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| <p>Village President<br/>P. Sean Michels</p> <p>Village Clerk<br/>Cynthia Galbreath</p> <p>Village Administrator<br/>Brent M. Eichelberger</p> |  <p><b>SUGAR GROVE</b><br/>INCORPORATED 1857</p> <p>10 S. Municipal Drive<br/>Sugar Grove, Illinois 60554<br/>Phone: 630-466-4507<br/>Fax: 630-466-4521</p> | <p>Village Trustees</p> <p>Robert Bohler<br/>Kevin Geary<br/>Mari Johnson<br/>Rick Montalto<br/>David Paluch<br/>Thomas Renk</p> |
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Agenda

October 16, 2012

Regular Board Meeting

**7:00 P.M.**

Committee of the Whole – Cancelled

Open House 4:30 p.m. – 6:30 p.m.

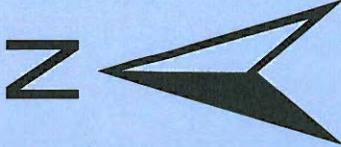
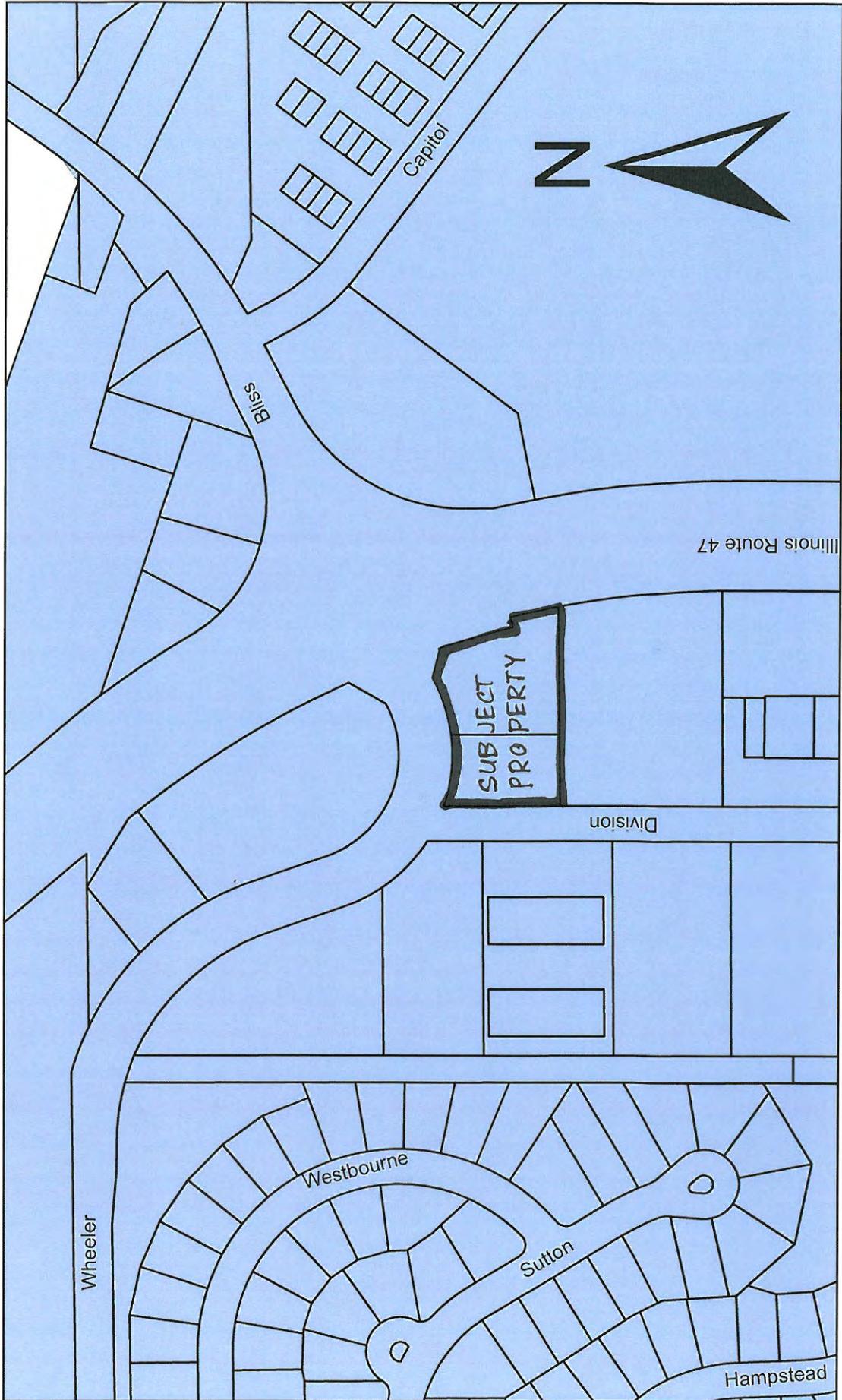
1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Public Hearing:
  - a. None
5. Appointments and Presentations
  - a. None
6. Public Comment on Items Scheduled for Action
7. Consent Agenda
  - a. Approval: Minutes for October 04, 2012 Meeting
  - b. Approval: Vouchers
  - c. Approval: Treasurer’s Report
8. General Business
  - a. Acceptance: Comprehensive Annual Finance Report (CAFR)
  - b. Discussion: American Heartland Bank (SW Corner IL 47 and Wheeler)  
PUD Amendment, Preliminary and Final PUD & Plat
  - c. Discussion: Investment Policy
9. New Business
  - a. None
10. Reports
  - a. Staff Reports
  - b. Trustee Reports
  - c. Presidents Report
11. Public Comments
12. Airport Report
13. Closed Session: Land Acquisition, Personnel, Litigation
14. Adjournment

*The consent agenda is made up of items that have been previously discussed, non-controversial, or routine in subject manner and are voted on as a ‘package’. However, by simple request any member of the Board may remove an item from the consent agenda to have it voted upon separately.*

*Items that are marked as \* STAR – indicate that the item is Subject to Attorney Review*

Members of the public wishing to address the Board shall adhere to the following rules and procedures:

1. Complete the public comment sign-in sheet prior to the start of the meeting.
2. The Village President will call members of the public to the podium at the appropriate time.
3. Upon reaching the podium, the speaker should clearly state his or her name and address.
4. Individual comment is limited to three (3) minutes. The Village President will notify the speaker when time has expired.
5. Persons addressing the Board shall refrain from commenting about the private activities, lifestyles, or beliefs of others, including Village employees and elected officials, which are unrelated to the business of the Village Board. Also, speakers should refrain from comments or conduct that is uncivil, rude, vulgar, profane, or otherwise disruptive. Any person engaging in such conduct shall be requested to leave the meeting.
6. The aforementioned rules pertaining to public comment may be waived by the Village President, or by a majority of a quorum of the Village Board.
7. Except during the time allotted for public discussion and comment, no person, other than a member of the Board, shall address that body, except with the consent of two (2) of the members present.



Capitol

Bliss

Illinois Route 47

SUBJECT  
PROPERTY

Division

Wheeler

Westbourne

Sutton

Hampstead

VILLAGE PRESIDENT

P. Sean Michels

VILLAGE ADMINISTRATOR

Brent M. Eichelberger

VILLAGE CLERK

Cynthia Galbreath

September 24, 2012

Mr. James White  
White & Ekker, P.C.  
263 Main Street  
Sugar Grove, IL 60554



COMMUNITY DEVELOPMENT  
Richard Young, Director

VILLAGE TRUSTEES

Robert Bohler  
Kevin Geary  
Mari Johnson  
Rick Montalto  
David Paluch  
Thomas Renk

**Re: American Heartland Resubdivision Combined Comments**

Dear Mr. White:

The following are the combined staff and Plan Council comments on the engineer's plans that were submitted August 23, 2012 and September 24, 2012, the architect's plans that were submitted September 14, 2012, and the list of proposed exceptions from ordinances submitted September 7, 2012.

**1) General / Design / Exceptions.**

- a) The Village Board considered and approved the simultaneous processing of Preliminary and Final Plans at their September 18, 2012 meeting. That request was per 11-11-6-C-2-b with exceptions for 11-11-6-D-1-a and 11-11-6-D-1-d.
- b) After further staff discussion, the non-review of the Architectural Elevation and Trash Enclosure Plans will be considered as part of the project review by the Village Board. The exceptions are from 11-11-6-C-4-g and 11-11-6-D-2-i.
- c) While the existing PUD would require 4.5 spaces per 1,000 square feet for service uses, including banks, staff proposes to use the current Zoning Ordinance requirement of 4 spaces per 1,000 square feet for banks and financial institutions. Each floor is about 4,680 square feet. The basement is one of those floors. The Zoning Ordinance requires that the "...floor area shall be calculated as the sum of the gross horizontal area of the several floors of the building or buildings, excluding horizontal areas of the basement and cellar floors that are devoted exclusively to uses accessory to the operation of the entire building." The Floor Plan shows there is 789 square feet in the basement devoted to "mechanical room" and "elevator equipment". These areas would qualify as "accessory to the operation of the entire building". Therefore there is a total of 13,251 square feet of bank space. This would result in 53 required spaces for the three floors. Proposed are 40 parking spaces. Therefore, an exception / deviation would be needed for 13 required parking spaces. The exception would be from 11-12-5, though none are currently shown on the proposed

exception list. Instead an exception to 11-12-3-E-2 is shown on the list that would count storage and conference areas as accessory to the entire building. This would not cover the full exception necessary so staff asks that the exception request is modified to 13 spaces.

- d) The north corner building setback is shown on the plan as 59' and does not meet the requirement of 75'. This encroachment can be further reduced by shifting the building (and pavement) 3 feet south so that the south wall of the building is located at the minimum required 40' south building setback line. An exception / deviation for encroachment into the north corner side building setback would still need to be requested. The exception for this is from 11-8-6-F-5 and secondarily from 11-11-4-B-5 and 12-5-9. The exception list shows an exception of not less than 55' however the exception request will need to be for the minimum necessary.
- e) The north corner side pavement setback is shown on the plan as 37' and does not meet the requirement of 45'. This encroachment can be further reduced by shifting the pavement (and building) 3 feet south. An exception / deviation for encroachment into the north corner side pavement setback would still need to be requested. The exception for this is from 11-8-2-A-4 and secondarily from 11-11-4-B-5, 11-12-3-C, and 12-5-9. The exception list shows an exception of not less than 35' however the exception request will need to be for the minimum necessary.
- f) The south side required pavement setback of 30' will not be met and an exception / deviation is necessary there. The exception for this is from 11-8-2-A-2-b and secondarily from 11-11-4-B-5, 11-12-3-C, and 12-5-9. The exception list shows an exception of not less than 15' which matches the current plan.
- g) The list shows a proposed exception to the Division Drive corner side pavement setback per 11-8-2-A-1-b that is not reflected on the current plan. The requirement is 30' and the list shows an exception of not less than 25'. A reduced pavement setback may be needed with a revised plan however the exception request will need to be for the minimum necessary. If the plans are going to be changed, this will need to be shown on the plans before an exception can be considered.
- h) Each drive-thru lane requires 6 stacking spaces. Only 3 per lane can fit on this plan. An exception / deviation for 9 stacking spaces (3 per lane) is being requested with this plan. The exception for this is from 11-12-5. Vehicle symbols need to be shown on the plan.
- i) All one-way drive aisles are required to be a minimum of 12' in width. The drive-thru aisles are proposed at 9'. One 10.13' lane is shown, but a curb should be added next to the building wall, reducing it to about 9' as well. An exception is being requested with this plan. The exception for this is from 11-12-3-D-2.
- j) The plan shows a sidewalk along Division Drive and a bike path along most of Wheeler Road. The plan does not show a sidewalk along Route 47. The list includes exceptions for sidewalks on the opposite sides of the streets since they are not within this subdivision. Staff will support this

exception. Also included in the list is a proposed exception for a sidewalk along Route 47. Staff will not recommend for this exception as it is not consistent with the rest of the PUD and other development along Route 47. The exception for this is from 11-8-2-C, 11-11-4-B-7, and 12-6-9.

- k) The list includes a proposed exception to the requirement that streets adjacent to a subdivision be improved. Staff will support this exception which would require the widening of Wheeler Road and possibly other improvements. The exception for this is from 12-5-3-E.
- l) The list includes a proposed exception to the requirement that property lines at intersections be rounded with a 25' radius. Staff will support this exception. The exception for this is from 12-5-3-M.
- m) The list includes a proposed exception to the maximum height requirement of 15 feet for accessory structures for the canopy that would be part of the principal building. Since it is part of the principal building it is not considered an accessory structure and it is only required to meet the height requirements of the principal building. Therefore no exception is needed for 11-4-7-F.
- n) The list includes a proposed exception to the requirement that lighting be extinguished one-half hour after the close of business, except as may otherwise be permitted or required by the Village Board. The exception for this is from 11-12-3-H-3-e. Staff will review this further.
- o) The list includes proposed exceptions for submitting proposed covenants as well as traffic impact, tax impact, and school demographic studies. These items are waived by staff and do not need to be requested as formal exceptions.
- p) Proposed exceptions from landscaping and signage are discussed in their respective sections below.

## **2) Existing Conditions / Utilities.**

- a) There are no existing structures, trees, wetlands, or overhead utility lines on site.
- b) No right-of-way dedication is necessary.
- c) Sanitary sewer service can connect directly south to the 24" line that runs in an easement along the south property line.
- d) Water service is shown connecting to the 12" line along the east side of Division Drive. The applicant should consider connecting to the 12" line along Wheeler Road as the run may be shorter.
- e) Storm water service is shown emptying into a proposed pond at the east end of the site.

## **3) Site / Engineering Plans.**

- a) The maximum lot coverage requirement of 70% has been met at about 42%. The figures will need to be updated as the plan is finalized. Other conflicting lot coverage requirements in the 2004 PUD will be removed and updated to reference the current Zoning Ordinance requirement of 70%.
- b) The various easements need to be shown on the Site Plan.
- c) The building walls need to be dimensioned on the Site Plan.

- d) The “proposed setback lines” should be corrected to correspond to the actual proposed setbacks. The actual building and pavement setbacks should be included.
- e) With the exception of the setbacks discussed in Section 1 above, all setback requirements have been met. Different required building and pavement setback requirements in the 2004 PUD will be deleted and updated to reference the current Zoning Ordinance requirements.
- f) All non-drive-thru aisles meet or exceed minimum width requirements.
- g) Parking space dimension requirements are met.
- h) The northern handicap accessible parking space should be flipped such that the striping is located next to the other handicap accessible parking space. The truncated cone can then be reduced in length to 3 feet minimum at the bottom of the ramp. The ramp should be centered on the two striped areas and align with the front door of the building.
- i) The parking island in the east row of spaces should be increased to the size of a parking space and the 8 parking spaces to the south shifted south to accommodate the wider island.
- j) One 12’ x 60’ loading space needs to be designated (by sign) on the plan (probably in the north drive aisle) to meet loading requirements.
- k) Public street access to the site is proposed from Division Drive only. This will be ok with the relocation of the fire hydrant along Wheeler Road further south to accommodate Sugar Grove Fire Protection District concerns about a potential blocked entrance if fire vehicles would need to park by the hydrant near the entrance. Cross access with Healy Chapel will then not be necessary.
- l) All one-way drive aisles will need to be increased to 20’ in width to accommodate Fire District access concerns.
- m) The building sidewalk should be extended to the Wheeler Road bike path, consistent with other development along Route 47. The bike racks shown at the south end of the site should be relocated so they are adjacent to this extension of the building sidewalk near the bike path at the north end of the site.
- n) The building sidewalk along the south side of building should be 5’ in width, rather than 4’.
- o) The building sidewalk at the east end of the building should not be obstructed by any columns that may extend from the building.
- p) All comments in the letter from EEI dated September 6, 2012 (attached) shall be addressed.

### **3) Landscape Plan.**

- a) Foundation plantings (150 feet): These are suggested along the north and east sides of the building. 89 shrubs have been provided along the north, east, and south sides of the building. This is sufficient.
- b) Parking lot islands (7): Required 7 trees. Provided 6 trees. One tree should be added to the triangular island in the east row of spaces that will need to be widened and curbed.

- c) Long parking lot island: There is no specific planting requirement for this, but 2 trees and 35 shrubs have been provided and this is sufficient.
- d) Trash enclosure screening: This requirement is met with nine 6' Mission Arborvitae evergreen shrubs.
- e) Buffer landscaping:
  - i. East (261 feet): Required 9 trees and 52 shrubs. Provided 14 trees and 31 shrubs. Add 21 shrubs and 5 trees may be removed (actually the 5 trees may be repositioned and counted as parkway trees).
  - ii. North (272 feet): Required 9 trees and 54 shrubs. Provided 9 trees and 49 shrubs. Add 5 shrubs.
  - iii. West (215 feet): Required 7 trees and 43 shrubs. Provided 7 trees and 23 shrubs. Add 20 shrubs.
  - iv. South (366 feet): Required 12 trees and 37 shrubs. Provided 12 trees and 37 shrubs. Requirement is met.
- f) Parkway trees:
  - i. State Route 47 (261 feet): Required 7 trees. Provided 0 trees. Add 7 trees. Those at the north should be placed as far west as possible to avoid any future intersection improvements.
  - ii. Wheeler Road (272 feet): Required 7 trees. Provided 7 trees. Requirement is met. Those at the east should be placed as far south as possible to avoid any future intersection improvements.
  - iii. Division Drive (191 feet): Required 5 trees. Provided 3 trees. Due to the parkway size, the 3 trees provided are sufficient.
- g) Other:
  - i. The long, straight shrub lines along the north and west should be changed to clusters of shrubs in planting beds for variety.
  - ii. The Mesic to Wet Prairie Seed Mix will need to be reviewed by the Village's consultant.
  - iii. The Public Works Department has cautioned the use of Green Mountain Sugar Maples in the parkway. Consider using Miyabei State Street Maples instead.
  - iv. The 2004 PUD requires a different provision of landscaping based on percentage coverage. The Village will delete this and replace it with a requirement that landscaping follow the Zoning Ordinance requirements, as it did on the Aldi site in this PUD and other nearby sites.
  - v. The exception list includes exceptions to landscaping Sections 11-8-2-B-1, 11-8-2-B-2, 11-8-2-F-1, 11-11-4-B-6, 11-11-4-B-10, 11-12-3-H, and 12-5-8 to allow plantings as shown on the plan. Staff finds that these exceptions are not necessary as the requirements are nearly met with the proposed plan. Please make the minor adjustments and avoid all exceptions.

