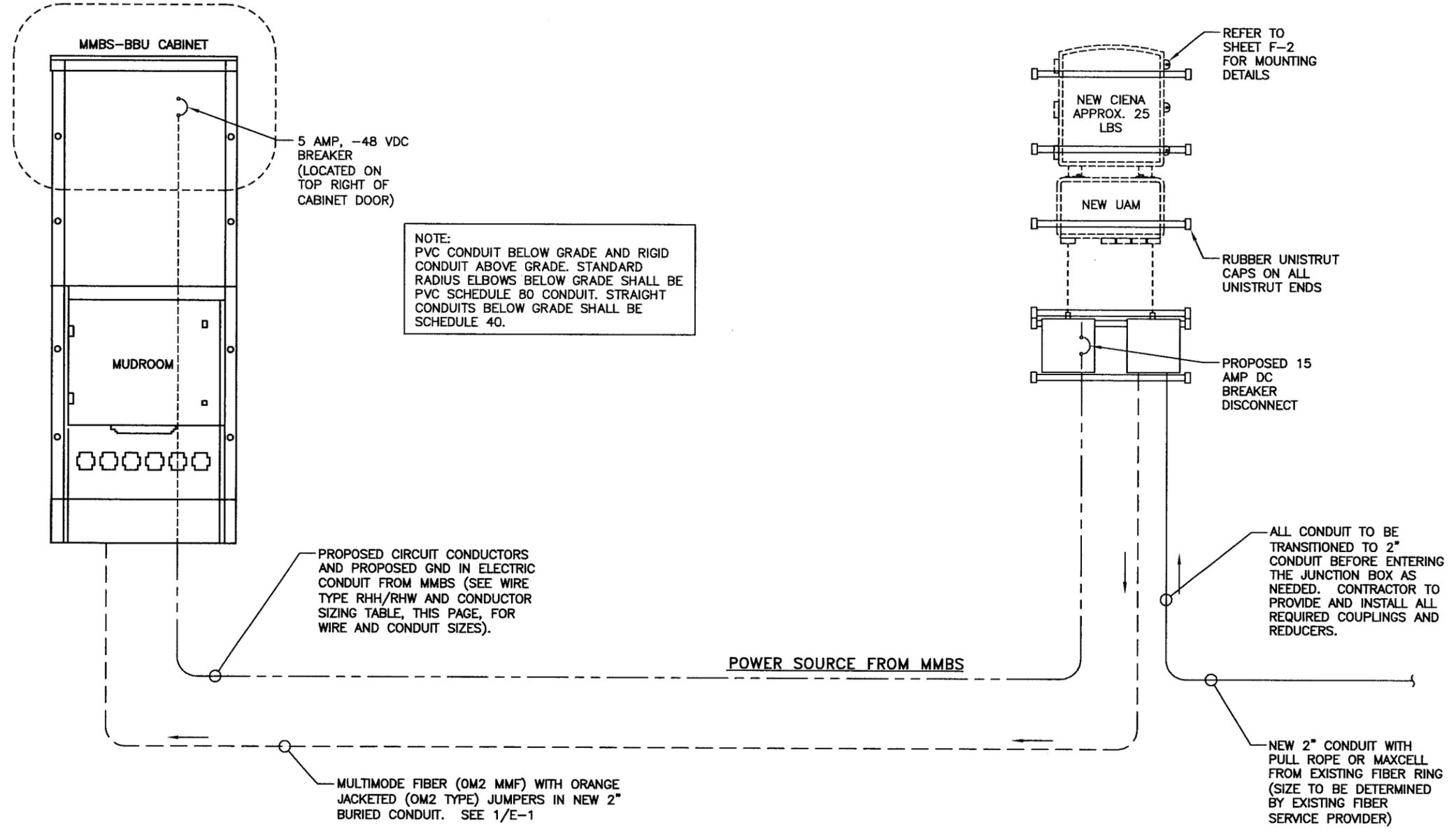
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USC 8831013
SUGAR GROVE

75 RAILROAD ST.
SUGAR GROVE, IL 60554

SHEET TITLE
UTILITY PLAN

SHEET NUMBER
E-1
134

**TYPICAL AAV
(CIENA) POWER
SOURCE
INSTALLATION**



NOTE:
PVC CONDUIT BELOW GRADE AND RIGID
CONDUIT ABOVE GRADE. STANDARD
RADIUS ELBOWS BELOW GRADE SHALL BE
PVC SCHEDULE 80 CONDUIT. STRAIGHT
CONDUITS BELOW GRADE SHALL BE
SCHEDULE 40.

PROPOSED CIRCUIT CONDUCTORS
AND PROPOSED GND IN ELECTRIC
CONDUIT FROM MMBS (SEE WIRE
TYPE RHH/RHW AND CONDUCTOR
SIZING TABLE, THIS PAGE, FOR
WIRE AND CONDUIT SIZES).

MULTIMODE FIBER (OM2 MMF) WITH ORANGE
JACKETED (OM2 TYPE) JUMPERS IN NEW 2"
BURIED CONDUIT. SEE 1/E-1

REFER TO
SHEET F-2
FOR MOUNTING
DETAILS

RUBBER UNISTRUT
CAPS ON ALL
UNISTRUT ENDS

PROPOSED 15
AMP DC
BREAKER
DISCONNECT

ALL CONDUIT TO BE
TRANSITIONED TO 2"
CONDUIT BEFORE ENTERING
THE JUNCTION BOX AS
NEEDED. CONTRACTOR TO
PROVIDE AND INSTALL ALL
REQUIRED COUPLINGS AND
REDUCERS.

NEW 2" CONDUIT WITH
PULL ROPE OR MAXCELL
FROM EXISTING FIBER RING
(SIZE TO BE DETERMINED
BY EXISTING FIBER
SERVICE PROVIDER)

NOTES

1. CONTRACTOR SHALL FOLLOW ALL LOCAL MUNICIPAL CODES FOR CONDUIT SPECIFICATION AND INSTALLATION
2. ALL UNISTRUT ENDS SHALL BE COLD-GALVANIZED AND CAPPED.
3. ALL ABOVE GROUND CONDUIT WILL BE RIGID.