#### **4) Architectural Elevation Plan.**

- a) As mentioned above, the request is to not approve a Preliminary or Final Architectural Elevation Plan at this time, so no review has been provided at this time.

**5) Signage Plan.**

- a) No wall sign is shown in the plans. Any wall signs will be reviewed as part of the Architectural Elevation Plans.
- b) The 2004 PUD already requires the use of the current Zoning Ordinance for signage.
- c) The ground sign should be shown to scale and with the setback dimensioned on the Site Plan. The required setback is 1' for every 1' in height. The exception list includes an exception to Section 11-14-5-A-2 to allow for a setback of 18".
- d) The proposed ground sign is shown as approximately 118 square feet. The exception list includes an exception to Section 11-14-11-A-2 to allow for a size not exceeding 150 square feet. Again, the exception may only be considered for minimum necessary.
- e) The exception list includes exceptions to Section 11-14-11-A-6-a, b, e, f, and g regarding the EMC (sign type, display area, brightness and color, effects, and setbacks from residential zoned areas).
  - i. The exception for sign type is to allow an EMC to be mounted on a sign higher than 8' in height.
  - ii. The exception for display area is to allow an EMC greater than 25% of the allowable sign face. The allowable sign face is 100 square feet. The proposed EMC is only 18 square feet, so the exception is not necessary. This may be removed from the list.
  - iii. The exception for brightness and color is to allow an EMC not to abide by the brightness and color requirements.
  - iv. The exception for effects is to allow an EMC to have messages that grow, melt, X-ray, scroll, write on, travel, inverse, roll, twinkle, snow, rotate, flash, blink, move, spin, wave, or rumble or present pictorials or other animation or that display characters other than alphanumeric.
  - v. The exception for setbacks from residential zoned areas is to allow an EMC within 200' of a residential district. This exception is necessary to allow the EMC due to the zoning of the Healy Chapel.
- f) The exception list includes an exception to Section 11-14-4-I to allow an EMC, but this exception is not necessary as the Section states the EMC's are allowed. This exception can be removed from the list.
- g) The exception list includes an exception to Section 11-14-4-K to allow characters, cartoons, statements, works, or pictures, but this exception is not necessary as the Section states these are only not allowed when of an obscene, indecent, prurient, or immoral character. This exception can be removed from the list.
- h) Staff will provide a full recommendation on the sign exceptions in the Plan Commission report.

**6) Lighting (Photometric) Plan.**

- a) The Photometric Plan is in compliance with the Zoning Ordinance requirements.
  - b) The 2004 PUD contains different average and maximum foot candle requirements that will be updated to the current Zoning Ordinance requirement.
  - c) The pulse-start metal halide lighting proposed is ok.
  - d) The proposed parking lot lighting meets standard average foot candle (1.0-3.0), maximum foot candle at hotspot (10.0), and maximum foot candle at the property line (0.5) requirements. The proposed plan is showing (1.78), (5.1), and (0.5).
  - e) The proposed light poles would meet the maximum height standard of 25 feet or the height of the building, whichever is less. They are shown at 22'.
  - f) All lights would be shielded to direct the light down to the ground.
- 7) Trash.**
- a) As mentioned above, the request is to not approve a Preliminary or Final Architectural Elevation Plan at this time, so no review has been provided at this time.
- 8) Plat of Subdivision.**
- a) The Preliminary Plat is not necessary for this one-lot subdivision.
  - b) The north required building setback needs to be shown as 75'. It is incorrectly shown as 60'.
  - c) Required pavement setbacks should be added.

Please revise the plans according to the above comments. If you have any questions, please contact me.

Sincerely,



Michael P. Ferencak, AICP  
Village Planner  
Community Development Department  
Village of Sugar Grove  
630-466-8954 x36  
[mferencak@sugar-grove.il.us](mailto:mferencak@sugar-grove.il.us)

cc: Brent Eichelberger, Village Administrator  
Rich Young, Community Development Director  
Tony Speciale, Public Works Director  
Dave Burroughs, Village Engineering Consultant  
Michele Piotrowski, Village Engineering Consultant  
Michelle Noyes, Building Inspector  
Wayne Parson, SGFPD Assistant Fire Chief  
File



September 6, 2012

Mr. Rich Young  
Community Development Director  
Village of Sugar Grove  
601 Heartland Drive  
Sugar Grove, IL 60554

**Re: American Heartland Bank  
Sugar Grove, Illinois  
Final Site Improvement Plans – 1<sup>st</sup> Review**

Dear Mr. Young:

We have received and reviewed the following documents prepared by Craig R. Knoche & Associates:

- Plat of Resubdivision dated 8/14/12 (2 sheets)
- Preliminary Plat dated 8/14/12 (2 sheets)
- Stormwater Report dated 8/21/12
- Final Engineering Plans dated 8/21/12 (14 sheets)

Our review of these plans is to generally determine the plan's compliance with Village ordinances and whether the improvements will conform to existing Village systems and equipment. This review and our comments do not relieve the designer from his duties to conform to all required codes, regulations, and acceptable standards of engineering practice. Engineering Enterprises, Inc.'s review is not intended as an in-depth quality assurance review, we cannot and do not assume responsibility for design errors or omissions in the plans. Our comments are as follows:

**General**

1. A copy of the NOI shall be provided to the Village, and it shall be received by the IEPA a minimum of 30 Days in advance of the beginning of construction.
2. A copy of the permit from Fox Metro Water Reclamation District shall be provided to the Village once it is received (prior to starting construction).
3. A sign-off from IDNR shall be provided regarding endangered species (EcoCat).
4. All easements shall be shown on the engineering plans.

5. A summary of quantities should be provided for all public improvements. In addition, an Engineer's Estimate of Cost shall be submitted for review, and a letter of credit or bond shall be placed on file with the Village in the amount of 120% of the Engineer's Estimate. Please note this cost estimate shall include mass grading, soil erosion control, bike path, sidewalk along Route 47, grading and restoration within the limits of the Village's right of way, entrance from Division Street, parkway trees, restoration within the parkway areas, installation and maintenance cost for the soil erosion control (i.e. construction entrance, silt fence, inlet protection, and seeding). We recommend moving the bike racks such that they do not lie directly above the sanitary interceptor sewer.
6. To maintain consistency with other recent developments along the western side of Route 47, we recommend sidewalk be placed along the east property (adjacent to the Route 47 right of way).
7. A 35' wide sanitary sewer easement lies along the south property line for the 24" FMWRD sanitary interceptor sewer. This easement does not appear to be exclusive, but we recommend making efforts to minimize what is placed in the easement. The drive aisle, part of the sidewalk adjacent to the building, the water service, landscaping, and part of the detention basin are located within it as we. At a minimum it appears as though the bike rack may be able to be relocated with minimal effort and inconvenience.
8. The engineer shall confirm whether the area under the canopy will be asphalt and concrete.

#### **Sheet C2.1**

9. The maximum slope on site is 4:1. The slopes of the berms shall be revised accordingly.
10. We will defer to the Village staff regarding the following:
  - a. Parkway tree requirements (will these trees need to be included in the letter of credit?)
  - b. Landscaping on site
    - i. Please note that there is a significant amount of landscaping in the easements around the perimeter of the lot, particularly along the south property line where the interceptor sewer is installed.
    - ii. The long island in the west parking lot is only 3' in width.
  - c. Adequacy of the water service size and confirming the engineering and building plans correspond. (We did not receive plans for the building at this time.)
  - d. Parking space requirements
  - e. Photometric Plan review
    - i. We recommend, at a minimum, the routing of the streetlight wiring be shown on the drawings.
11. There is an existing swale along the east property line. This swale shall be maintained accordingly. Under the proposed plan, the southeast portion of the site particularly appears to be very flat.
12. In regard to the parking lot grading, please note the following:
  - a. At least 1' shall be provided between the top of foundation and all pop points in the subdivision. Currently, the overland flow route exits the site at Division Drive at 707.0 and the top of foundation is at 707.6'. The grading plan shall be revised accordingly.

- b. The curb to the east of storm structure A-2 (Rim = 706.1) is greater than 13%. The grading in the vicinity shall be revised to minimize this drastic slope.
  - c. We recommend a maximum slope in the parking lot of 4%. This is exceeded in the area just south of the ADA parking stalls. The grading at this location shall be revised accordingly.
13. Grading consideration shall be given to the monument sign location, and the grading plan shall be revised accordingly.
14. An ADA ramp shall be installed at the southeast corner of Division Drive and Wheeler Road.
15. The bike path along Wheeler Road shall continue to the IDOT right of way at a minimum. (The limits of the IDOT right of way shall be shown accordingly.)

**Sheet C3.1**

16. Based on discussions at the Plan Council meeting on September 6, 2012, it is our understanding the building footprint and layout may change. The footprint shall be updated on all plan sheets, and the layout of the water and sanitary sewer services shall be revised accordingly.
17. The fire and domestic services shall be independently tapped from the existing water main. In addition, both service valves shall be placed either in the right of way or in an easement immediately adjacent to the right of way.
18. To maximize the space between the relocated fire hydrant and the sanitary interceptor sewer, we recommend moving the fire hydrant north of the drive ay access.
19. Note #1 shall be eliminated regarding the water main.
20. Based on discussions at the Plan Council meeting on September 6, 2012, the following shall be revised:
- a. The fire hydrant along Division Drive in conflict with the proposed entrance shall be relocated to the north of the entrance. This main along Division Drive shall not be shut down at any time. Therefore, a tapping valve will be required at this location.
  - b. The existing fire hydrant along Wheeler Road at the northeast corner of the site shall be relocated to the proposed island in the parking lot immediately south of its location
21. No water or sanitary structures shall be placed in paved areas (including the sidewalk and bike path). Currently, the water pressure connection is shown in the proposed sidewalk, and an existing fire hydrant and valve are shown in the proposed bike path at the northeast corner. A couple of recommendations are as follows:
- a. Shift the bike path south to eliminate the structures (and water main) from being located within the bike path. A public access easement shall be provided for the portion of the bike path located on private property accordingly
  - b. Shift the sidewalk to the west at the tap location or tap off the water main along Division Drive and possibly move the tap north to minimize the impact on the sidewalk if the tap remains in this location.
  - c. The rim elevation of the valve vault and elevation of the fire hydrant shall be adjusted if necessary depending on grading.

22. Per discussions with Sandy Medrano at FMRWD on August 29, 2012, it is acceptable to tie directly into the 24" interceptor sewer with an insert-a-tee and riser, thereby eliminating the two manholes and sewer installation within the proposed detention basin.
23. There appears to be a header walk along the front of the building with no gutter.
24. The wheel stops shall be called out on the drawings.

#### **Details**

25. The revised bike path, sidewalk, and ramp details shall be provided in lieu of the four different details shown on Sheet C7.3, and the one detail on Sheet C7.4. Please refer to the attached.
26. Details for the following shall be provided:
  - a. Headerwalk
  - b. Bike rack pad
  - c. Garbage dumpster concrete pad

#### **Stormwater Permit Application & Report**

27. The permit application shall be signed by the appropriate parties.
28. A short-term and long-term maintenance schedule/ expectations shall be provided (in a narrative format at a minimum).

#### **Preliminary Plat**

29. It is our understanding that it is Village staff's intent to eliminate the Preliminary Plat requirement. So, no comments have been provided at this time regarding the Preliminary Plat.

#### **Plat of Resubdivision**

30. A location map shall be provided, drawn at a scale of not less than one inch equals one thousand feet (1" = 1,000'), showing boundary lines of adjoining, unsubdivided or subdivided land within an area bounded by nearest arterial streets or other natural boundaries, but not less than one-half (1/2) mile beyond the subdivision boundaries in subdivisions located beyond the Village limits, identifying type of use and ownership of surrounding land and showing alignments of existing streets.
31. The sanitary sewer easement shall be dimensioned.
32. A current survey shall be provided and shall not be less than six (6) months old, prepared and certified by an Illinois registered land surveyor showing the topography. All permanent buildings and structures and easements within 200' of the tract shall be located on this plat. The top of foundation of Healy Chapel shall be provided.
33. The proposed concrete monument locations shall be shown.
34. The basis of the bearings shall be described on the plat.
35. A full and detailed description of the land embraced in the plat shall be provided, showing the township and range in which such land is situated and the sections and parts of sections platted, and in the case of replatting or resubdividing, a description of the part of, and the name

Mr. Rich Young  
September 6, 2012  
Page 5 of 5

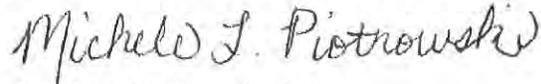
of, the original plat which is replatted or resubdivided containing the name of the town, city, village or addition platted, the name of the owner required to sign the plat and the surveyor making it. If there is any excepted parcel within the plat boundary it must be accurately described by metes, bounds and courses.

36. A statement over the signature of the surveyor who prepared the final plat shall be provided indicating the total square footage of each lot shown on the final plat.
37. The street widths shall be dimensioned.
38. The surveyors stamp does not need to be on page one of the plat and should be removed.
39. A drainage overlay with a properly executed certificate in accordance with State statutes shall be provided.

The final engineering plans and plats shall be re-submitted with the above noted revisions. Please contact our office if you have any questions or if you require any additional information.

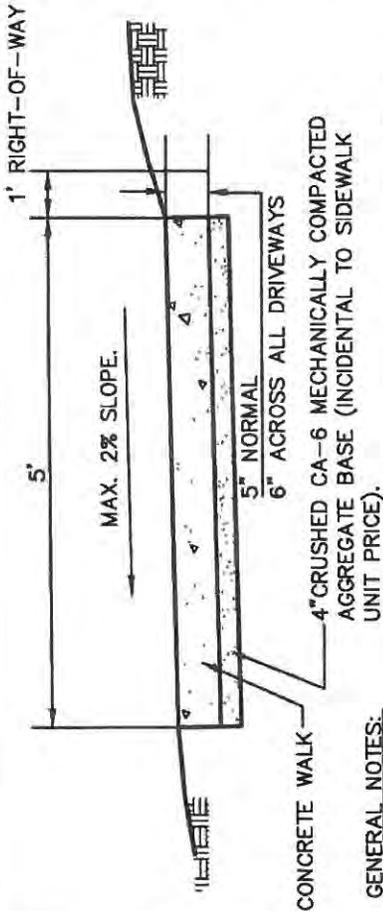
Respectfully Submitted,

ENGINEERING ENTERPRISES, INC.



Michele L. Piotrowski, P.E.  
Project Manager

pc: Mr. Brent Eichelberger, Village Administrator  
Mr. Anthony Speciale, Director of Public Works  
Mr. Mike Ferencak, Planner  
Mr. Michelle Noyes, Building Inspector  
MLP - EEI



**GENERAL NOTES:**

1. REMOVE ALL TOPSOIL. PLACE CONCRETE ON 4" COMPACTED CA-6 STONE.
2. A CONTROL (CONTRACTION) JOINT SHALL BE TOOLED AT 5' INTERVALS AT THE TIME OF PLACEMENT. EXPANSION JOINTS WITH 1/2" BITUMINOUS FILLER MATERIAL SHALL BE SPACED AT INTERVALS SPECIFIED BELOW, AND AT 2.5' EITHER SIDE OF UTILITY STRUCTURE.
3. SIDEWALK SHALL BE 6" THICK MIN. AT DRIVEWAY CROSSINGS, AND AT WHEEL CHAIR RAMPS, 5" MIN. OTHER AREAS.
4. CONCRETE SHALL BE CLASS SI.
5. PLACE 3/4" PREFORMED BIT. FILLER MATERIAL AT THE FULL DEPTH OF CONCRETE AT EDGES ABUTTING SIDEWALKS, CONCRETE DRIVES OR PRIVATE SIDEWALKS.

**TYPICAL EXPANSION JOINT SPACING CURB AND SIDEWALK**

| POUR TEMP. (DEG. F) | EXPANSION JOINT (SPACING FT.) |
|---------------------|-------------------------------|
| 40 MIN.....         | 70'                           |
| 45.....             | 75'                           |
| 50.....             | 80'                           |
| 55.....             | 90'                           |
| 60.....             | 95'                           |
| 65.....             | 105'                          |
| 70.....             | 115'                          |
| 75.....             | 125'                          |
| 80.....             | 145'                          |
| 85.....             | 160'                          |
| 90 MAX.....         | 190'                          |

6. MAX. LONGITUDINAL SLOPE IS 5.0%.
7. THE SURFACE SHALL HAVE A LIGHT BROOM FINISH.
8. MEMBRANE CURING WITH W.R. MEADOWS CS 309, OR APPROVED EQUAL, WITH A WHITE FUGITIVE DYE SHALL BE PROVIDED.
9. QUALITY CONTROL TESTING SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/CONTRACTOR. QUALITY ASSURANCE TESTING SHALL BE THE RESPONSIBILITY OF THE VILLAGE. THE MIX SHALL MEET IDOT SPECIFICATIONS.
10. THE VILLAGE ENGINEER SHALL BE CONTACTED 48 HOURS PRIOR TO THE POUR FOR A REVIEW OF THE BASE, REINFORCING AND FORMWORK.
11. CONCRETE DELIVERY TICKETS FROM THE CONCRETE SUPPLIER SHALL BE PROVIDED TO THE VILLAGE ENGINEER INDICATING A MINIMUM OF SIX (6) BAG MIX, THE AIR ENTRAINMENT, AND THE LOCATION, AND DATE OF THE POUR. A COPY OF THE DATED BILLING FOR THE CURING COMPOUND AND PROTECTIVE COATING SHALL ALSO BE REQUIRED FOR APPROVAL.
12. 20' - NO. 4 REBAR IS REQUIRED AT ALL TRENCH CROSSINGS.
13. UTILITY STRUCTURES ARE NOT PERMITTED IN THE SIDEWALK.
14. PROVIDE RAMP AND DETECTABLE WARNING AT ALL STREET CROSSINGS IN ACCORDANCE WITH THE VILLAGE'S SIDEWALK AND BIKE PATH RAMP DETAIL AND ADA REQUIREMENTS. IF A CONFLICT EXISTS BETWEEN THE DETAIL AND ADA REQUIREMENTS, THE MORE STRINGENT REQUIREMENT WILL APPLY.
15. SIDEWALK SHALL BE POURED IN A MONOLITHIC POUR WHEN POSSIBLE.

**TYPICAL SIDEWALK SECTION**

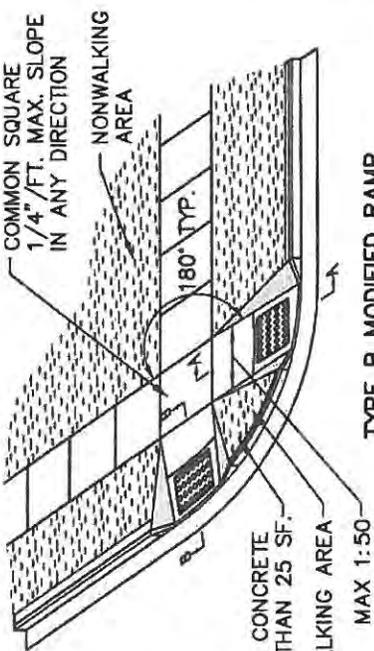
Village of Sugar Grove  
10 Municipal Drive  
Sugar Grove, Illinois 60554  
Phone: (630) 466-4507

SCALE: N.T.S.  
DATE: 5/18/07

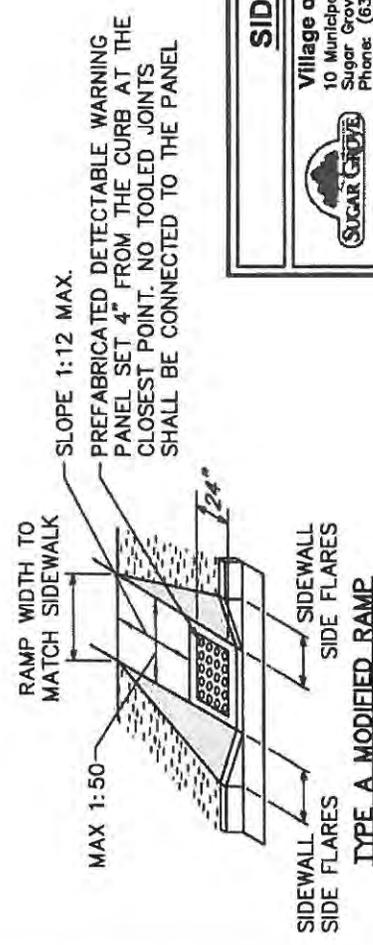
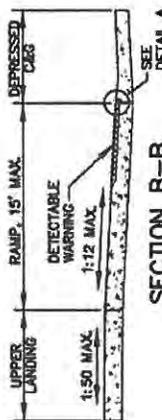
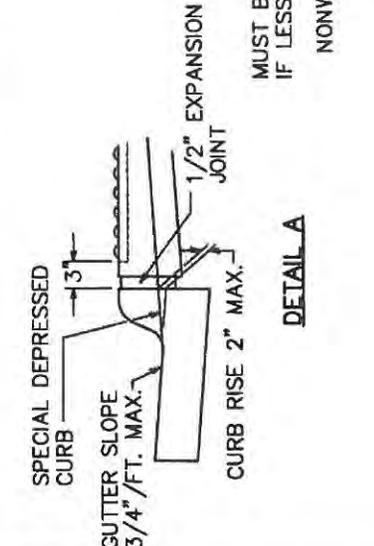
FOLDER: SG-RD

DRAWING NUMBER: 13

DRAWN BY: CLN  
REVISION: 05/30/12



**TYPE B MODIFIED RAMP**



**NOTES**

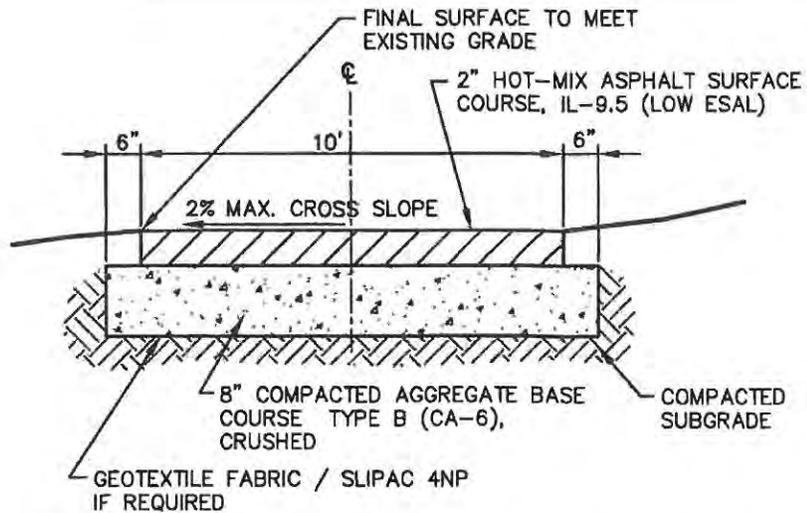
1. A PREFABRICATED, BRICK RED (FEDERAL STANDARD COLOR 30166) DETECTABLE WARNING PANEL, WITH SQUARE PATTERNED TRUNCATED DOMES, SHALL BE USED IN LIEU OF STAMPED COLORED CONCRETE. THE PANEL SHALL BE AN E-Z-SET CERAMIC COMPOSITE DETECTABLE WARNING PANEL OR APPROVED EQUAL.
2. SIDEWALL FLARES WILL BE 1:1 TO 4:1 SLOPE.
3. CURB DEPRESSION AND SIDEWALL FLARES SHALL BE POURED IN PLACE.
4. THE PANEL SHALL LIE PERPENDICULAR TO THE STREET AND SHALL BE ALIGNED WITH RAMPS ACROSS THE STREET.

**LEGEND**

- DETECTABLE WARNING PANELS
- SIDEWALK
- NON WALKING AREA
- CONCRETE SOIL STABILIZATION SIDEWALL

**SIDEWALK AND BIKE PATH RAMP DETAIL**

|  |                  |                         |                              |                      |
|--|------------------|-------------------------|------------------------------|----------------------|
| <p>Village of Sugar Grove<br/>10 Municipal Drive<br/>Sugar Grove, Illinois 60554<br/>Phone: (630) 466-4607</p> | SCALE:<br>N.T.S. | FOLDER:<br><b>SG-RD</b> | DRAWING NUMBER:<br><b>15</b> | DRAWN BY:<br>CLN     |
|  | DATE:<br>8/14/07 |                         |                              | REVISED:<br>05/30/12 |



**NOTES:**

1. THE PATH CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH IDOT'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION."
2. PROVIDE RAMP AND DETECTABLE WARNING AT ALL STREET CROSSINGS IN ACCORDANCE WITH THE VILLAGE'S SIDEWALK AND BIKE PATH RAMP DETAIL AND ADA REQUIREMENTS. IF A CONFLICT EXISTS BETWEEN THE DETAIL AND ADA REQUIREMENTS, THE MORE STRINGENT REQUIREMENT WILL APPLY. THIS WILL REQUIRE A MINIMUM 5 FOOT LENGTH OF THE BIKE PATH TO BE CONCRETE AT THE RAMP TO ALLOW FOR THE PLACEMENT OF THE RED PANELS. THE CONCRETE AT THIS LOCATION SHALL BE 10 FOOT WIDE AND MEET THE SIDEWALK DETAIL REQUIREMENTS.
3. NO UTILITY STRUCTURES SHALL BE ALLOWED IN THE BIKE PATH.
4. PROOFROLLS ARE REQUIRED OF THE SUB-GRADE AND AGGREGATE BASE. THE CONTRACTOR SHALL PROVIDE THE LOADED TRUCK AND DRIVER FOR THE PROOFROLLS. THE VILLAGE ENGINEER SHALL WITNESS ALL PROOFROLLS. THE CONTRACTOR SHALL PROVIDE A COPY OF THE LOAD TICKET TO THE VILLAGE ENGINEER. THE VILLAGE ENGINEER DETERMINES IF THE PROOFROLL PASSES OR FAILS. THE CONTRACTOR DETERMINES CORRECTIVE MEASURES AND IMPLEMENTS THEM.
5. THE VILLAGE ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY PROOFROLL OR PAVING.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING QUALITY CONTROL TESTING. A TESTER SHALL TAKE SAMPLES AT THE PLANT PRIOR TO PAVING AND THEN BE ON SITE AT THE START OF THE PAVING. THE VILLAGE RESERVES THE RIGHT TO PERFORM QUALITY ASSURANCE TESTING.

**TYPICAL PATH SECTION**

|   |                  |              |                    |                      |
|---|------------------|--------------|--------------------|----------------------|
|  <p><b>Village of Sugar Grove</b><br/>10 Municipal Drive<br/>Sugar Grove, Illinois 60554<br/>Phone: (630) 466-4507</p> | SCALE:<br>N.T.S. | FOLDER:      | DRAWING<br>NUMBER: | DRAWN BY:            |
|   | DATE:<br>8/14/07 | <b>SG-RD</b> | <b>12</b>          | CLN                  |
|   |                  |              |                    | REVISED:<br>05/30/12 |

Conditions List  
American Heartland Resubdivision  
10/12/12

Exceptions to the Zoning Ordinance are **Bolded**

Unresolved conditions are **highlighted**.

1. The existing PUD shall be amended as noted in the Combined Comment Letter dated September 24, 2012.
2. The Preliminary PUD, Final PUD, and Special Use for Lot 1 shall substantially conform to:
  - A. the Preliminary / Final Plat, titled "Final Plat of American Heartland Resubdivision", by Craig R. Knoche & Associates, sheets 1 and 2 of 2, dated August 14, 2012;
  - B. the Preliminary / Final Site / Engineering / Landscape / Photometric Plan Set, titled "American Heartland Bank", by Craig R. Knoche & Associates, sheets C0.1 to C7.5, dated August 21, 2012;
  - C. the Preliminary / Final Floor Plan, titled "American Heartland Bank and Trust", by Studio GC Architecture & BIM, 7 sheets, dated September 13, 2012;
  - D. the Preliminary / Final Ground Sign Plan, titled "American Heartland Bank & Trust", by Aurora Sign Co., sheet 11, dated February 15, 2012;except as such plans may be revised to conform to Village codes and ordinances and the conditions below.
3. **Architectural Elevation and Trash Enclosure Elevation Plans (including any wall signs) are not being reviewed and approved at this time. The applicant shall request a Minor PUD Amendment prior to submittal for building The Architectural Elevation and Trash Enclosure Plans are required to undergo full review by the Architectural Review & Resource Group and the Plan Commission, and require the approval of the Village Board.**
4. **An exception to reduce required parking from 53 spaces to 40 spaces is hereby approved.**
5. **An exception to reduce the required north corner side building setback from 75 feet to approximately 55 feet is hereby approved. (This number may be increased as the plan is updated.)**

6. **An exception to reduce the required north corner side pavement setback from 45 feet required to approximately 35 feet is hereby approved. (This number may be increased as the plan is updated.)**
7. **An exception to reduce the required south side pavement setback from 30 feet to approximately 10 feet is hereby approved. (This number may be increased as the plan is updated.)**
8. **An exception to reduce the required west corner side pavement setback from 30 feet to approximately 25 feet is hereby approved. (The number may be increased or the exception eliminated as the plan is updated.)**
9. **An exception to reduce the minimum required stacking spaces for each of three drive-through lanes from 6 spaces to 3 spaces is hereby approved.**
10. **An exception to reduce the minimum required drive aisle width for each of three drive-through lanes from 12 feet to 9 feet is hereby approved.**
11. **An exception to not require sidewalks be installed on the opposite sides of the streets bordering the subdivision is hereby approved.**
12. **A public sidewalk along the State Route 47 side of the property shall be added to the plans with the next revision.**
13. **An exception to not require streets adjacent to the subdivision be improved is hereby approved.**
14. **An exception to not require property lines at intersections be rounded with a 25' radius is hereby approved.**
15. The various easements shall be added to the Site Plan.
16. The building walls shall be dimensioned on the Site Plan.
17. The northern handicap accessible parking space shall be flipped such that the striping is located next to the other handicap accessible parking space. The ramp shall then be centered on the two striped areas and align with the front door of the building. These changes shall be made with the next revision.
18. The parking island in the east row of parking spaces shall be increased to nine (9) feet at its widest point at a minimum and shown on the plans with the next revision.
19. One 12' x 60' loading space shall be designated on the plans and shown with the next revision.

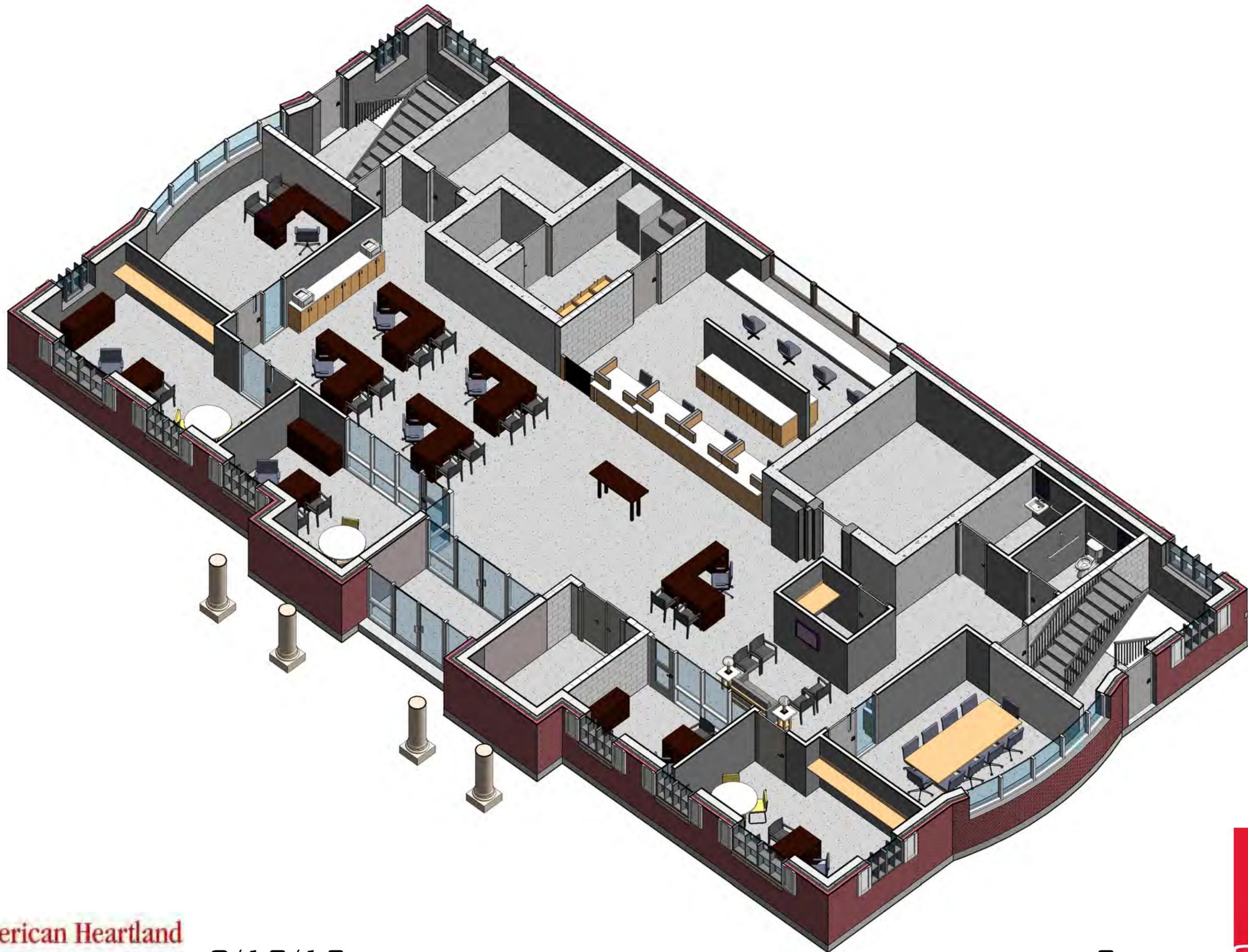
20. The fire hydrant near Wheeler Road shall be relocated close to the parking lot and the fire hydrant near Division Drive shall be relocated north of the entrance to the site. These shall address Fire District requirements and be shown on the plans with the next revision.
21. All drive aisles on the site shall be a minimum of 20 feet to address Fire District requirements. These shall be shown on the plans with the next revision.
22. The building sidewalk shall be extended north to connect with the bike path along Wheeler Road. The bike racks currently shown at the south end of the site shall be relocated along this extended sidewalk between the parking lot and the bike path. These revisions shall be shown on the plans with the next revision.
23. All sidewalks shall be a minimum of 5 feet and a minimum of 7 feet when located next to parking spaces. Any corrections necessary shall be made on the plans with the next revision.
24. The building sidewalk shall not be obstructed by any columns that may overhang the footprint of the building. Any corrections necessary shall be made on the plans with the next revision.
25. All comments in the letter from EEI dated September 6, 2012 (part of the Combined Comment Letter) shall be addressed.
26. The Landscape Plan shall be revised to add 1 tree to the east island, 5 shrubs to the north buffer, 21 shrubs to the east buffer, and 20 shrubs to the west buffer. Also, 5 trees in the east buffer shall be repositioned to a State Route 47 parkway tree alignment and 2 trees added to that alignment. A few trees and shrubs may be removed from the south buffer to accommodate concerns about their location in a sanitary sewer easement. The Green Mountain Sugar Maples in the parkways shall be changed to Miyabei State Street Maples per the Public Works Department. The long, straight lines of shrubs in the north and west buffers shall be changed to clusters for variety. These changes shall be made on the plans with the next revision.
27. The Seed Mix and pond landscaping will need to be reviewed by the Village's consultant.
28. The Ground Sign Plan shall be revised to show a sign meeting all Zoning Ordinance requirements including setback, size, EMC sign type, EMC display area, EMC brightness and color, and EMC effects, but not including the setback required from residential-zoned areas.
29. **An exception to allow an EMC within 200' of a residential-zoned area is hereby approved.**

30. The required north building setback shall be corrected to 75 feet on the Final Plat and shown with the next revision.
31. A letter of credit in the amount of 120% of the engineering cost estimate of the public improvements shall be submitted prior to recording the Final Plat.
32. The Photometric Plan shall be revised to include the under-canopy lighting.
33. Within 90 days of a Certificate of Occupancy being issued, the petitioner shall reface the current existing non-conforming sign at the SW corner of IL 47 and Waubonsee Drive as determined by the Village, or the Village may utilize developer escrow funds to accomplish refacing.