WIRE TYPE RHH/RHW AND CONDUCTOR SIZING TABLE (48 VDC @ 96W/20 AMPS)					
DISTANCE (FT)	0'-100'	100'-180'	180'-280'	280'-460'	460'-720'
CIRCUIT CONDUCTOR SIZE	(2) #14 AWG	(2) #12 AWG	(2) #10 AWG	(2) #8 AWG	(2) #6 AWG
GND CONDUCTOR SIZE	(1) #14 AWG	(1) #14 AWG	(1) #12 AWG	(1) #12 AWG	(1) #10 AWG
CONDUIT SIZE	1"	1"	1"	1"	1"

1 ONE-LINE DIAGRAM
SCALE: N.T.S.



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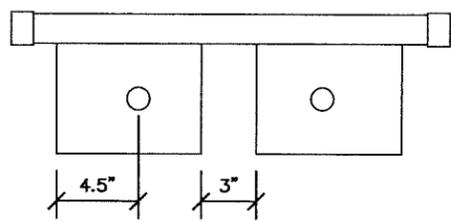
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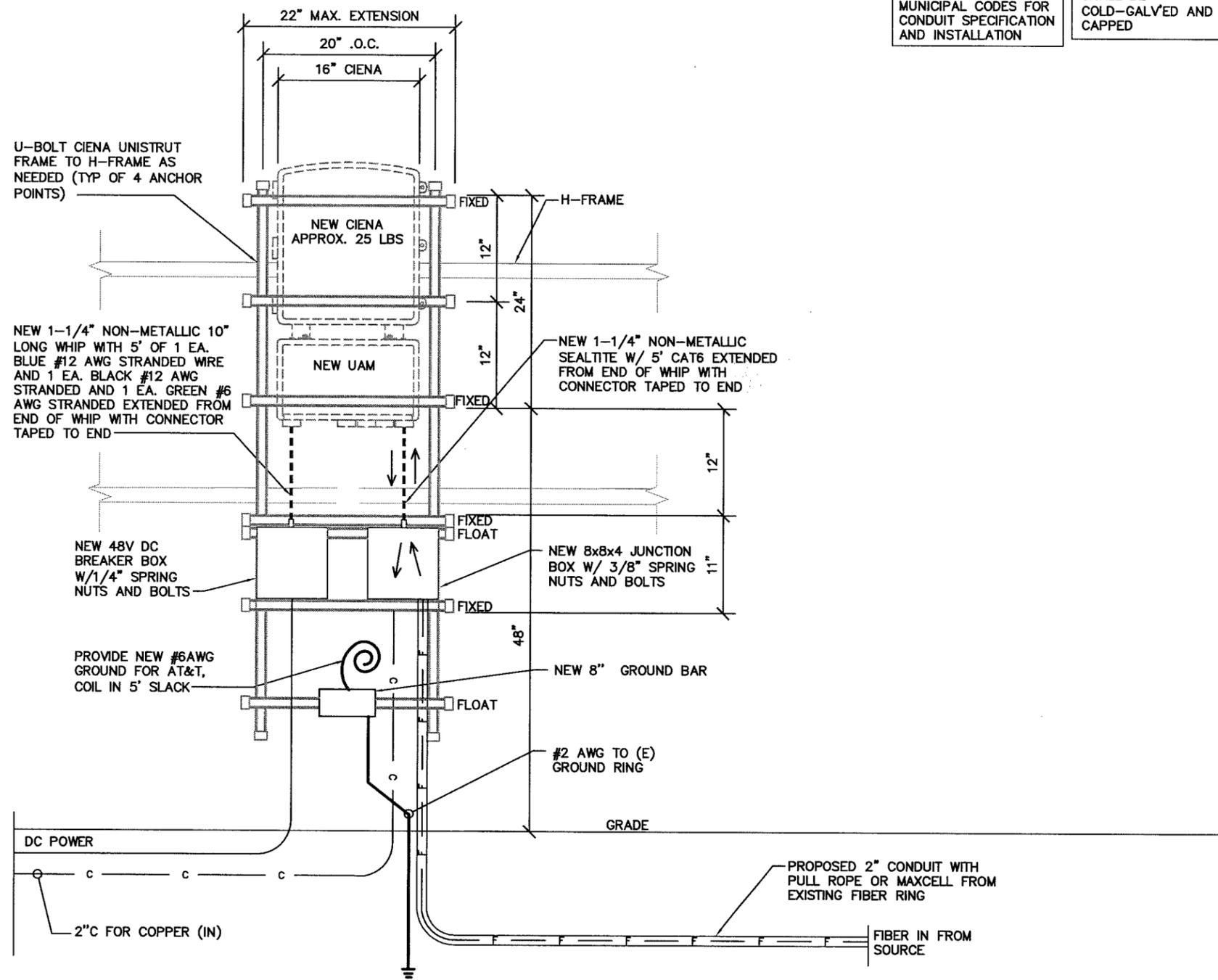
SHEET TITLE
**FIBER ONE-LINE
DIAGRAM**

SHEET NUMBER

F-1
139



TOP VIEW



NOTE:
CONTRACTOR SHALL
FOLLOW ALL LOCAL
MUNICIPAL CODES FOR
CONDUIT SPECIFICATION
AND INSTALLATION

NOTE:
ALL UNISTRUT ENDS
SHALL BE
COLD-GALVED AND
CAPPED

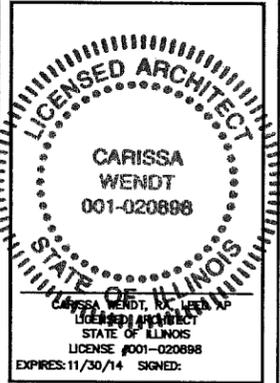


6100 PARKWAY, US OP01 1C620
OVERLAND PARK, KS 66251

WT
W-T COMMUNICATION
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PROJECT NO:	T140633
DRAWN BY:	SC
CHECKED BY:	LAF

D	10.10.14	FNALS
D	09.24.14	RF UPDATE
C	07.17.14	FOR CLIENT REVIEW
B	07.16.14	REVISED LE
A	06.04.14	FOR CLIENT REVIEW



CH51XC435
USC 8831013
SUGAR GROVE
75 RAILROAD ST.
SUGAR GROVE, IL 60554

SHEET TITLE
FIBER CIENA DETAILS

SHEET NUMBER
F-2
140

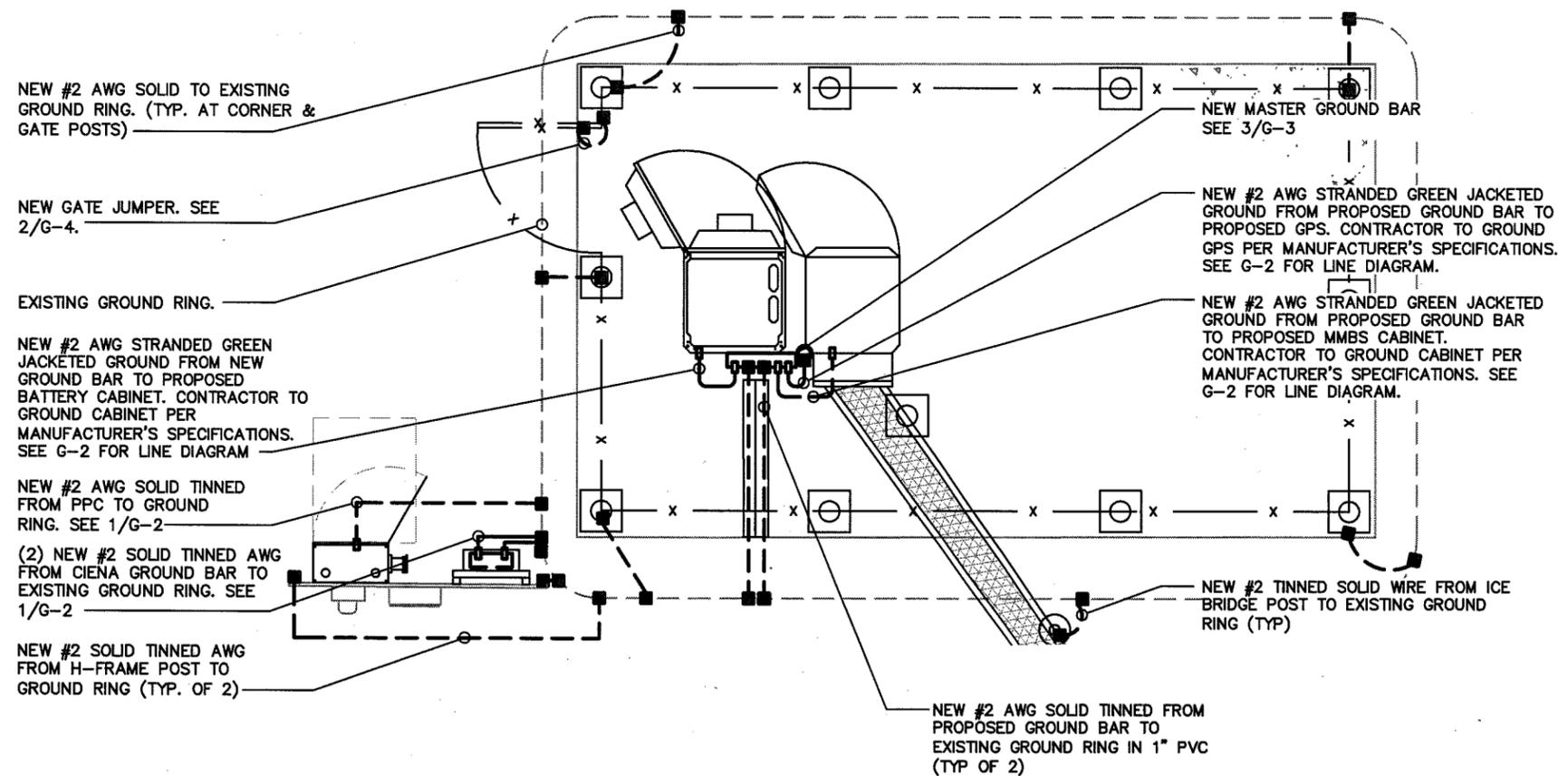
1 AAV NID DETAILS
SCALE: N.T.S.