1 FIRST FLOOR  
1/8" = 1'-0"





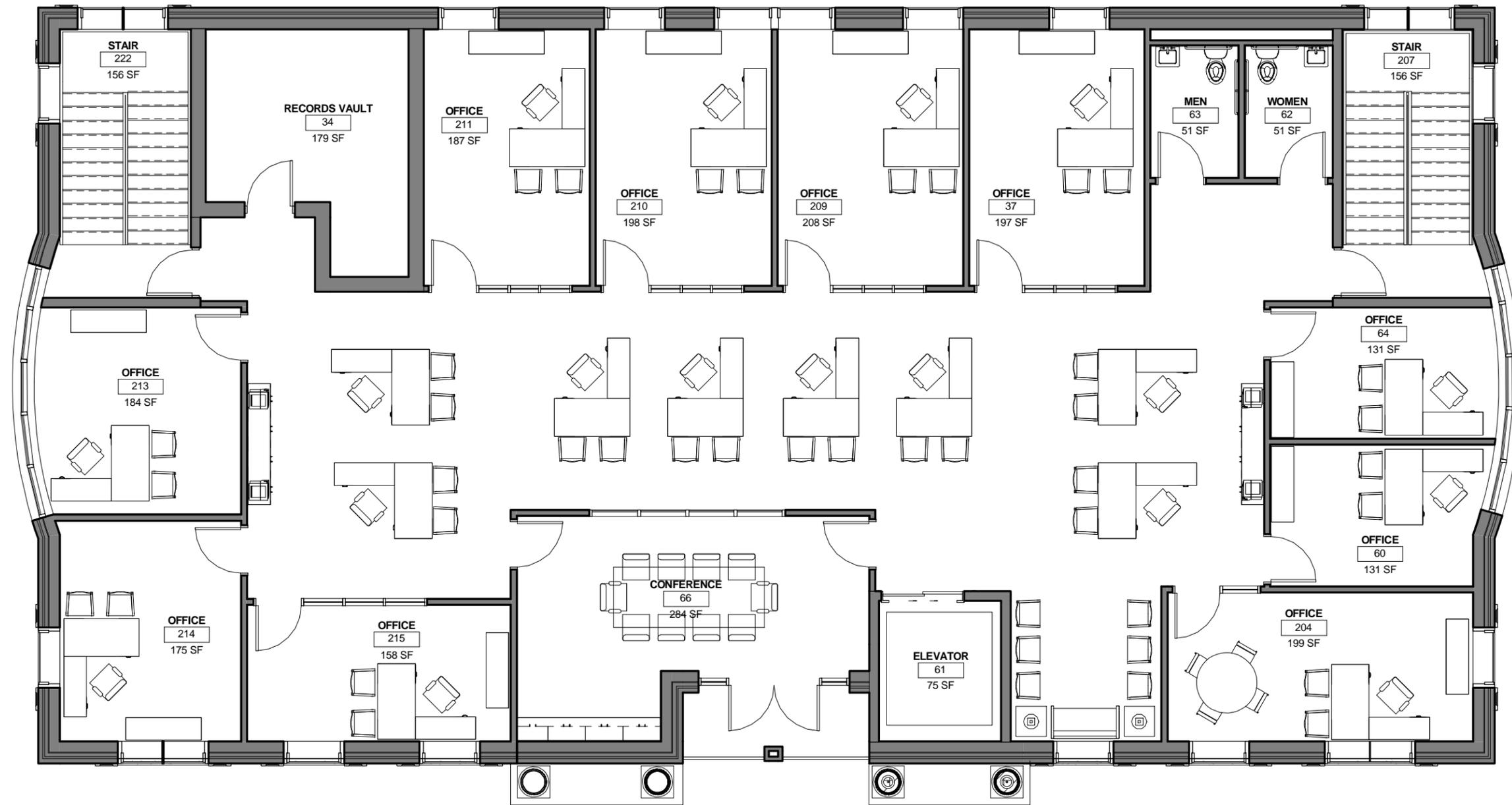
American Heartland

BANK AND TRUST

9/13/12

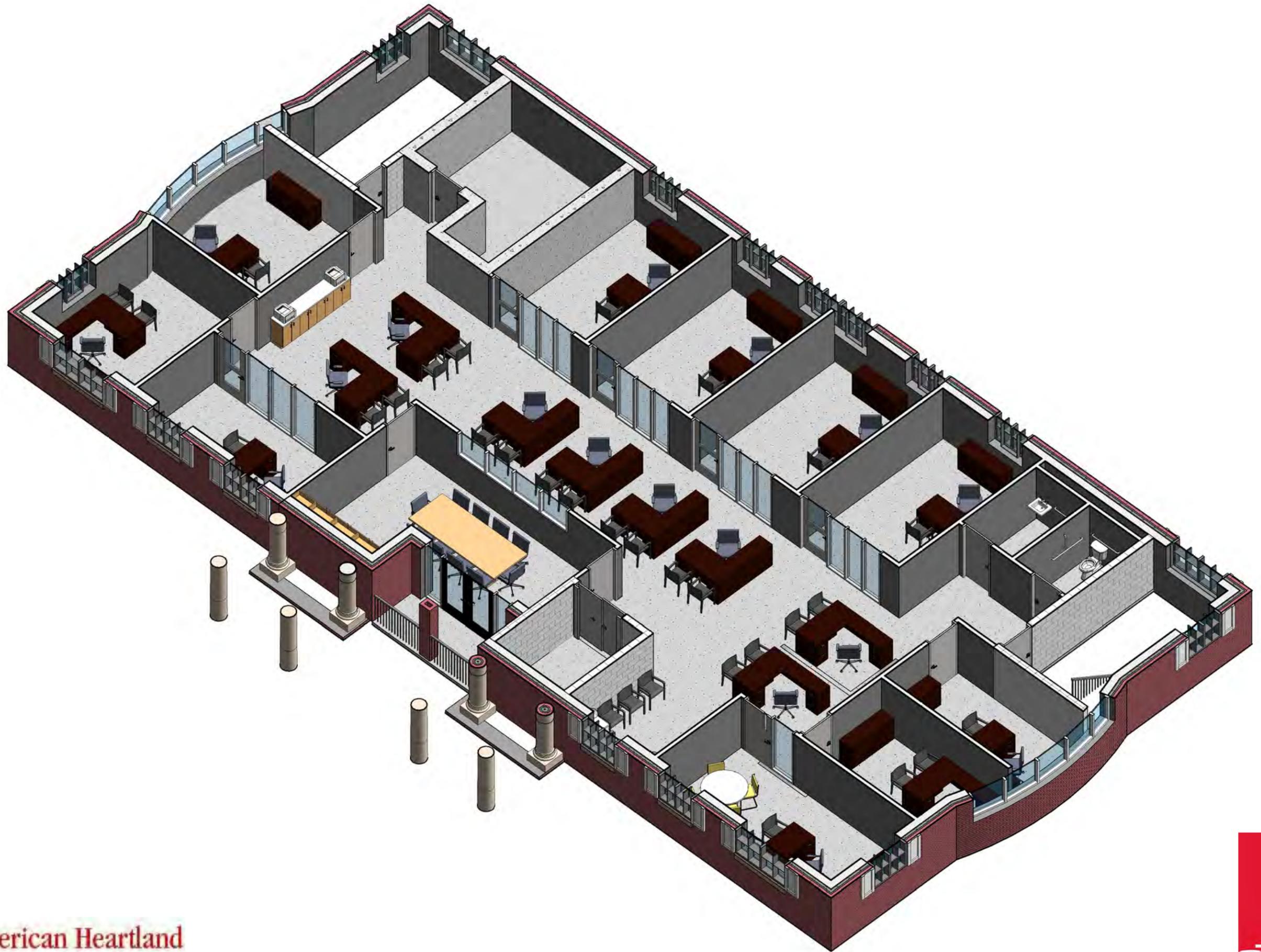
FIRST FLOOR 3D VIEW





BALCONY

1 SECOND FLOOR  
1/8" = 1'-0"



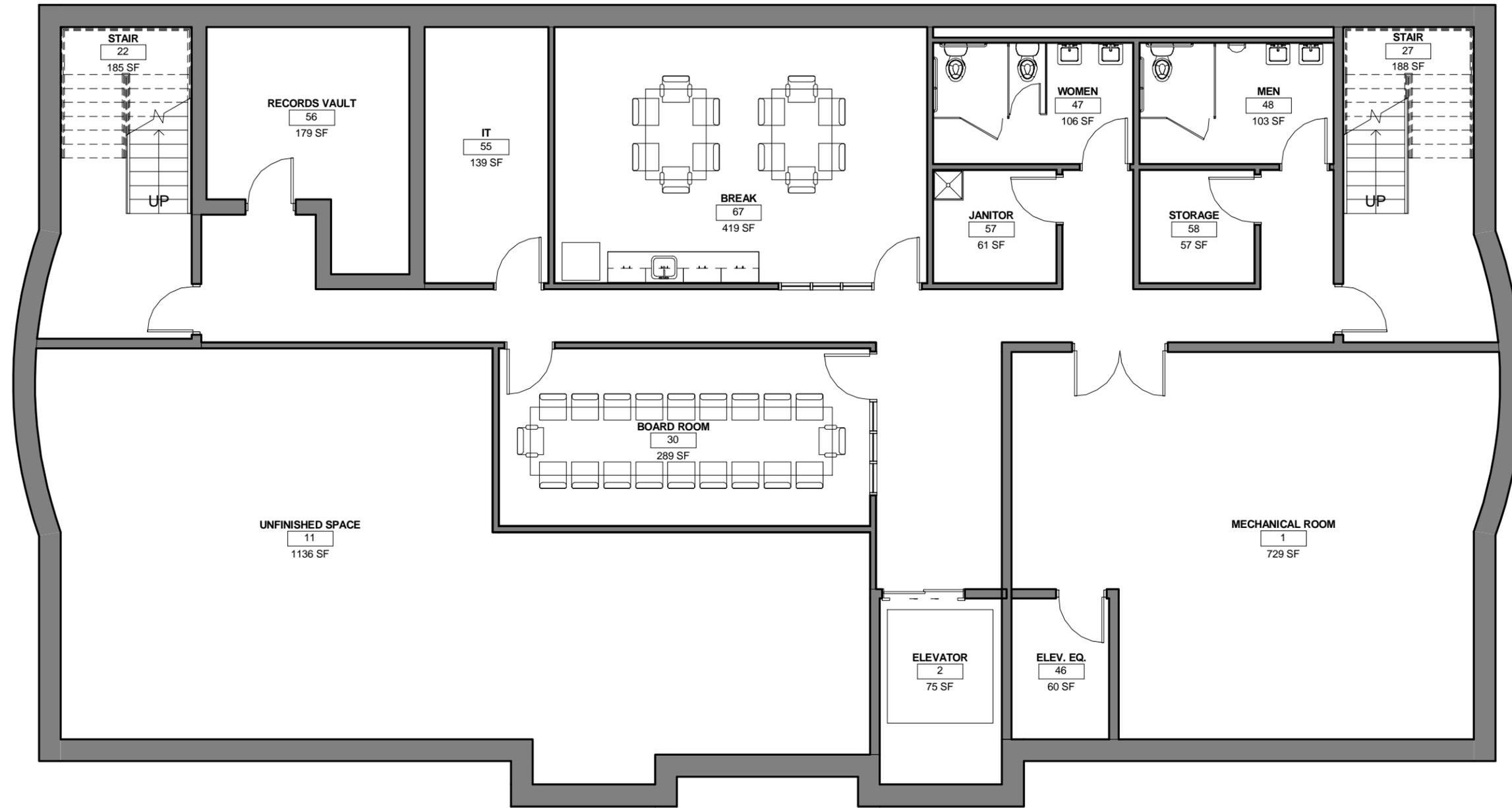
American Heartland

BANK AND TRUST

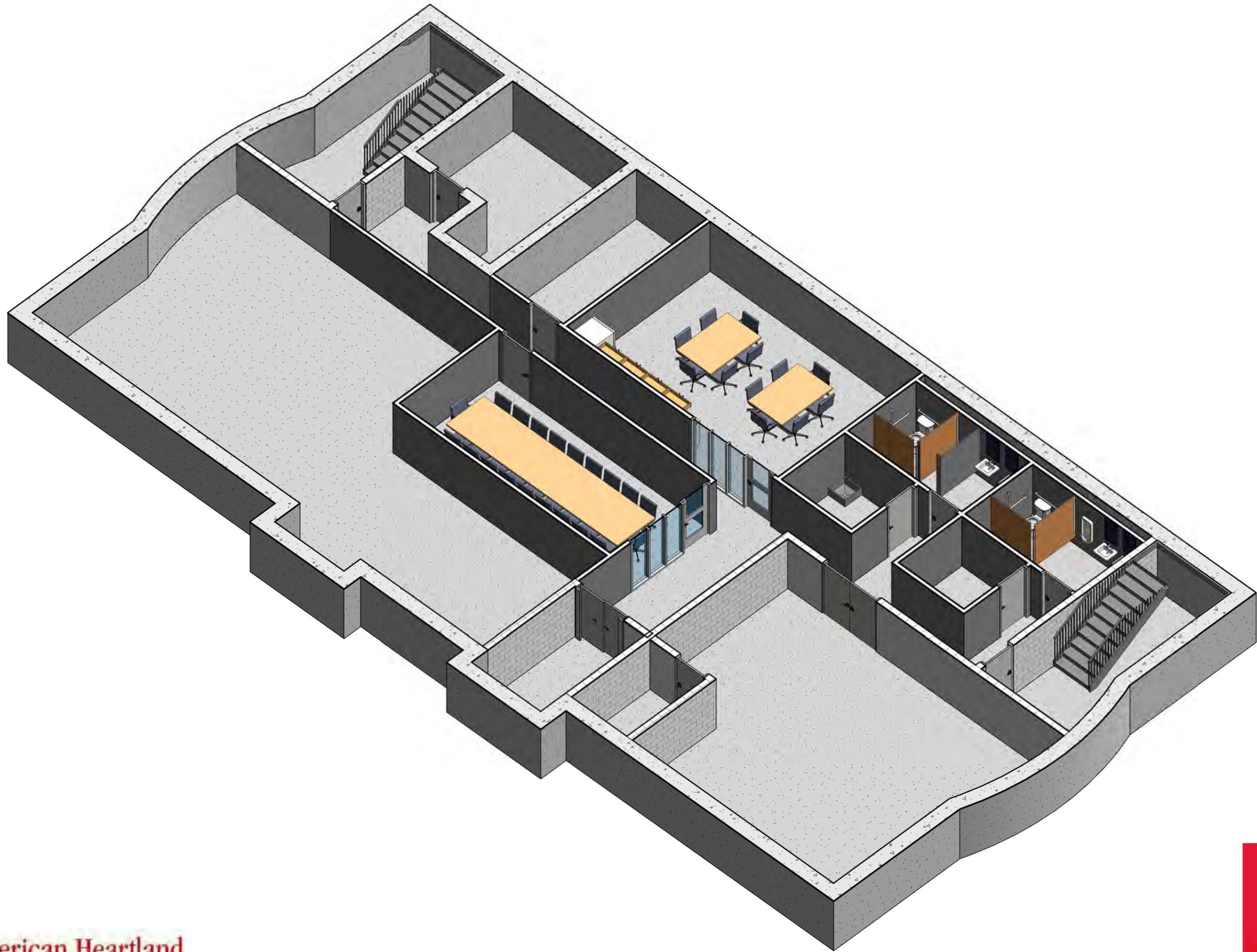
9/13/12

SECOND FLOOR 3D VIEW





① BASEMENT  
1/8" = 1'-0"