GROUNDING NOTES

- CONNECTIONS:**
ALL GROUNDING CONNECTIONS SHALL BE MADE BY THE "CADWELD" PROCESS CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, ETC. ALL CABLE TO GROUND RODS, GROUND RODS SPLICES AND LIGHTNING PROTECTION SYSTEM AS INDICATED. GROUND FOUNDATION ONLY AS INDICATED BY PM. ALL MATERIALS USED (MOLDS, WELDING, METAL, TOOLS, ETC.) SHALL BE "CADWELD" PROCESS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES. GROUND CONDUCTOR SHALL HAVE A MINIMUM 24" BENDING RADIUS.
- ALL CADWELD CONNECTIONS ON GALVANIZED SURFACES SHALL BE CLEANED THOROUGHLY AND COLORED TO MATCH SURFACE WITH (2) TWO COATS OF SHERWIN-WILLIAMS GALVITE (WHITE) PAINT B50W3 (OR EQUAL) OR SHERWIN-WILLIAMS SILVERBRITE (ALUMINUM) B59S11 (OR EQUAL).
- ALL ELECTRICAL & MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTIOXIDANT COMPOUND APPLIED TO CONNECTION.
- GROUND TESTS:**
GROUND TESTS SHALL BE PERFORMED AS REQUIRED BY SPRINT STANDARD PROCEDURES. GROUND GRID RESISTANCE SHALL NOT EXCEED 5-OHMS. CONTRACTOR SHALL SUBMIT THE GROUND RESISTANCE TEST REPORT AS FOLLOWS:
-ONE (1) COPY TO OWNER REPRESENTATIVE
-ONE (1) COPY TO ENGINEER
-ONE (1) COPY TO KEEP INSIDE EQUIPMENT ENCLOSURE
- ALL RADIO EQUIPMENT AND UTILITY CABINETS GROUNDS LEADS TO BE #2 AWG STRANDED GREEN JACKETED FROM BUSS TERMINAL
- FOR ADDITIONAL GROUNDING NOTES SEE SHEET SSEO DOCUMENTATION
- ALL ANTENNA MOUNT GROUNDS SHALL BE #2 AWG STRANDED GREEN JACKETED. CABLE GROUNDS SHALL BE BLACK FROM MFR.
- ALL GROUND WIRES FROM GROUND BARS TO GROUND SHALL BE #2 AWG SOLID BARE AS REQUIRED
- ALL ABOVE GROUND GROUND WIRES SHALL BE GREEN JACKETED. ALL GROUND WIRES PENETRATING INTO GROUND AND BELOW SHALL BE #2 TINNED SOLID IN 3/4" LIQUID TIGHT CONDUIT FROM 24" BELOW GRADE TO WITHIN 3"-6" OF CADWELD TERMINATION POINT. THE EXPOSED END OF THE LIQUID TIGHT CONDUIT IS TO BE SEALED WITH SILICONE CAULK.
- ALL ELECTRICAL AND GROUNDING AT THE CELL SITE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC) AND MANUFACTURER.
- IF THE AC PANEL IN THE POWER CABINET IS WIRED AS SERVICE ENTRANCE, THE AC SERVICE GROUND CONDUCTOR SHALL BE CONNECTED TO GROUND ELECTRODE SYSTEM. WHEN THE AC PANEL IN THE POWER CABINET IS CONSIDERED A SUB-PANEL, THE GROUND WIRE SHALL BE INSTALLED IN THE AC POWER CONDUIT. THE INSTALLATION SHALL BE PER LOCAL AND NATIONAL ELECTRIC CODE (NFPA-70).
- EXOTHERMIC WELDING IS RECOMMENDED FOR GROUNDING CONNECTION WHERE PRACTICAL. OTHERWISE, THE CONNECTION SHALL BE MADE USING COMPRESSION TYPE-2 HOLES. LONG BARREL LUGS OR DOUBLE CRIMP CLAMP "C" CLAMP. THE COPPER CABLES SHALL BE COATED WITH ANTIOXIDANT (COPPER SHIELD) BEFORE MAKING THE CONNECTIONS. THE MANUFACTURER'S TORQUING RECOMMENDATIONS ON THE BOLT ASSEMBLY TO SECURE CONNECTIONS SHALL BE FOLLOWED.
- THE ANTENNA CABLES SHALL BE GROUNDED AT THE TOP AND BOTTOM OF THE VERTICAL RUN FOR LIGHTING PROTECTION. THE ANTENNA CABLE SHIELD SHALL BE BONDED TO A COPPER GROUND BUSS AT THE LOWER MOST POINT OF A VERTICAL RUN JUST BEFORE IT BEGINS TO BEND TOWARD THE HORIZONTAL PLANE. WIRE RUNS TO GROUND SHALL BE KEPT AS STRAIGHT AND SHORT AS POSSIBLE. ANTENNA CABLE SHIELD SHALL BE GROUNDED JUST BEFORE ENTERING THE CELL CABINET. ANY ANTENNA CABLES OVER 200 FEET IN LENGTH SHALL ALSO BE EQUIPPED WITH ADDITIONAL GROUNDING AT MID-POINT.
- ALL GROUNDING CONDUCTORS INSIDE THE BUILDING SHALL BE RUN IN CONDUIT RACEWAY SYSTEM, AND SHALL BE INSTALLED AS STRAIGHT AS PRACTICAL WITH MINOR BENDS TO AVOID OBSTRUCTIONS. THE BENDING RADIUS OF ANY #2 GROUNDING CONDUCTOR IS 8". PVC RACEWAY MAY BE FLEXIBLE OR RIGID PER THE FIELD CONDITIONS. GROUNDING CONDUCTORS SHALL NOT MAKE CONTACT WITH ANY METALLIC CONDUITS, SURFACES OR EQUIPMENT.
- INSTALL GROUND BUSHINGS ON ALL METALLIC CONDUITS AND BOND TO THE EQUIPMENT GROUND BUSS IN THE PANEL BOARD.
- GROUND ANTENNA BASES, FRAMES, CABLE RACKS AND OTHER METALLIC COMPONENTS WITH #2 GROUNDING CONDUCTORS AND CONNECT TO INSULATED SURFACE MOUNTED GROUND BARS. CONNECTION DETAILS SHALL FOLLOW MANUFACTURER'S SPECIFICATIONS FOR GROUNDING.
- GROUND COAXIAL SHIELD AT BOTH ENDS USING MANUFACTURER'S GUIDELINES. GROUND FIELD TEST PROCEDURE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A "FALL OF POTENTIAL" TEST ON THE NEW SUPPLEMENTAL GROUND FIELD PRIOR TO FINAL CONNECTION OF THE GROUNDING SYSTEM TO EQUIPMENT. THE TEST SHALL BE PERFORMED BY A QUALIFIED AND CERTIFIED TESTING AGENT. PROVIDE INDEPENDENT TEST RESULTS TO THE PROJECT MANAGER FOR REVIEW. THE GROUND SYSTEM RESISTANCE TO EARTH GROUND SHALL NOT EXCEED FIVE (5) OHMS. IF THE GROUND TEST EXCEEDS THE MAXIMUM OF 5 OHMS CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADDITIONAL GROUND CONNECTIONS TO MEET THE 5 OHMS MAXIMUM.

NOTE:
CONTRACTOR TO VERIFY IN FIELD IF EXISTING GROUND LEADS CAN BE USED. IF FIELD VERIFICATION CONFIRMS THAT LEADS ARE PRESENT, THEN CONTRACTOR IS TO TIE INTO EXISTING GROUND SYSTEM CONTRACTOR SHALL TEST GROUNDING SYSTEM. GROUND RESISTANCE SHALL NOT EXCEED 5 OHMS AND SHALL MEET SPRINT STANDARDS.

- LEGEND**
- CADWELD CONNECTION
 - ▣ MECHANICAL CONNECTION
 - COMPRESSION CONNECTION
- CGB COLLECTOR GROUND BAR
(1/4" X 4" X 12")
- MGB MASTER GROUND BAR
(1/4" X 4" X 24")
- ⚡ BOND TO TOWER
- SGJ STRANDED GREEN JACKETED



1 GROUNDING PLAN
SCALE: 1/4" = 1'-0"
NORTH



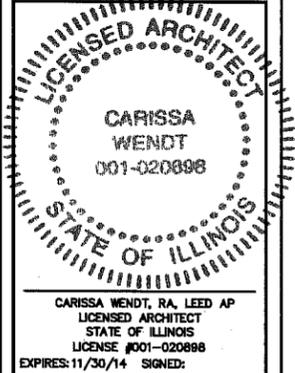
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PROJECT NO:	T140633
DRAWN BY:	SC
CHECKED BY:	LAF

REV	DATE	DESCRIPTION
0	10.10.14	FINALS
D	09.24.14	RF UPDATE
C	07.17.14	FOR CLIENT REVIEW
B	07.16.14	REVISED LE
A	06.04.14	FOR CLIENT REVIEW



CH51XC435
USC 8831013
SUGAR GROVE
75 RAILROAD ST.
SUGAR GROVE, IL 60554

SHEET TITLE
GROUNDING PLAN AND NOTES

SHEET NUMBER
G-1
141



**VILLAGE OF SUGAR GROVE
KANE COUNTY, ILLINOIS**

ORDINANCE NO. 2014-1118C

**AN ORDINANCE GRANTING A SPECIAL USE
FOR COMMERCIAL ANTENNA FACILITIES
AT 75 RAILROAD STREET
IN THE VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS
(SPRINT)**

Adopted by the
Board of Trustees and President
of the Village of Sugar Grove
this 18th day of November, 2014.

Published in Pamphlet Form
by authority of the Board of Trustees
of the Village of Sugar Grove, Kane County,
Illinois, this 18th day of November, 2014.

ORDINANCE NO. 2014-1118C

**AN ORDINANCE GRANTING A SPECIAL USE
FOR COMMERCIAL ANTENNA FACILITIES
AT 75 RAILROAD STREET
IN THE VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS
(SPRINT)**

BE IT ORDAINED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows;

WHEREAS, the Village of Sugar Grove is not a home rule municipality within Article VII, Section 6A of the Illinois Constitution and, pursuant to the powers granted to it under 65 ILCS 5/1-1 *et seq.*; and,

WHEREAS, Lora, Chanthadouangsy & Castellanos, LLC on behalf of Sprint has requested a Special Use for the addition of cellular communications antennas and equipment to an existing Village water tower site at 75 Railroad Street on property legally described in SECTION ONE; and,

WHEREAS, a public hearing has been conducted on the request by the Plan Commission of the Village of Sugar Grove on September 17, 2014, and the Commission recommended 6-0 approval of the Special Use; and,

WHEREAS, the Village Board has reviewed the request and has deemed that approval of the Special Use would be in compliance with the Zoning Ordinance of the Village of Sugar Grove;

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

SECTION ONE: SPECIAL USE

The subject property described in **Exhibit A** is hereby granted a Special Use pursuant to Section 11-7-1-D and 11-13-12 of the Village of Sugar Grove Zoning Ordinance. Said Special Use is conditioned upon compliance with the conditions enumerated on **Exhibit B** which is attached and made part of this ordinance.

SECTION TWO: GENERAL PROVISIONS

REPEALER: That all ordinances or portions thereof in conflict herewith are hereby repealed to the extent of any such conflict.

SEVERABILITY: Should any provision of this ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and effect the same as if the invalid provision had not been a part of this ordinance.

EFFECTIVE DATE: This ordinance shall be in full force and effect on and after its approval, passage and publication in pamphlet form as provided by law.

PASSED AND APPROVED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, this 18th day of November, 2014.

P. Sean Michels
President of the Board of Trustees
of the Village of Sugar Grove,
Kane County, Illinois

ATTEST:

Cynthia L. Galbreath
Clerk, Village of Sugar Grove

	Aye	Nay	Absent	Abstain
Trustee Robert E. Bohler	___	___	___	___
Trustee Kevin M. Geary	___	___	___	___
Trustee Sean Herron	___	___	___	___
Trustee Mari Johnson	___	___	___	___
Trustee David Paluch	___	___	___	___
Trustee Ron Montalto	___	___	___	___
President P. Sean Michels	___	___	___	___

Exhibit A

Legal Description

LOT 12 IN THE ASSESSOR'S SUBDIVISION OF PART OF SECTION 21, TOWNSHIP 38 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN IN THE VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS.

Exhibit B

Conditions of Approval

1. The existing Special Use Ordinance 2004-0921B shall become null and void upon adoption of this Ordinance.
2. That the Special Use shall substantially conform to the plan set titled “Sprint Site Number CH51XC435, USC 8831013, Sugar Grove”, by W-T Communication Design Group, LLC, last revised October 10, 2014, except as such plans may be changed to conform to Village Codes and Ordinances and the conditions below.
3. The existing communications equipment located in a fenced area north of the water tower shall be screened by an opaque fence at the time that T-Mobile or its successors do any work requiring a Special Use or building permit. The installation of slats in the existing fence would be sufficient.
4. Alterations necessary to update or replace old, outdated, broken, or deteriorated equipment may be made to the subject property without further Special Use proceedings with such alterations subject only to the Village’s normal building permit process. A Special Use Amendment is required for any existing or future user planning increases in height, new buildings on site, or additional equipment on the ground outside of the existing fenced area or the fenced area approved herein.