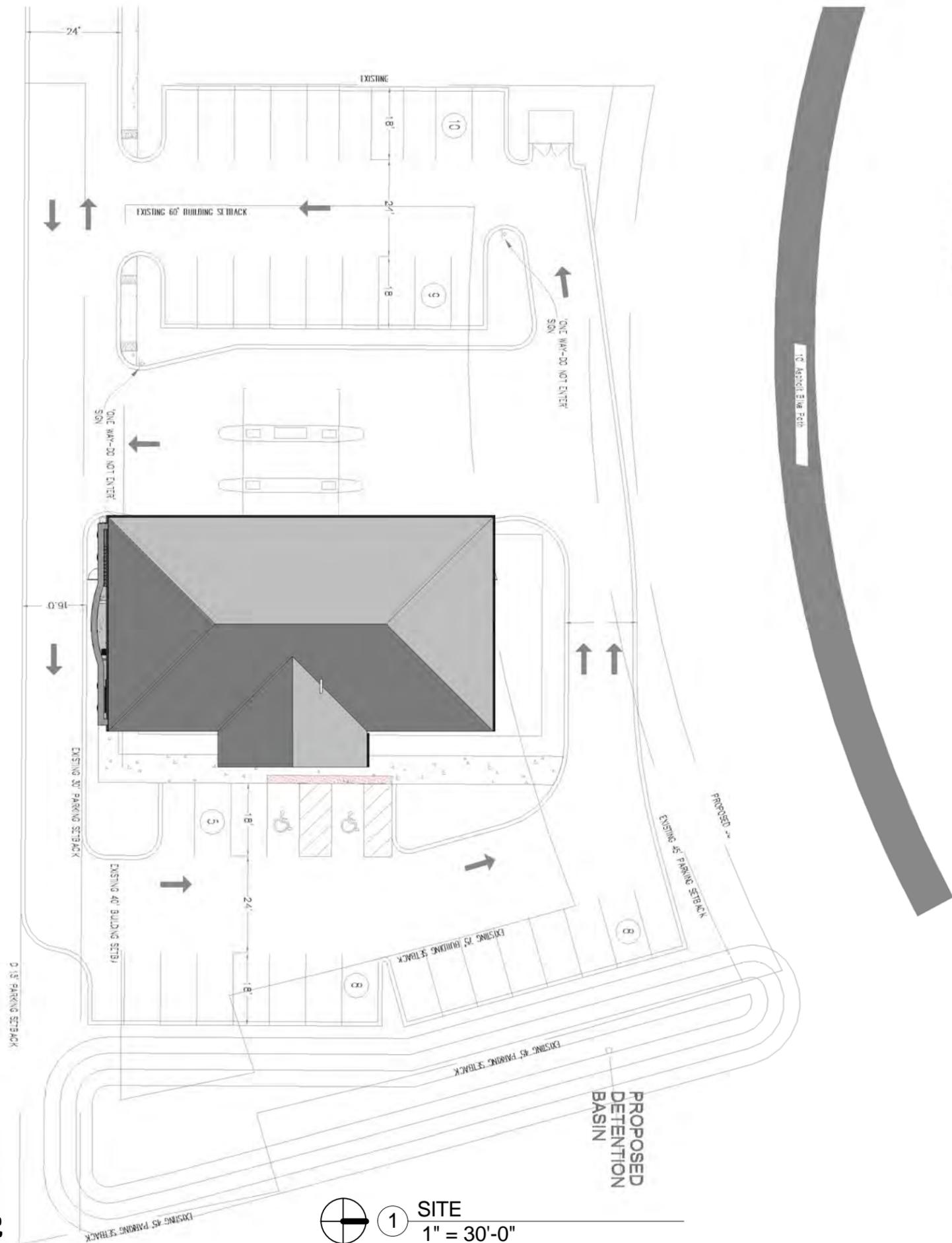
American Heartland

BANK AND TRUST

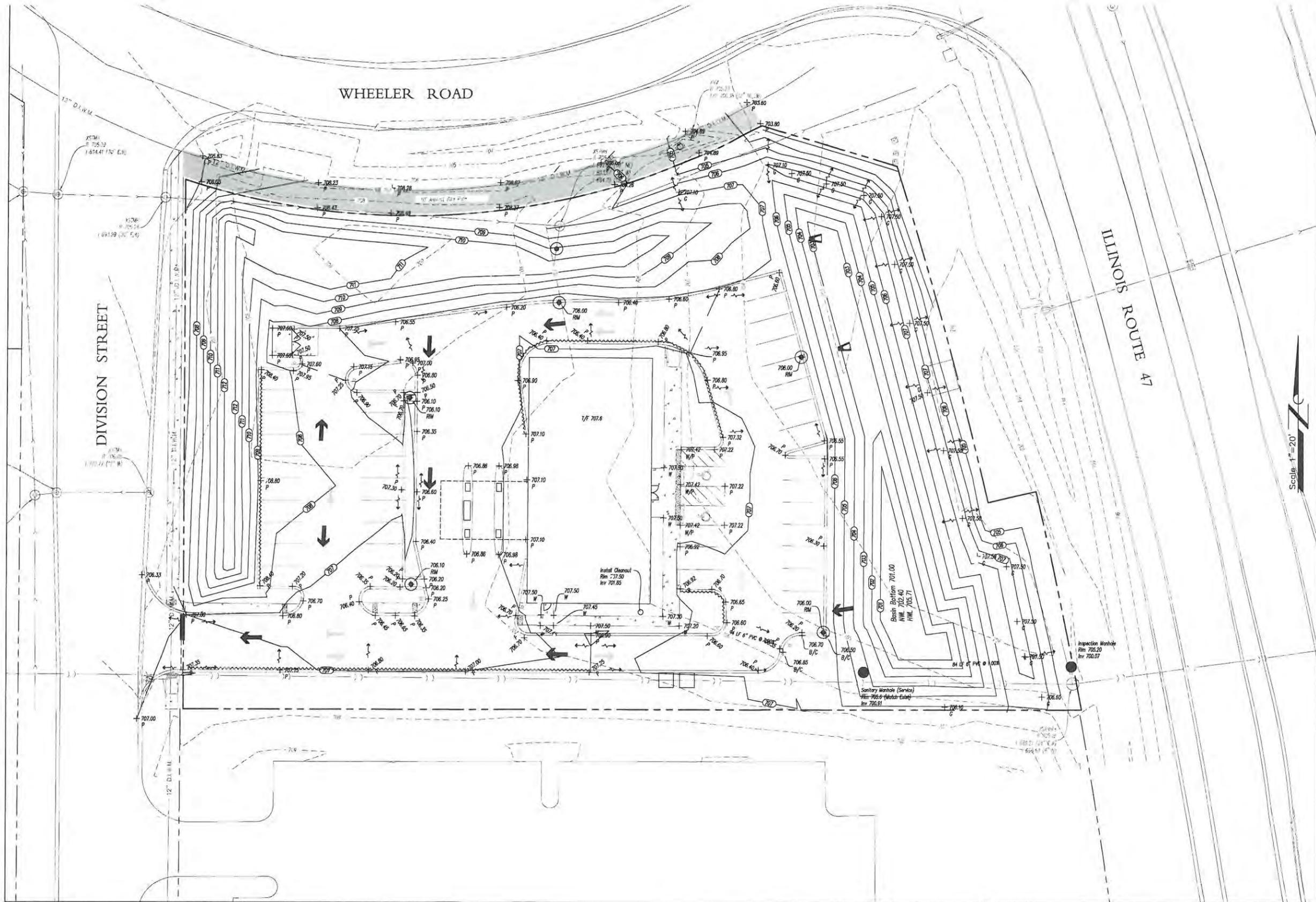
9/13/12

BASEMENT FLOOR 3D VIEW





① SITE  
1" = 30'-0"



**LEGEND**

|                               | EXISTING | PROPOSED |
|-------------------------------|----------|----------|
| PAVEMENT GRADE                |          |          |
| WALK GRADE                    |          |          |
| BACK OF CURB GRADE            |          |          |
| GROUND GRADE                  |          |          |
| RIM GRADE                     |          |          |
| GALENA BLVD GRADE (BY OTHERS) |          |          |
| STORM MANHOLE/CATCH BASIN     |          |          |
| STORM INLET                   |          |          |
| FLARED END SECTION            |          |          |
| SANITARY MANHOLE              |          |          |
| FIRE HYDRANT                  |          |          |
| VALVE VAULT/B-BOX             |          |          |
| CONTOURS                      |          |          |
| EMERGENCY OVERTFLOW           |          |          |
| FLOW DIRECTION                |          |          |
| RIDGELINES                    |          |          |
| REVERSE CURB/ GUTTER          |          |          |

- GRADING NOTES:**
1. GRADING CONTRACTOR SHALL VERIFY EXISTING CONTOURS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
  2. THE GRADING CONTRACTOR SHALL SPREAD SPOILS FROM THE UTILITY CONTRACTOR WORK TO BALANCE THE SITE TO THE EXTENT POSSIBLE.
  3. THE GRADING CONTRACTOR SHALL REMOVE EXCESS SOIL FROM THE SITE.
  4. GRADING CONTRACTOR SHALL NOTIFY ENGINEER IF UNSUITABLE SOIL IS ENCOUNTERED. CONTRACTOR SHALL REMOVE AND REPLACE UNSUITABLE MATERIAL AS DIRECTED BY SOIL ENGINEER.
  5. GRADING CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO PAVING. ENGINEER SHALL APPROVE GRADING PRIOR TO PAVING. GRADING CONTRACTOR SHALL MAKE CHANGES AS DIRECTED BY ENGINEER.
  6. SEE SOIL REPORT FOR TESTING REQUIREMENTS.
  7. GENERAL CONTRACTOR TO VERIFY ACCEPTANCE OF MASS GRADING NO LATER THAN 24 HOURS PRIOR TO BID DUE DATE.
  8. CONTRACTOR SHALL VERIFY GRADES FOR DRIVE THRU WITH ARCHITECT'S PLANS.

Scale: 1"=20'

**DRAINAGE OVERLAY CERTIFICATE**

STATE OF ILLINOIS }  
 COUNTY OF KANE } ss.  
 TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, ADEQUATE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE SUBDIVISOR HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJACING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJACING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_  
 ILLINOIS REGISTERED PROFESSIONAL ENGINEER \_\_\_\_\_ OWNER OR AUTHORIZED REPRESENTATIVE  
 STATE REGISTRATION NUMBER \_\_\_\_\_

DATE: 8-21-12  
 FILE: 12-014-C20  
 JOB NO: 12-014  
 SHEET NO. C2.1

**REVISIONS**

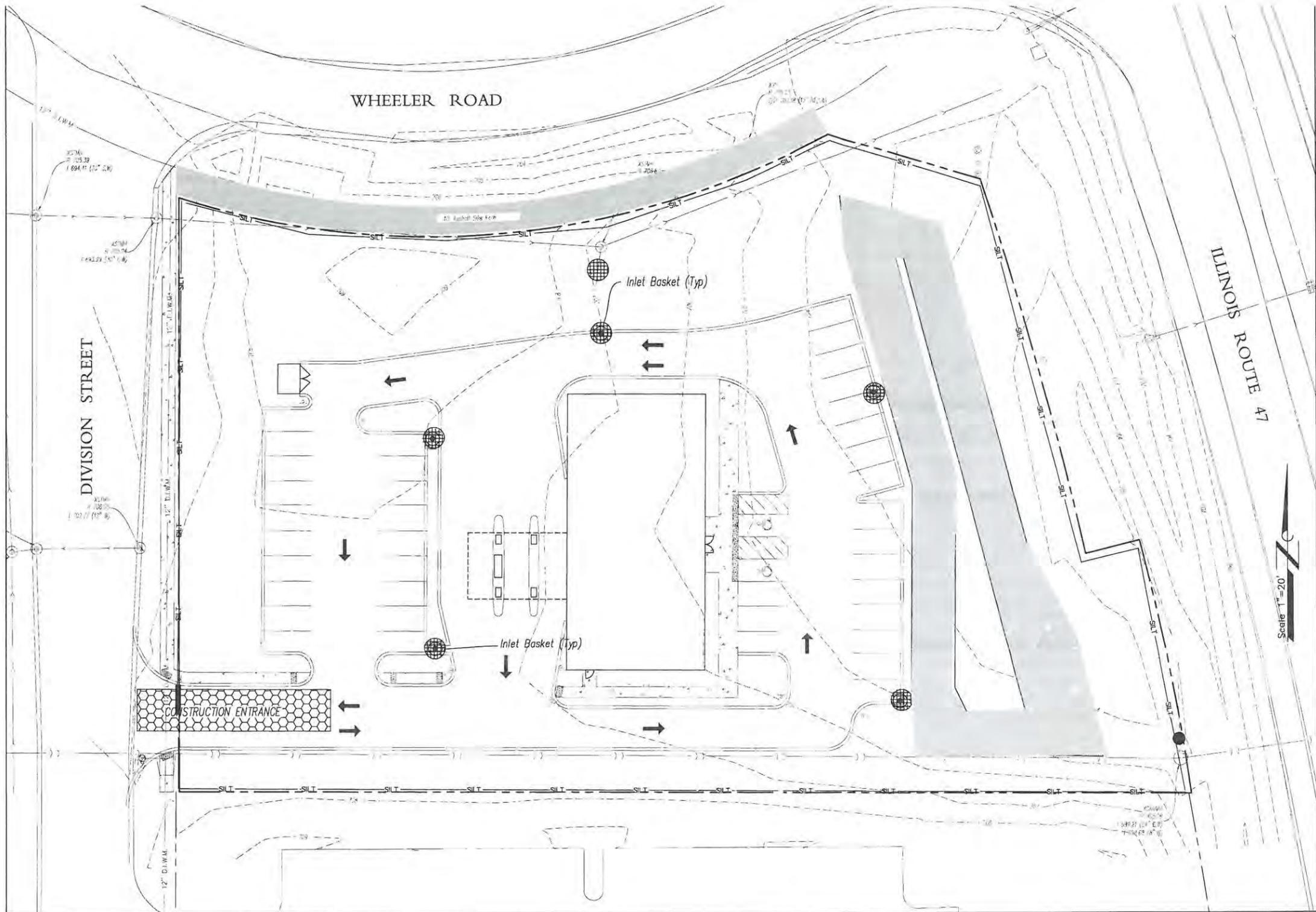
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**GRADING PLAN**

**AMERICAN HEARTLAND BANK**  
**PRAIRIE GROVE COMMONS**  
**SUGAR GROVE, ILLINOIS**

**Craig R. Knoche & Associates**  
 Civil Engineers, P.C.  
 24 N. Bennett Street • Geneva, IL 60134 • phone (815) 845-1270 • fax (815) 845-1275

DATE: 8-21-12  
 FILE: 12-014-C20  
 JOB NO: 12-014  
 SHEET NO. C2.1



- ILLINOIS
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF EROSION CONTROL DEVICES. IF THERE IS NO GENERAL CONTRACTOR IT WILL THEN BE THE RESPONSIBILITY OF THE EXCAVATION/GRADING CONTRACTOR TO INSTALL THE SOIL EROSION CONTROL DEVICES.
  - SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE PROPERTY WHERE BERMS, STOCKPILES, OR OTHER EARTHWORK WILL TAKE PLACE AND AROUND ANY EXISTING STORM SEWER STRUCTURES, PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
  - A STABILIZED CONSTRUCTION ENTRANCE(S) FOR MUD AND DUST CONTROL SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF THE PROJECT. CONSTRUCTION ENTRANCE(S) SHALL BE LOCATED WHERE SHOWN ON THE PLANS, AND AT ANY OTHER POINTS WHERE CONSTRUCTION TRAFFIC FREQUENTLY LEAVES THE PUBLIC ROADWAY FOR MORE THAN TWELVE MONTHS. THE STABILIZED CONSTRUCTION ENTRANCE(S) SHALL BE A MINIMUM OF 30' WIDE, 50' LONG, AND SHALL BE CONSTRUCTED OF A 6" THICK MINIMUM LAYER OF 2" ANGULAR CRUSHED AGGREGATE COMPACTED IN PLACE, LAID OVER A GEOTEXTILE FILTER FABRIC.
  - STREETS ADJACENT TO THE SITE SHALL BE KEPT FREE OF DIRT, MUD AND OTHER DEBRIS. THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY DIRT, MUD OR DEBRIS THAT MAY BECOME DEPOSITED UPON THE ADJACENT STREETS.
  - HAILING WILL NOT BE ALLOWED WHEN THE WORK SITE IS TOO WET TO MAINTAIN ACCEPTABLE CONDITIONS ON ADJACENT STREETS.
  - ADJACENT STREETS SHALL BE MECHANICALLY SWEEP AS NECESSARY OR AS DIRECTLY BY THE VILLAGE INSPECTOR.
  - NO SEDIMENT SHALL BE ALLOWED TO ENTER THE STORM SEWER SYSTEM.
  - ALL STORM SEWER STRUCTURES SHALL BE PROTECTED WITH STAKED STRAW BALES OR SILT FENCE, AND MAINTAINED UNTIL VEGETATION IS ESTABLISHED AND/OR CONSTRUCTION IS COMPLETE.
  - FILTER FABRIC WILL BE ADDED TO ALL EXISTING INLETS IN ADJACENT PAVED AREAS DOWNSTREAM OF CONSTRUCTION AND REMAIN THERE UNTIL CONSTRUCTION HAS BEEN COMPLETED.
  - TOPSOIL STOCKPILES SHALL BE LOCATED TO AVOID EROSION OF SAID STOCKPILE ONTO OFF SITE AREAS, I.E. THE STOCKPILE SHALL BE LOCATED SO THAT AN ON SITE DRAINAGE SWALE IS LOCATED BETWEEN THE STOCKPILE AND THE DOWNSTREAM OFF SITE PROPERTY. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN TWELVE MONTHS, IT IS REQUIRED THAT THE STOCKPILE BE SEEDED SO AS TO MINIMIZE SOIL EROSION BY BOTH WIND AND RAIN.
  - ALL STORM SEWER STRUCTURES, PERMANENT SEDIMENT BASINS, DETENTION AND/OR RETENTION BASINS PROVIDED WITHIN THIS PROJECT ARE TO BE CLEARED AT THE END OF CONSTRUCTION OF THE PROJECT AND PRIOR TO FINAL ACCEPTANCE. CLEANING MAY ALSO BE REQUIRED DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT IF IT IS DETERMINED THAT THE SILT AND DEBRIS TRAPS ARE NOT PROPERLY FUNCTIONING AND THEIR PERFORMANCE IS IMPAIRED.
  - CONCRETE TRUCKS SHALL WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONLY IN DESIGNATED WASH OUT LOCATIONS. THE CONTRACTOR SHALL TAKE SUFFICIENT PRECAUTIONS TO PREVENT SURPLUS CONCRETE OR DRUM WASH WATER FROM ENTERING THE STORM SEWER SYSTEM.
  - THE CONTRACTORS RESPONSIBLE FOR THE INSTALLATION OF THE EROSION CONTROL DEVICES SHALL MAKE AN INSPECTION OF THE INSTALLATION ON A WEEKLY BASIS OR FOLLOWING A RAINFALL OF 1/2 INCH OR MORE OVER A 24-HOUR PERIOD. A RECORD OF SUCH INSPECTIONS MUST BE KEPT IN THE JOB TRAILER UNTIL FINAL ACCEPTANCE OF THE WORK.
  - IF ADDITIONAL EROSION CONTROL MEASURES NOT SHOWN ON THE PLANS ARE REQUIRED TO STOP OR PREVENT EROSION OR ARE REQUIRED BY ANY AUTHORITY HAVING JURISDICTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL SUCH REQUIRED DEVICES. THE OWNER OR ENGINEER SHALL BE NOTIFIED OF THE ADDITIONAL WORK AND COST PRIOR TO THE INSTALLATION.
  - SEE DETAIL FOR SILT FENCE AND STRAW BALE REQUIREMENTS AT EACH STORM STRUCTURE.
  - IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT A VALID NOTICE OF INTENT (N.O.I.) IS ON RECORD WITH THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY PRIOR TO DISTURBING ANY GROUND.
  - SOIL STABILIZATION (TEMPORARY SEEDING OR EROSION CONTROL BLANKETS) SHALL BE INITIATED AS SOON AS PRACTICAL IN THOSE PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, IN NO CASE SHALL AN AREA THAT IS AT FINAL GRADE REMAIN EXPOSED TO THE ELEMENTS FOR MORE THAN FIFTEEN (15) DAYS. SOIL STABILIZATION SHALL ALSO BE INITIATED WITHIN FIFTEEN (15) DAYS FOR THOSE AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN UNDISTURBED FOR LONGER THAN SIXTY (60) DAYS.
  - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS OF FINAL INSPECTION, OR AFTER THE CONTROL MEASURES ARE NO LONGER NEEDED.

- SEQUENCE FOR SOIL EROSION CONTROL ITEMS
- EACH RESPECTIVE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND ANY NECESSARY CORRECTIVE ACTION ASSOCIATED WITH THE EROSION CONTROL MEASURES SO DESIGNATED FOR THAT CONTRACTOR.
- THE FOLLOWING ITEMS ARE TO BE PROVIDED BY THE DESIGNATED CONTRACTOR AT THE TIME AND IN THE GENERAL SEQUENCE INDICATED BELOW.
- MASS GRADING/EARTHWORK CONTRACTOR
    - PROVIDE CONSTRUCTION ENTRANCE, AND SILT FENCE PRIOR TO THE START OF CONSTRUCTION.
    - PROVIDE DIVERSION SWALES AROUND SITE PERIMETER (WHICH ARE PART OF OVERALL GRADING PLAN) AS NECESSARY TO PREVENT AND/OR INTERCEPT STORM WATER RUNOFF TO OFFSITE AREAS, AS PART OF THE INITIAL MASS GRADING IMPROVEMENTS.
    - OVER-EXCAVATE PROPOSED TEMPORARY SILTATION BASIN(S) AS NECESSARY. OVER-EXCAVATE AROUND PROPOSED YARD INLETS.
    - PROVIDE A DIVERSION DITCH OR BERM IN ACCORDANCE WITH THE TEMPORARY STOCKPILE DETAIL FOR ALL STOCKPILES PRIOR TO ANY PLACEMENT OF MATERIAL IN SAID STOCKPILE.
  - UNDERGROUND CONTRACTOR
    - PROVIDE STRAW BALES OR SILT FENCE AROUND ALL STORM STRUCTURES IMMEDIATELY UPON INSTALLATION OF SAID STRUCTURE(S).
    - PROVIDE CLEANING OF THE STORM SEWER SYSTEM, AND SEWER STRUCTURES.
    - PROVIDE FILTER FABRIC AT ALL CURB INLETS DURING CONSTRUCTION. FABRIC TO BE PLACED BETWEEN GRATE AND CAST IRON FRAME TO ALLOW MAINTENANCE OR REPLACEMENT OF FABRIC BY REMOVING GRATE WITH FRAME TO REMAIN IN PLACE. FILTER FABRIC SHALL BE MAINTAINED UNTIL ALL "UPSTREAM" AREAS TO A RES-ECTIVE INLET HAVE BEEN COMPLETED THROUGH ESTABLISHMENT OF VEGETATIVE COVER.