VILLAGE OF SUGAR GROVE
BOARD REPORT

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: WALTER MAGDZIARZ, COMMUNITY DEVELOPMENT DIRECTOR
SUBJECT: ORDINANCE: AMENDING THE COMPREHENSIVE PLAN FUTURE LAND USE PLAN MAP
AGENDA: NOVEMBER 18, 2014 REGULAR VILLAGE BOARD MEETING
DATE: NOVEMBER 14, 2014

ISSUE

Should the Village Board adopt an ordinance amending the Comprehensive Plan Future Land Use Plan Map.

DISCUSSION

At the November 4, 2014 Committee of the Whole meeting, the Village Board heard the Village staff's presentation of the proposed amendment. The proposed Land Use Plan amendment and written description substantially reflect the recommendation of the Plan Commission and represents a refinement of the Board's original desired direction with respect to this corridor. Staff has not included the Plan Commission's recommendation adding mixed-use development as a land use in the amendment since this would be a material departure from the 2004 Comprehensive Plan and beyond the scope established by the Board at the beginning of this effort.

ATTACHMENTS

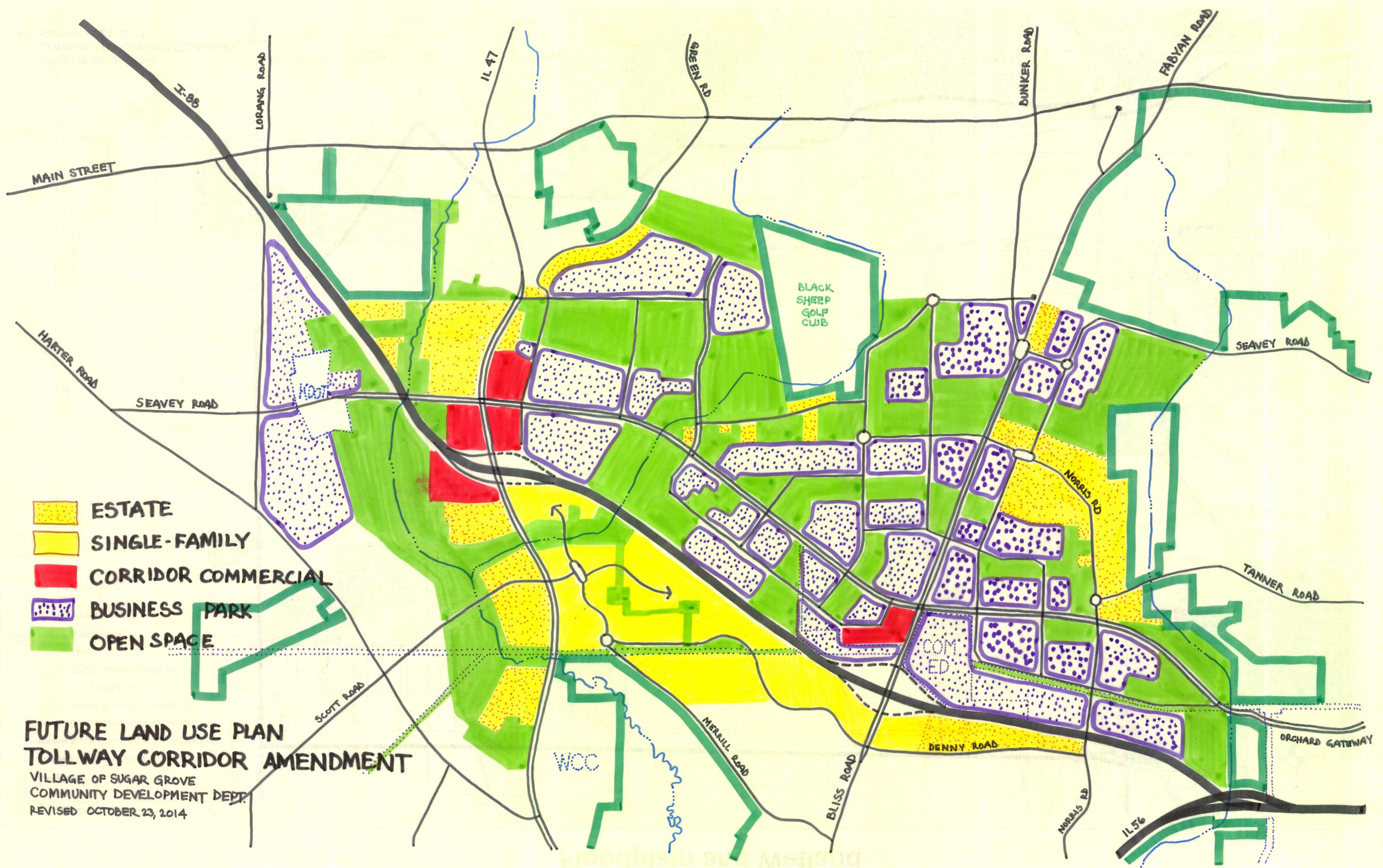
1. Ordinance approving and amendment of the Comprehensive Plan, including exhibits

COSTS

The costs associated with this amendment process are limited to the public notice and staff time preparing the plan.

RECOMMENDATION

That the Village Board approve an Ordinance 20141118D, Amending the Comprehensive Plan Land Use Plan.



- ESTATE
- SINGLE-FAMILY
- CORRIDOR COMMERCIAL
- BUSINESS PARK
- OPEN SPACE

**FUTURE LAND USE PLAN
TOLLWAY CORRIDOR AMENDMENT**

VILLAGE OF SUGAR GROVE
COMMUNITY DEVELOPMENT DEPT.
REVISED OCTOBER 23, 2014



**VILLAGE OF SUGAR GROVE
KANE COUNTY, ILLINOIS**

ORDINANCE NO. 2014-1118D

**AN ORDINANCE APPROVING AN AMENDMENT OF THE VILLAGE COMPREHENSIVE PLAN
(TOLLWAY CORRIDOR)**

Adopted by the
Board of Trustees and President
of the Village of Sugar Grove
this 18th day of November, 2014.

Published in Pamphlet Form
by authority of the Board of Trustees
of the Village of Sugar Grove, Kane County,
Illinois, this 18th day of November, 2014.

VILLAGE OF SUGAR GROVE

ORDINANCE NO. 2014-1118D

**AN ORDINANCE APPROVING AN AMENDMENT OF THE VILLAGE COMPREHENSIVE PLAN
(TOLLWAY CORRIDOR)**

BE IT ORDAINED by the Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

WHEREAS, the Village of Sugar Grove is not a home rule municipality within Article VII, Section 6A of the Illinois Constitution and, pursuant to the powers granted to it under 65 ILCS 5/1-8 *et seq.*; and,

WHEREAS, after due notice the Plan Commission held a public hearing on October 22, 2014 to consider the proposed Comprehensive Plan Land Use Plan amendment, similar in form and substance to the land use plan and text attached hereto; and,

WHEREAS, the corporate authorities have determined that amending the Comprehensive Plan Land Use Plan is in the best interests of the future growth and development of the Village; and,

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

SECTION ONE: COMPREHENSIVE PLAN LAND USE PLAN AMENDMENT

That the Village of Sugar Grove Comprehensive Plan previously adopted by the Village of Sugar Grove be, and it is hereby, amended by approving the land uses in the locations shown in Exhibit A, attached hereto and made a part hereof by this reference, and approving the written description of the land use recommendations in Exhibit B, attached hereto and made a part hereof by this reference, as an addendum to said Comprehensive Plan.

SECTION TWO: GENERAL PROVISIONS

REPEALER: All ordinances or portions thereof in conflict with this annexation ordinance are hereby repealed.

SEVERABILITY: Should any provision of this ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and effect the same as if the invalid provision had not been a part of this ordinance.

EFFECTIVE DATE: This ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED AND APPROVED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois this 18th day of November, 2014.

P. Sean Michels,
President of the Board of Trustees
of the Village of Sugar Grove, Kane
County, Illinois

ATTEST: _____
Cynthia L. Galbreath
Clerk, Village of Sugar Grove

	Aye	Nay	Absent	Abstain
Trustee Robert E. Bohler	___	___	___	___
Trustee Kevin M. Geary	___	___	___	___
Trustee Sean Herron	___	___	___	___
Trustee Mari Johnson	___	___	___	___
Trustee Rick Montalto	___	___	___	___
Trustee David Paluch	___	___	___	___
President P. Sean Michels	___	___	___	___

Exhibit A

(Land Use Plan)

Exhibit B

Sugar Grove Future Land Use Plan Tollway Corridor Amendment

The Tollway Corridor amendment changes the predominant land use in the Tollway corridor from Lorang Road on the west to Lake Run on the east from Single-Family and Estate Residential to Business Park in order to exploit the infrastructure investment embodied in the Reagan Tollway (I-88) and the imminent expansion of the IL 47 interchange, and to respond to changing dynamics in the office and industrial real estate market in the I-88 corridor. The land use plan amendment also removes Business Park land use from the south side of the Tollway thereby using the Tollway as a physical barrier between the residential uses and character of development lying south of the Tollway and the non-residential land uses north of the Tollway.

The land use categories used in the proposed amendment are consistent with the land use descriptions provided in the Comprehensive Plan, except as described below. The land use and transportation network recommendations of the 2004 Future Land Use Plan prevail except where the amendment recommends a different land use or transportation network improvement.

The key features of the Tollway Corridor amendment include the following:

- Open Space land use appears to be the dominant land use in the area north of the Tollway which is a result of mapping floodplain, open water, forested lands and wetlands and providing a realistic vision of developable land. Additionally, the Open Space land use recommendation accounts for locations of future storm water management facilities so that this function is incorporated in the open space system as an amenity, not a utility function, complementing the environmental features in the landscape.
- The Com Ed property and future substation at Bliss Road and I-88 are identified on the plan within the Business Park land use.
- The Corridor Commercial land use at IL 47 and Seavey Road may need to be thought of as flexible land use. The property on the west side of IL 47 could be commercial but there may be access and visibility challenges with these two tracts of land and an alternate land use such as Multiple Family may be considered here.

- With the exception of Seavey-Healy Road, Green Road, Norris Road, and Bliss Road, the thoroughfares shown in the Business Park land use on the plan are flexible and may be removed or relocated without materially affecting circulation in the Business Park.
- A 200-foot buffer is recommended along Green Road, Norris Road and Main Street to maintain the character of these corridors. Uses such as agriculture, farmsteads and large estate lots would be appropriate uses within this buffer. Wherever possible, storm water detention facilities are recommended as part of this buffer requirement. The buffer is generally shown as Estate Residential on the Land Use Plan amendment.

Land Use Recommendations

The Open Space land use shown on the plan represents environmental features such as wetlands, floodplain, open water and storm water management facilities and is ownership neutral and need not be publicly owned. However, the placement of storm water management areas adjacent the wetlands and floodplain provides the opportunity to create continuous and contiguous environmental corridors enabling landscape restoration and rehabilitation, and an extensive trail system to be developed in the midst of all the workspace in the business park. The Land Use Plan amendment assumes a regional or master planned approach to storm water management within the territory north of the Tollway. When the storm water management functions are organized in a coherent system, rather than the isolated bathtubs we are accustomed to, the open space benefits are multiplicative. The end result is a utility function transformed into an amenity. The actual amount of land devoted to storm water management may be more or less than indicated on the Land Use Plan but the concept remains.