- INSPECTION SCHEDULE
- DIVERSION AND STRUCTURAL MEASURES - WILL BE INSPECTED AT WEEKLY INTERVALS OR AFTER EVERY RAINSTORM PRODUCING RUNOFF.
  - SEDIMENT BASINS - WILL BE CHECKED WEEKLY FOR SEDIMENT ACCUMULATION.
  - VEGETATIVE PLANTINGS - SPRING PLANTINGS WILL BE CHECKED DURING SUMMER OR EARLY FALL.
  - REPAIRS - ANY EROSION CONTROL MEASURES, STRUCTURAL MEASURES OR OTHER RELATED ITEMS IN NEED OF REPAIR WILL BE MADE WITHIN 7 DAYS.
  - MOWING - DRAINAGEWAYS, DITCHES AND OTHER AREAS THAT SUPPORT A DESIGNATED FLOW OF WATER WILL BE MOWED REGULARLY TO MAINTAIN THAT FLOW.
  - RESEEDING - SEEDING AREAS WHERE THE SEED HAS NOT PRODUCED A GOOD COVER WILL BE RESEEDING AND FERTILIZED.

STORMWATER POLLUTION PREVENTION PLAN OWNER CERTIFICATION

STATE OF ILLINOIS  
COUNTY OF KANE

I HEREBY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO AVOID THAT CAUSING POLLUTION, PREVENT OR MINIMIZE THE POLLUTION, AND ENHANCED THE PROTECTION OF THE ENVIRONMENT, AND I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR VIOLATING THIS REGULATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR EXCESSIVE VIOLATIONS.

OWNER'S SIGNATURE \_\_\_\_\_ COMPANY NAME \_\_\_\_\_  
 TITLE \_\_\_\_\_ ADDRESS \_\_\_\_\_  
 DATE \_\_\_\_\_ PHONE NUMBER \_\_\_\_\_

STORMWATER POLLUTION PREVENTION PLAN CONTRACTOR CERTIFICATION

STATE OF ILLINOIS  
COUNTY OF KANE

I HEREBY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM PERMIT (NPDES) PERMIT THAT AUTHORIZES THE EROSION CONTROL DEVICES ASSOCIATED WITH THIS CONSTRUCTION ACTIVITY FROM THE CONSTRUCTION OF THE PROJECT AS PART OF THIS CONSTRUCTION I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR VIOLATING THIS PERMIT, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR EXCESSIVE VIOLATIONS.

CONTRACTOR'S SIGNATURE \_\_\_\_\_ COMPANY NAME \_\_\_\_\_  
 TITLE \_\_\_\_\_ ADDRESS \_\_\_\_\_  
 DATE \_\_\_\_\_ PHONE NUMBER \_\_\_\_\_

SOIL PROTECTION CHART

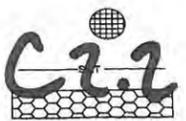
| STABILIZATION TYPE | JAN | FEB | MAR | APRIL | MAY | JUNE | JULY | AUG | SEPT | OCT | NOV | DEC |
|--------------------|-----|-----|-----|-------|-----|------|------|-----|------|-----|-----|-----|
| PERMANENT SEEDING  |     |     | A   |       | A   | *    | *    |     |      | A   |     |     |
| DORMANT SEEDING    | B   |     |     |       |     |      |      |     |      |     | B   |     |
| TEMPORARY SEEDING  |     |     | F   |       |     |      | B    |     |      |     |     |     |
| SOODING            |     |     | F   |       |     |      |      |     |      |     |     |     |
| MULCHING           |     |     | F   |       |     |      |      |     |      |     |     |     |

A KENTUCKY BLUEGRASS 90 LBS./ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS./ACRE  
 A' NATIVE SEEDING  
 B KENTUCKY BLUEGRASS 135 LBS./AC MIXED WITH PERENNIAL RYEGRASS 45 LBS./ACRE + 2 TONS STRAW M' 2 1/2"/ACRE  
 C SPRING OATS 100 LBS./ACRE  
 D WHEAT OR CEREAL RYE  
 E SOO  
 F STRAW MULCH 2 TONS/ACRE

\* IRRIGATION NEEDED DURING JUNE AND JULY  
 \*\* IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOO

LEGEND

- PROPOSED
- PAVEMENT GRADE
  - WALK GRADE
  - BACK OF CURB GRADE
  - GROUND GRADE
  - RIM GRADE
  - "CATCH ALL" INLET BASKET
  - SILT FENCE
  - CONSTRUCTION ENTRANCE
  - EROSION CONTROL BLANKET



**Craig R. Knoche & Associates** • Civil Engineers, P.C.  
 24 N. Bennett Street • Geneva, IL 60134 • phone (815) 845-1270 • fax (815) 845-1275

DATE: 8-21-12  
 FILE: 12-014-C20  
 JOB NO: 12-014  
 SHEET NO: C2.1

STORMWATER POLLUTION PREVENTION PLAN  
 AMERICAN HEARTLAND BANK  
 PRAIRIE GROVE COMMONS  
 SUGAR GROVE, ILLINOIS

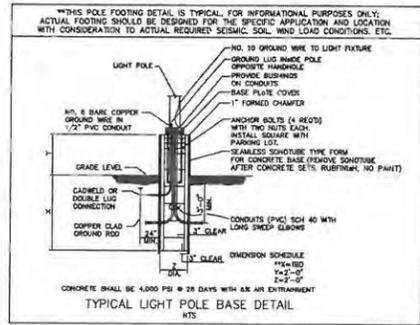
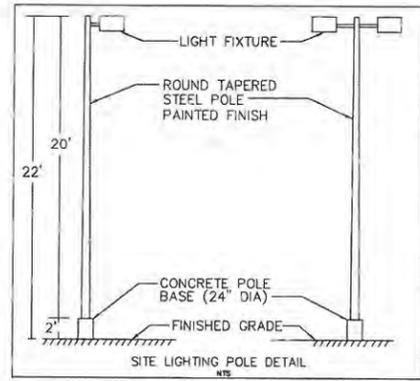
REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |

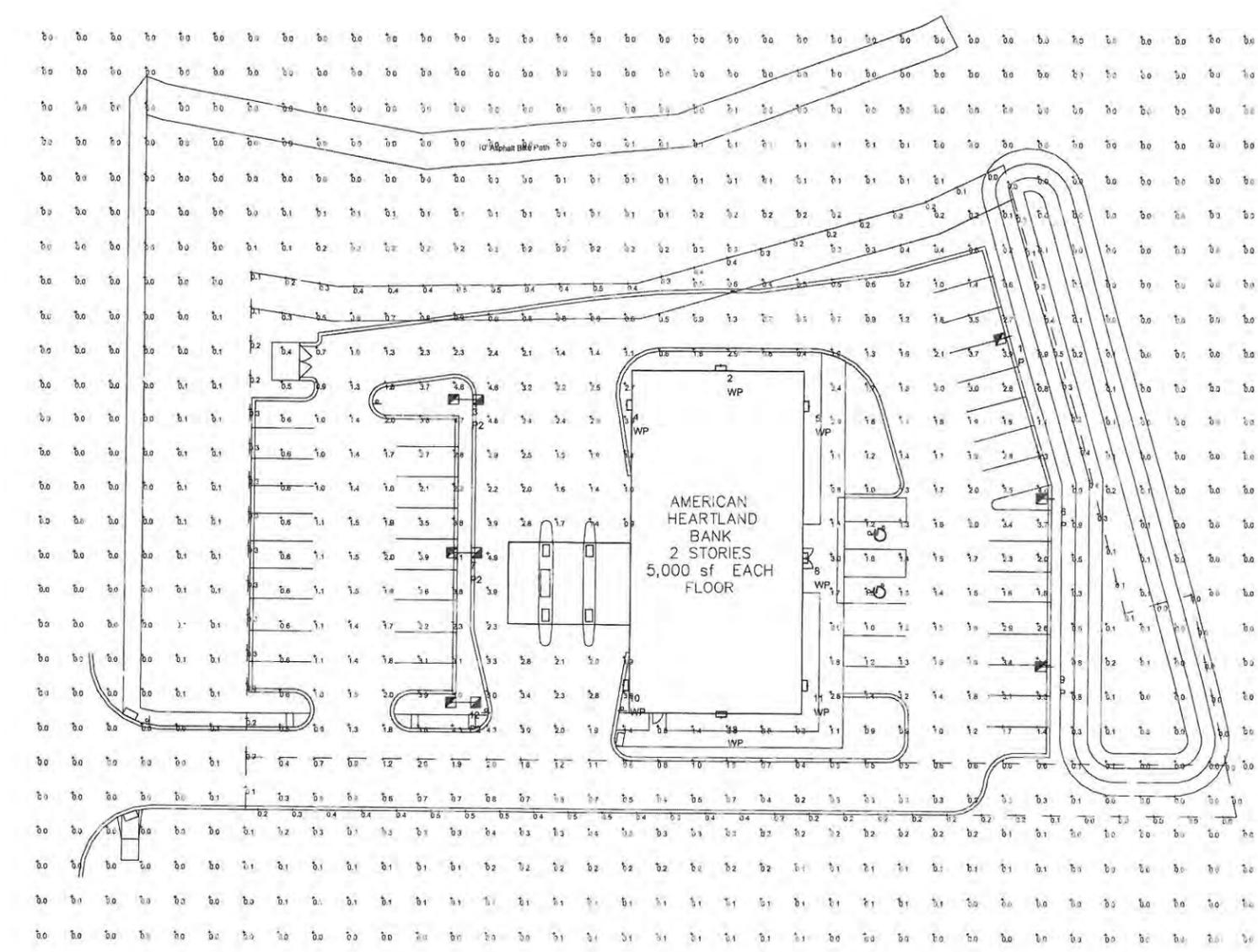








| LumNo | Label | Z  | Height  | Tilt |
|-------|-------|----|---------|------|
| 1     | P     | 22 | 195.469 | 0    |
| 2     | WP    | 14 | 90      | 0    |
| 3     | P2    | 22 | 180     | 0    |
| 4     | WP    | 14 | 180     | 0    |
| 5     | WP    | 14 | 0       | 0    |
| 6     | P     | 22 | 180     | 0    |
| 7     | P2    | 22 | 180     | 0    |
| 8     | WP    | 14 | 0       | 0    |
| 9     | P     | 22 | 180     | 0    |
| 10    | WP    | 14 | 180     | 0    |
| 11    | WP    | 14 | 0       | 0    |
| 12    | P2    | 22 | 180     | 0    |
| 13    | WP    | 14 | 270     | 0    |



1 SITE LIGHTING PHOTOMETRIC PLAN  
SCALE 1" = 20'

| Label                 | CalcType    | Units | Avg  | Max | Min | Avg/Min | Max/Min |
|-----------------------|-------------|-------|------|-----|-----|---------|---------|
| All at Grade Calc. Fc | Illuminance | Fc    | 0.51 | 5.1 | 0.0 | N.A.    | N.A.    |
| Property Line         | Illuminance | Fc    | 0.24 | 0.5 | 0.0 | N.A.    | N.A.    |
| Parking Area          | Illuminance | Fc    | 1.25 | 5.1 | 0.2 | 8.99    | 25.50   |

| Symbol   | Qty | Label | Arrangement | Lumens | LLF  | Description                                    |
|----------|-----|-------|-------------|--------|------|--|
| [Symbol] | 3   | P     | SINGLE      | 14000  | 0.80 | Tenlight #DC381-B-A-1 150 V.M.P.S.M.H Type 4   |
| [Symbol] | 5   | P2    | BALANCE     | 14000  | 0.80 | Tenlight #DC381-B-A-1 150 V.M.P.S.M.H Type 4   |
| [Symbol] | 7   | WP    | SINGLE      | 6700   | 0.80 | Tenlight # MVPP4A-CO 70 Watt P.S.M.H Ball Pack |

For Additional Lighting Information and Pricing Contact:  
**On-Site Lighting & Survey, LLC** PH: 763-684-1548

Project No. ILSG7120816

Based on the information provided, all dimensions and luminaire locations shown represent recommended conditions. The engineer and/or architect must determine applicability of use of the layout to existing or future conditions.  
The lighting pattern, illuminance, and footcandle values calculated from laboratory data taken under controlled conditions. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in layout, and other variable field conditions.

**On-Site Lighting & Survey, LLC**  
1111 Hwy 25 North, Suite # 201  
Buffalo, MN, 55313  
PH: 763-684-1548 Fax: 763-682-9048

Revision: \_\_\_\_\_ Date: \_\_\_\_\_

PHOTOMETRIC PLAN  
PSM OPTION

Project:  
**AMERICAN HEARTLAND BANK  
SUGAR GROVE, ILLINOIS**

Project #: ILSG7120816

Contract #:

Issue Date: 08/16/2012

Scale: AS NOTED

Drawn/Checked: TDK/WRT

Sheet #: 1 OF 2 Rev. #

SL1.0 0

C5.1

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

SITE LIGHTING AND PHOTOMETRICS

AMERICAN HEARTLAND BANK  
PRAIRIE GROVE COMMONS  
SUGAR GROVE, ILLINOIS

**Craig R. Knoche & Associates**  
Civil Engineers, P.C.  
• Civil Engineers  
• Surveyors  
• Land Planners

DATE: 8-21-12  
FILE: 12-014-C50  
C5.



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**VILLAGE OF SUGAR GROVE  
BOARD REPORT**

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**TO:** VILLAGE PRESIDENT & BOARD OF TRUSTEES  
**FROM:** RICH YOUNG, COMMUNITY DEVELOPMENT DIRECTOR  
MIKE FERENCAK, VILLAGE PLANNER  
**SUBJECT:** DISCUSSION: REQUESTS FOR PRELIMINARY / FINAL PUD, SPECIAL USE, PRELIMINARY / FINAL PLAT, AND MAJOR PUD AMENDMENT FOR A PROPOSED BANK WITH DRIVE-THROUGH IN THE B-3 REGIONAL BUSINESS DISTRICT AT THE SW CORNER OF STATE ROUTE 47 & WHEELER AVENUE  
**AGENDA:** OCTOBER 16, 2012 COMMITTEE OF THE WHOLE MEETING  
**DATE:** OCTOBER 12, 2012

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**ISSUE**

Should the Village Board consider requests for Preliminary PUD / Final PUD, Special Use, Preliminary Plat / Final Plat, and Major PUD Amendment to develop a bank with drive-through at the southwest corner of State Route 47 & Wheeler Road.

**DISCUSSION**

A public hearing was held on this request on October 3, 2012 at the Plan Commission meeting. The Plan Commission Staff Report is attached.

The applicant, American Heartland Bancshares, Inc., is proposing to develop (via PUD approval) a bank with drive-thru on Lots 71 and 72 of Sugar Grove Office and Industrial Center, which would be resubdivided into one 1.61 acre lot (Lot 1 of American Heartland Resubdivision). A Special Use is also being requested for a bank with drive-through.

At one time Lots 71 and 72 were part of the Sugar Grove Office and Industrial Center PUD approved in 1992. A revised PUD encompassing a smaller area was established in 2004. The applicant requests a Major PUD Amendment to make the proposed bank part of the 2004 PUD. Revisions would be made to the PUD to update the old PUD requirements to current Zoning Ordinance requirements.

Several exceptions from Zoning Ordinance were requested by the petitioner. Staff made a recommendation of approval for each of the requests subject to certain conditions. Additional conditions were also developed based on the current submittal and Village

regulations. The exceptions to the current requirements are bolded on the attached Conditions List (conditions 3-11, 13-14, and 29).

The Plan Commission voted 6-0 to recommend approval for each of the requests, subject to 31 conditions. (Conditions 32 and 33 were added after the Commission met. Condition 32 has been agreed to by the petitioner.)

The Commission's recommendation included clarification of three conditions – numbers 3, 18, and 22, which have since been clarified and agreed to by the petitioner and staff.

**The applicant is in agreement with all conditions except numbers 12, 28 & 33. (Highlighted in yellow on the attached Conditions List.)**

- 12. A public sidewalk along the State Route 47 side of the property shall be added to the plans with the next revision.**

The petitioner is requesting that the sidewalk not be required as the lot to the south does not currently have a sidewalk.

Staff believes the Village should follow the Code and require the installation of the sidewalk. The bank will be in the central commercial area of the Village where other developments have included construction of their required sections of sidewalk. Sidewalk is installed along Route 47 in front of The Landings, Aldi, and Walgreens. The Village has recently seen the benefit of requiring sidewalks as many of the gaps are now being filled in, resulting in significant benefit.

During discussion one Commissioner agreed with the petitioner, while the other five Commissioners agreed that the sidewalk should be installed. The formal vote, approved by all six Commissioners, includes the sidewalk requirement.

**Staff recommends the Board include condition 12 as presented, requiring a sidewalk along IL 47.**

- 28. The Ground Sign Plan shall be revised to show a sign meeting all Zoning Ordinance requirements including setback, size, EMC sign type, EMC display area, EMC brightness and color, and EMC effects, but not including the setback required from residential-zoned areas, the setback requirement from the property line, and sign height.**

The petitioner is requesting exceptions from Village Code to allow A) a reduced setback from a residential-zoned area, B) a 1.5' setback from the property line instead of the required 1' per 1' of sign height (or 8' for a fully compliant sign), C) an 12' sign height instead of the allowed 8' sign height, D) a 138 s.f. sign instead of the allowed 100 s.f., E) a multi-color electronic display, and F) scrolling, flashing and other attention getting effects.