The proposed storm water management system and environmental corridors permit connection of the County's various Forest preserves adjacent the study area: Blackberry Maples, Dick Young/Nelson Lake, and Lake Run. A trail along Seavey Road Run with a pedestrian bridge over the Tollway would provide a connection to the Hannaford Woods/Nickels Farm Forest Preserve.

The Business Park land use aims to achieve the type of development described in the Comprehensive Plan. The development blocks depicted on the plan can accommodate any Business Park building typology. Office buildings, office-warehouse, warehouse, corporate campuses, and manufacturing buildings will fit and block sizes can be varied depending on building footprints, as well. It is not unreasonable to expect a small

amount of commercial land uses to materialize in the Business Park land use to support the needs of employees and businesses in the Business Park land use area.

Where Business Park land uses are adjacent Green Road and Norris Road or Estate Residential land uses along these roads a significant transition yard, exclusive of parking and outdoor storage, should be provided. Uses such as agriculture, farmsteads and large estate lots would be appropriate uses within this buffer. Storm water management facilities could occupy these transition yards if topography permits. The buffer is generally shown as Estate Residential on the Land Use Plan amendment.

While not specifically identified in the amendment, it is conceivable that nodes of mixed-use development could appear in the Business Park land use in the future. These mixed-use development areas would need to be compact high density multiple-family and commercial uses usually in mixed-use buildings with structured parking and organized around intersections along the arterial roadways.

Road Network Recommendations

The amendment recommends the creation of a new arterial roadway, Seavey-Healy Road that would extend from Harter Road on the west to Orchard Gateway in Aurora on the east. This alignment replaces the disjointed connection in the current Comprehensive Plan Thoroughfare Plan and avoids a direct connect to Tanner Road. While outside the limits of the study area, the amendment also recognizes a planned re-alignment of Bliss Road and Fabyan Parkway at Main Street, along with the extension of Bunker Road to Bliss Road to provide convenient connection to the La Fox commuter rail station.

The thoroughfare plan, or road network, that is married to the plan shows re-connecting Seavey Road and Norris Road where they are separated by I-88. This is not a new idea since both re-connections were included in the Transportation Plan component of the 2004 Comprehensive Plan. Future land uses west of the Tollway are directly influenced by the realization of this improvement. Without reconnection of Seavey Road development of the territory west of I-88 for Business Park land uses is doubtful and the land use may remain agriculture well into the future. For the time being, the Future Land Use Plan recommends Business Park north and south of Seavey Road and west of the Tollway. Re-connection of Norris Road is not critical to the development of the Business Park land use but would provide a convenient alternative for crossing the Tollway for Village residents.

While the 2004 Thoroughfare Plan referenced an interchange at Bliss Road and I-88, the amendment shows the interchange. Access and circulation to the Business Park land uses north of the Tollway would benefit greatly by the presence of a Bliss Road interchange. This interchange also would benefit traffic volumes at the Orchard Road and IL 47 interchanges once it becomes operational.

On the south side of the Tollway the amendment recommends realigning Merrill and Denny Roads to converge on property via a series of roundabouts providing traffic calming and access to IL 47 at Scott Road.

Intersection spacing along Seavey-Healy Road and Bliss Road is between 1/3 and 1/2 mile intervals. The Plan assumes these thoroughfares will be classified as arterial roadways and will be treated as limited or controlled access thoroughfares and they are identified as divided highways on the Plan. The final design of the thoroughfares on the Plan will be determined at a later date.

Seavey-Healy Road and Bliss Road are assumed to be limited access arterial thoroughfares and a parallel thoroughfare is envisioned along these arterial roads to provide direct access to land uses along the arterial thoroughfares. It is also envisioned that these thoroughfares will be designed as parkways with copious amounts of landscaping and parallel off-street trails for pedestrians and bicyclists. An off-street path system along the primary thoroughfares would complement a path system that could be developed in the open space system represented on the Plan.

The road network in the Business Park land use is disconnected from Green Road, Norris Road and Seavey Road adjacent the Black Sheep Golf Club. This is accomplished by providing a road network in the Business Park land use that functions independently of these roads. The intention behind disconnecting these roads from the Business Park land use is to retain their present road cross section and character of development along the road frontages, e.g. agriculture lands, farmsteads, estate lots. Storm water detention facilities designed as wet prairies also could occupy the frontage of these roads where topography dictates. By segregating the Business Park land uses from these roads the potential for mixing Business Park traffic with local traffic is greatly reduced. And without direct access to these roads the Business Park land uses are not inclined to develop the frontage of these roads, thereby contributing to the preservation of the character of these roads.

**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: PATRICK J. ROLLINS, CHIEF OF POLICE
SUBJECT: DISCUSSION: GOVERNMENT PAYMENT SERVICES, INC. (GPS)
DEBIT AND CREDIT CARD PAYMENT SERVICE
AGENDA: NOVEMBER 18, 2014 BOARD MEETING
DATE: NOVEMBER 13, 2014

ISSUE

Should the Village accept Credit and Debit cards as an option of payment in the Police Department.

DISCUSSION

The Village of Sugar Grove Police Department issues local ordinances, parking tickets, other fines and fees for some of the services that we perform. Individuals have been limited in paying for these categories by cash or check. They have been steadily coming into the department wishing to pay with a credit card or debit card. Most of the customers typically do not carry cash or have their checkbook with them. To provide better customer service and accept immediate payment, a solution for accepting credit and debit cards is available for many government agencies through Government Payment Services, (GPS). Government Payment Services (GPS) offers the individuals an opportunity to pay by credit and debit card with an added service charge to the cardholder. The Village would still receive the full amount on the original fine or fee. GPS has a process in place for individuals to pay in person, by phone, and we can also add a link to our website directing the individuals to the GPS processing site for easy payment. Staff is seeking direction to determine if the Board is in favor of using the services of GPS.

COST

Anticipated costs for attorney review is under \$150.

RECOMMENDATION

That the Village Board discuss the concept of credit and debit cards being accepted at the police department.