In general staff believes the standard requirements for ground signs should be met. While there are some exceptions, most signs in the IL 47 corridor meet the Village's requirements. While it may be understandable that an individual business wants a larger, flashier sign to grab attention, if allowed, other businesses will want the same, if not greater, exceptions for the same reasons. The result will be a corridor that in no way meets the Village's intent for an attractive streetscape that equally benefits all. That said, staff supports a portion of the requested exceptions. Staff's position on each exception is as follows:

- A) Reduced setback from a residential-zoned area. Staff supports this request as the residential-zoned area in question is the property where the funeral home (commercial business) is located.
- B) The reduction in front yard setback. Staff supports this request based on the nature of property and the size of the adjoining IL 47 ROW.
- C) 12' sign height instead of the allowed 8'. Village Code would allow for a 10' sign height without the Electronic Message Centers (EMC). The Code states that with an EMC the height is limited to 8'. Staff is not sure of the rationale behind the 8' requirement and therefore supports a 10' height allowance, but not 12'.
- D) 138 s.f. sign instead of the allowed 100 s.f. Staff finds no unique conditions to warrant this request and does not support it.
- E) Multi-color EMC. During the recent development of the Village's EMC regulations, it was determined that a single color display reached the appropriate balance between a business's desire to attract attention and the Village's desire to maintain a safe, attractive business corridor. Staff finds no compelling reason to deviate from the current standard.
- F) Scrolling, flashing and other attention getting effects as part of the EMC. As in item E, staff finds no compelling reason to deviate from the current standard.

During discussion, the Plan Commission was split on whether the proposed ground sign along Route 47 should meet the standard requirement of a maximum of 100 square feet. The formal vote, approved by all six Commissioners, includes the sign conditions as recommended by staff.

**Staff recommends the Board include condition 28 regarding signs as presented.**

- 33. Within 90 days of a Certificate of Occupancy being issued, the petitioner shall reface the current existing non-conforming sign at the SW corner of IL 47 and Waubensee Drive as determined by the Village, or the Village may utilize developer escrow funds to accomplish refacing.

**The current sign, located on Village property, does not meet the Village code as the Village does not allow off premises signs. Staff believes that the needs of the existing facility can be served, the same as other businesses, by their on-premise signage, and that the greater business community will be best served by the refacing of the sign to better advertise the Waubensee Corporate Center. Staff believes the refacing is reasonable considering the recommendation to allow for the requested reductions in set-back and sign height.**

**Staff recommends the Board include condition 33 regarding the existing non-conforming sign as presented.**

The petitioner has requested, assuming that all conditions can be worked out, that the Village Board convene a Special Meeting on Tuesday, October 30, 2012 to take action on this item. Staff agrees with this request as long as Board members are able to attend and that all necessary documents are presented in final required form in time for staff and attorney review prior to any Board action.

The following items are attached for your information:

1. Conditions List dated October 12, 2012
2. Staff Report to the October 3, 2012 Plan Commission
3. Area Map
4. Preliminary / Final Site, Engineering, Landscape, and Photometric Plans dated August 21, 2012
5. Floor Plan dated September 13, 2012
6. Ground Sign Plan dated February 15, 2012
7. Preliminary / Final Plat dated August 14, 2012

**COST**

The petitioner has established a standard escrow account and will cover all Village out-of-pocket expenses for this project.

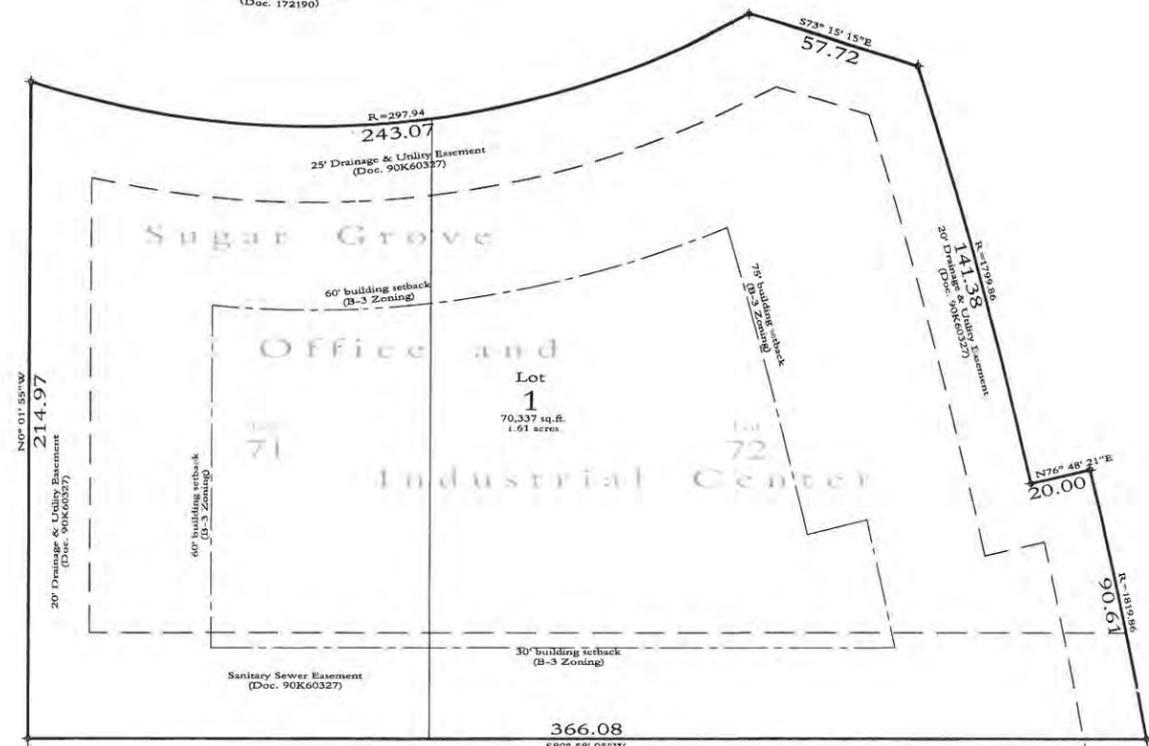
**RECOMMENDATION**

That the Board direct staff to place the various requests on a regular Village Board meeting for approval with the 33 conditions as presented and that the Board advise staff if they are agreeable to a Special Meeting on October 30, 2012 as long as all necessary documents are presented in final form in time for staff and attorney review.

Division Drive  
Heretofore Dedicated  
(Doc. 90K60327)

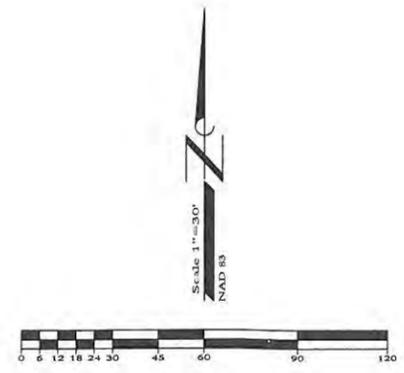
Wheeler Road  
Heretofore Dedicated  
(Doc. 172190)

Illinois Route 47  
Heretofore Dedicated



owner:  
Healey Undertaking Co.

Healey Resubdivision



# Final Plat of American Heartland Resubdivision

In the Village of Sugar Grove,  
Kane County, Illinois.



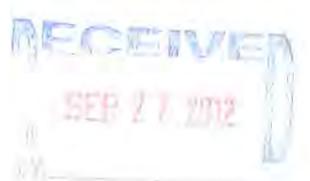
70,337 sq. ft.  
1.61 acres

Notes:

1/2" iron pipes at all Lot corners except as noted.

The platted lands are subject to the terms and conditions contained in a Reciprocal Easement and Maintenance Agreement recorded separately.

The platted lands are zoned "B-3," "Regional Business District."



# Plat of Resubdivision

Prepared for:  
American Heartland Bank  
799 Heartland Drive  
Sugar Grove, IL 60554  
(815) 466-5051



Craig R. Knoche & Associates  
Civil Engineers, P.C.  
Illinois Registered Design Firm 3769  
24 North Bennett Street • Geneva, Illinois 60134 • phone (630) 845-1270 • fax (630) 845-1275

• Civil Engineers  
• Surveyors  
• Land Planners

date: 8-14-12  
file: 12-014RP1  
job: 12-014

Sheet 1 of 2

# American Heartland Resubdivision

State of Illinois } S.S.  
County of Kane }

This is to certify that Sugar Grove Wheeler, LLC is the owner of the lands shown and described on the annexed plat and by its duly authorized Manager has as such owner caused the same to be surveyed, resubdivided and platted as shown thereon for the uses and purposes therein set forth and does hereby acknowledge and adopt the same under the style and title thereon shown.  
It is further certified that the lands platted herein fall within the boundaries of Kaneland Community Unit School District 302.

Dated at Sugar Grove, Illinois this \_\_\_\_ day of \_\_\_\_\_, A.D.2012.

Sugar Grove Wheeler, LLC

By: \_\_\_\_\_  
Manager

799 Heartland Drive  
Sugar Grove, IL 60054  
(630) 466-3551

State of Illinois } S.S.  
County of Kane }

I, \_\_\_\_\_, a notary public in and for the County and State aforesaid do hereby certify that \_\_\_\_\_, Manager of Sugar Grove Wheeler, LLC, who is personally known to me to be the same person whose name is subscribed to the foregoing certificate, appeared before me this day in person and acknowledged the execution of the annexed plat and accompanying instrument as being pursuant to authority given and as his free and voluntary act and as the free and voluntary act of Sugar Grove Wheeler, LLC.

given under my hand and notarial seal this \_\_\_\_ day of \_\_\_\_\_, A.D.2012.

\_\_\_\_\_  
notary public

State of Illinois } S.S.  
County of Kane }

I, \_\_\_\_\_, Treasurer for the Village of Sugar Grove in the County and State aforesaid find no delinquent or unpaid current or forfeited special assessment or any deferred installments thereof against any of the lands described in the annexed surveyor's certificate.

dated at Sugar Grove, Illinois this \_\_\_\_ day of \_\_\_\_\_, A.D.2012.

\_\_\_\_\_  
Village Treasurer

State of Illinois } S.S.  
County of Kane }

I, \_\_\_\_\_, Village Engineer of the Village of Sugar Grove in the County and State aforesaid do hereby certify that the public improvements required for this subdivision have been installed or the required guarantee collateral has been posted insuring said installation.

dated at Sugar Grove, Illinois this \_\_\_\_ day of \_\_\_\_\_, A.D.2012.

\_\_\_\_\_  
Village Engineer

State of Illinois } S.S.  
County of Kane }

Reviewed by the Plan Commission of the Village of Sugar Grove in the County and State aforesaid this \_\_\_\_ day of \_\_\_\_\_, A.D.2012.

by: \_\_\_\_\_  
Chairman

State of Illinois } S.S.  
County of Kane }

I, \_\_\_\_\_, Village Clerk of the Village of Sugar Grove in the County and State aforesaid do hereby certify that the annexed plat was presented to and duly approved by the Board of Trustees of said Village at its meeting held on \_\_\_\_\_.

In witness thereof I have set my Hand and the Seal of the Village of Sugar Grove this \_\_\_\_ day of \_\_\_\_\_, A.D.2012.

\_\_\_\_\_  
Village Clerk

State of Illinois } S.S.  
County of Kane }

Approved by the Village President of the Village of Sugar Grove in the County and State aforesaid this \_\_\_\_ day of \_\_\_\_\_, A.D.2012.

\_\_\_\_\_  
Village President

State of Illinois } S.S.  
County of Cook }

This is to certify that Amos Financial, LLC is the holder of a mortgage interest in the platted lands and does, as such mortgagee, grant its consent to the execution of the annexed plat.

Dated at Highland Park, Illinois this \_\_\_\_ day of \_\_\_\_\_, A.D.2012.

Amos Financial, LLC

By: \_\_\_\_\_  
Manager

State of Illinois } S.S.  
County of Cook }

I, \_\_\_\_\_, a notary public in and for the County and State aforesaid do hereby certify that \_\_\_\_\_, Manager of Amos Financial, LLC, who is personally known to me to be the same person whose name is subscribed to the foregoing certificate, appeared before me this day in person and acknowledged the execution of the annexed plat and accompanying instrument as being pursuant to authority given and as his free and voluntary act and as the free and voluntary act of Amos Financial, LLC.

given under my hand and notarial seal this \_\_\_\_ day of \_\_\_\_\_, A.D.2012.

\_\_\_\_\_  
notary public

State of Illinois } S.S.  
County of DuPage }

This is to certify that I, John Cole Helfrich, an Illinois Professional Land Surveyor, have surveyed, resubdivided and platted those lands described as follows:

Lots 71 and 72 of Sugar Grove Office and Industrial Center in the Village of Sugar Grove, Kane County, Illinois.

I further certify that the lands described above do not fall in a designated Flood Hazard Area as defined by the Federal Emergency Management Agency. I further certify that the lands described above lie within the corporate limits of a municipality which has authorized a comprehensive plan and is exercising the special powers granted by the State of Illinois according to 65 ILCS 5/11-12-6 as heretofore and hereafter amended. I further certify that this professional service conforms to the current Illinois standards for a Boundary Survey.

All dimensions are given in feet and decimal parts thereof and are correct at 62° Fahrenheit.  
Given under my Hand and Seal this \_\_\_\_ day of \_\_\_\_\_, A.D.2012.

\_\_\_\_\_  
Illinois Professional Land Surveyor 2967  
c p. 11-30-12



State of Illinois } S.S.  
County of Kane }

To the best of my knowledge and belief, the drainage of surface waters will not be changed by the development of this subdivision or any part thereof, or that if said surface water drainage will be changed, adequate provision has been made for the collection and diversion of said waters into public areas or drains which the developer has a right to use, and that said surface waters will not be deposited on the lands of adjoining owners in such concentrations as may cause the accrual of damages to said adjoining owners as a result of said development.

Given under my Hand and Seal this \_\_\_\_ day of \_\_\_\_\_, A.D.2012.

\_\_\_\_\_  
Steven R. Kudwa, P.E.  
Licensed Professional Engineer 54950

\_\_\_\_\_  
owner or attorney



State of Illinois } S.S.  
County of Kane }

I, \_\_\_\_\_, County Clerk in and for the County and State aforesaid find no redeemable tax sale, unpaid forfeiture taxes or unpaid current taxes against any of the lands described in the annexed surveyor's certificate.

dated at Geneva, Illinois this \_\_\_\_ day of \_\_\_\_\_, A.D.2012.

\_\_\_\_\_  
County Clerk

State of Illinois } S.S.  
County of Kane }

This instrument, no \_\_\_\_\_, was filed for record in the Recorder's office of Kane County, Illinois this \_\_\_\_ day of \_\_\_\_\_, A.D.2012 at \_\_\_\_ O'clock \_\_\_\_ m., and was recorded in plat envelope no. \_\_\_\_\_.

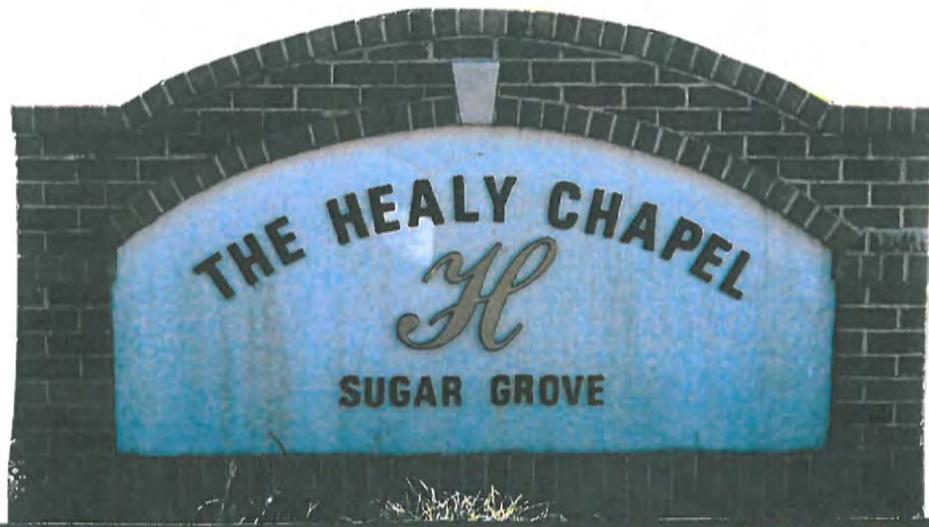
\_\_\_\_\_  
Recorder of Deeds

Sheet 2 of 2  
 Date: 8-14-12  
 File: 12-01-RR12  
 Job: 12-014  
 Prepared For: American Heartland Bank, Sugar Grove, IL 60054, (630) 466-3551  
 Civil/Engineers & Associates, Civil Engineers, P.C., Registered Design Firm 5783, 24 North Bennett Street - Geneva, Illinois 60134, Phone (630) 466-3551, Fax (630) 466-3575

Plat of Resubdivision

Healy Chapel Sign

Board Approval: By Permit September 23, 1998



5'8" height

10'1" width

1/2" = 1'

51.06 sq. ft.  
total area

Superior Car Wash Sign

Board Approval: Unknown, likely by Permit in 1990



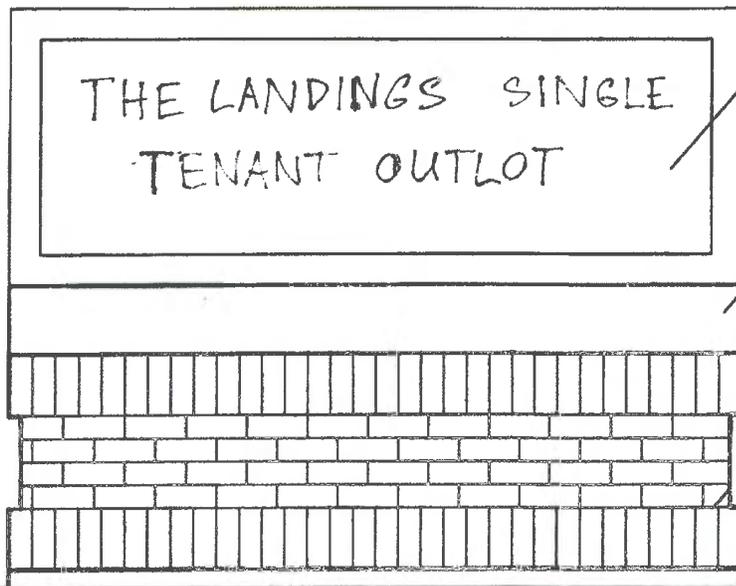
6'9" height

10'0" width

$\frac{1}{2}'' = 1'$

66.25 sq. ft.  
total area

The Landings Single Tenant Outlot Sign standard  
Board Approval : April 3, 2007



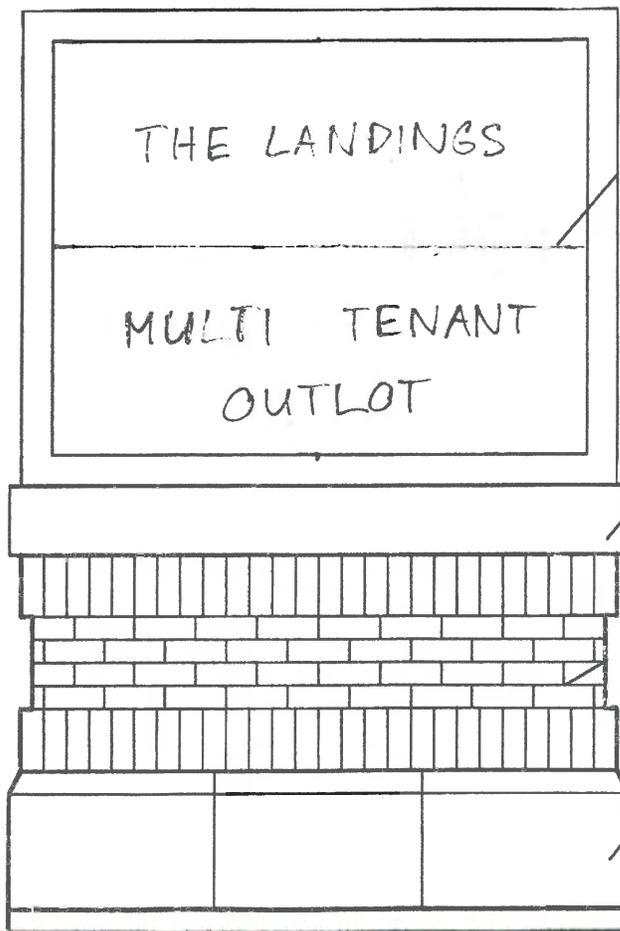
6'4" height

8'0" width

$\frac{1}{2}'' = 1'$

50.33 sq. ft.  
total area

The Landings Multi Tenant Outlot Sign standard  
Board Approval: April 3, 2007



10'0" height

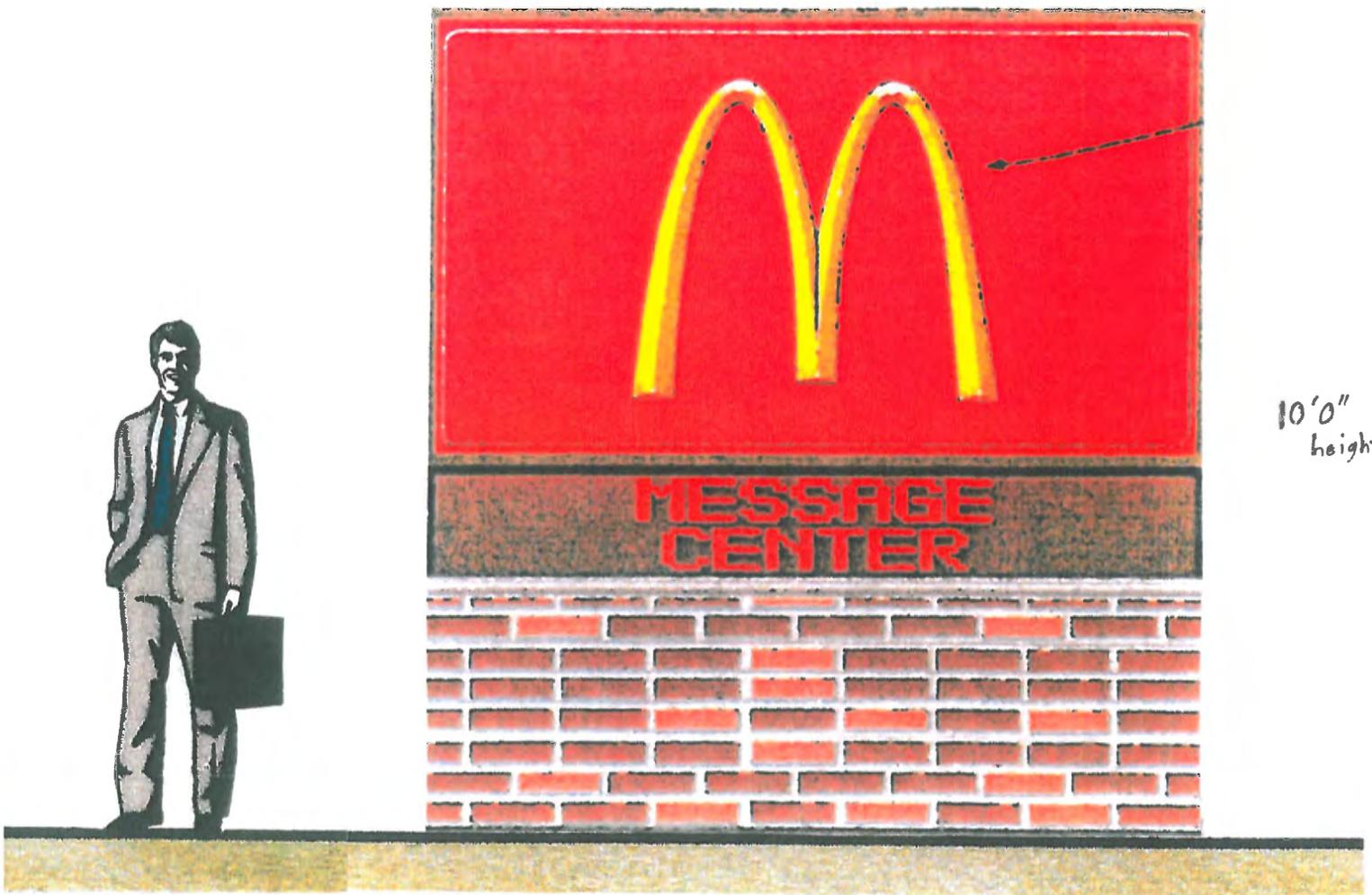


6'9" width

$\frac{1}{2}'' = 1'$

67.38 sq. ft.  
total area

McDonald's Sign  
Board Approval: December 7, 2010



10'0"  
height

9'3" width

$\frac{1}{2}'' = 1'$

92.50 sq. ft.  
total area

Village Staff Suggested American Heartland Bank Sign  
Board Approval: None



10'0" height



10'0" width

1/2" = 1'

93.00 sq. ft.  
total area

Chase Bank Sign / Sugar Grove Center Outlet Sign standard  
Board Approval: September 21, 2004



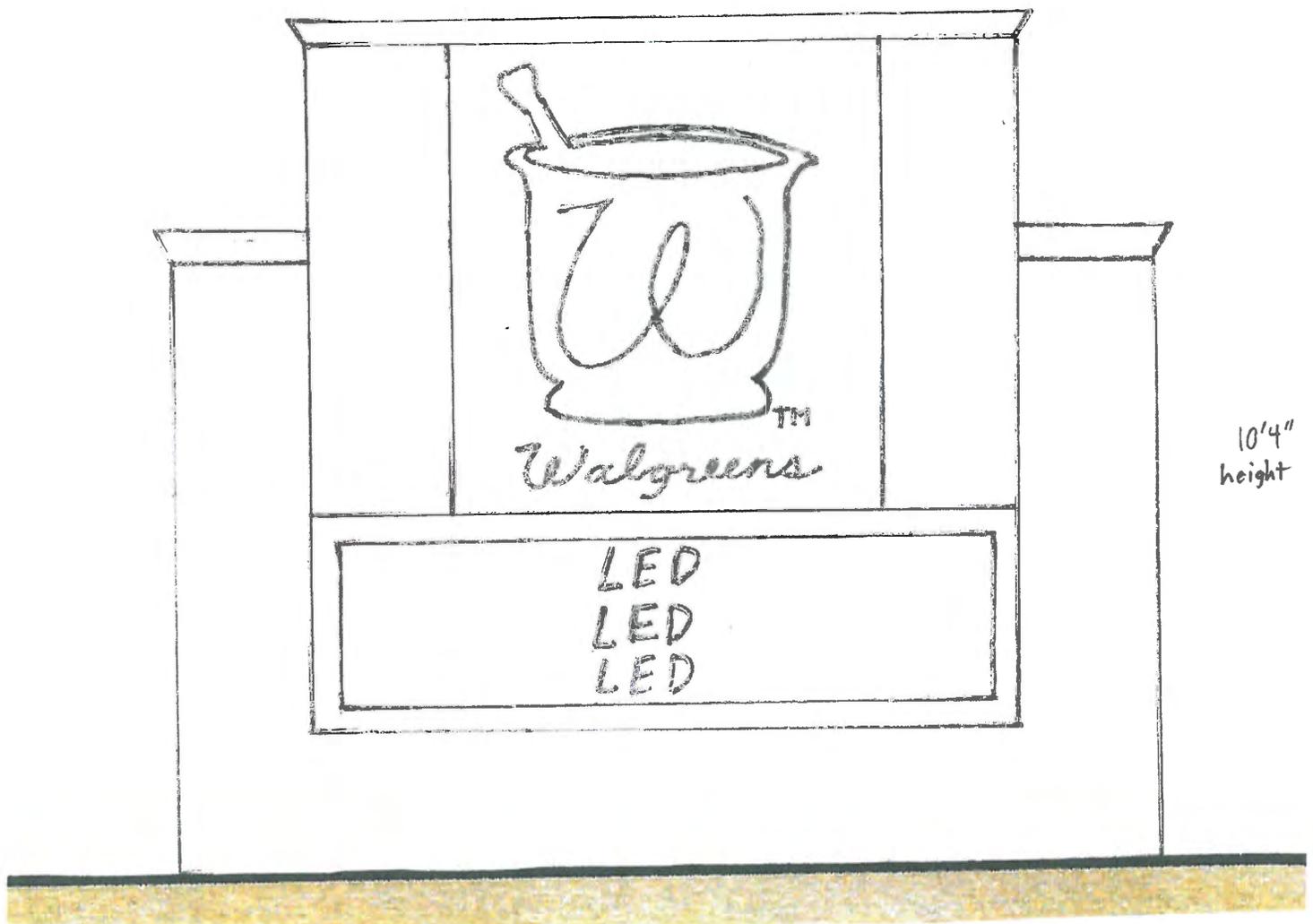
8'0"  
height

12'0" width

1/2" = 1'

96.00 sq. ft.  
total area

Walgreens Sign  
Board Approval: February 3, 2009



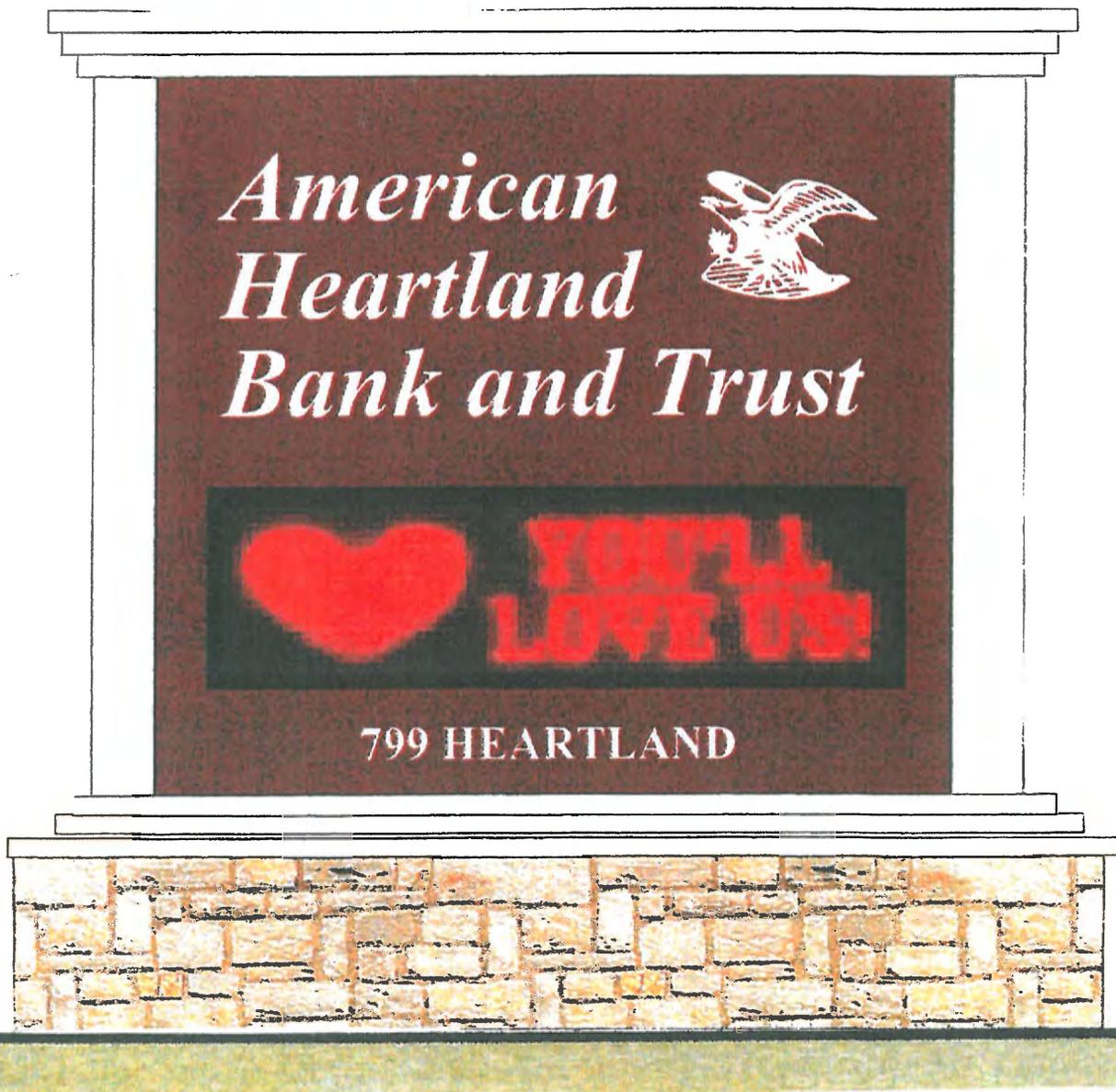
10'4"  
height

12'0" width

1/2" = 1'

115.67 sq. ft.  
total area

Applicant Proposed American Heartland Bank Sign  
Board Approval: None



12'0"  
height

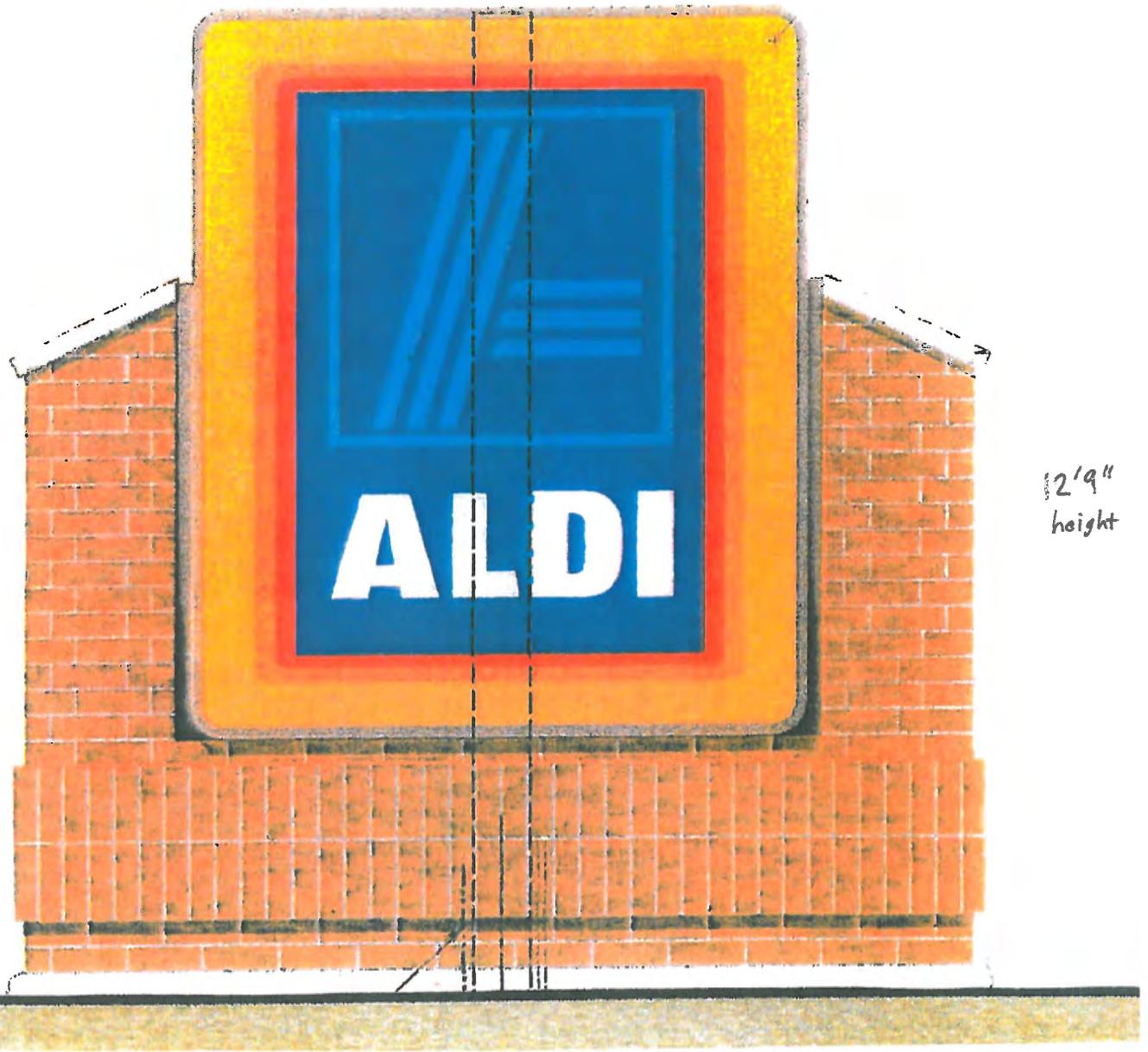
13'0" width

1/2" = 1'

137.62 sq. ft.  
total area

Aldi Sign

Board Approval: By Permit January 2, 2007



12'9"  
height

12'4" width

1/2" = 1'

141.25 sq. ft.  
total area

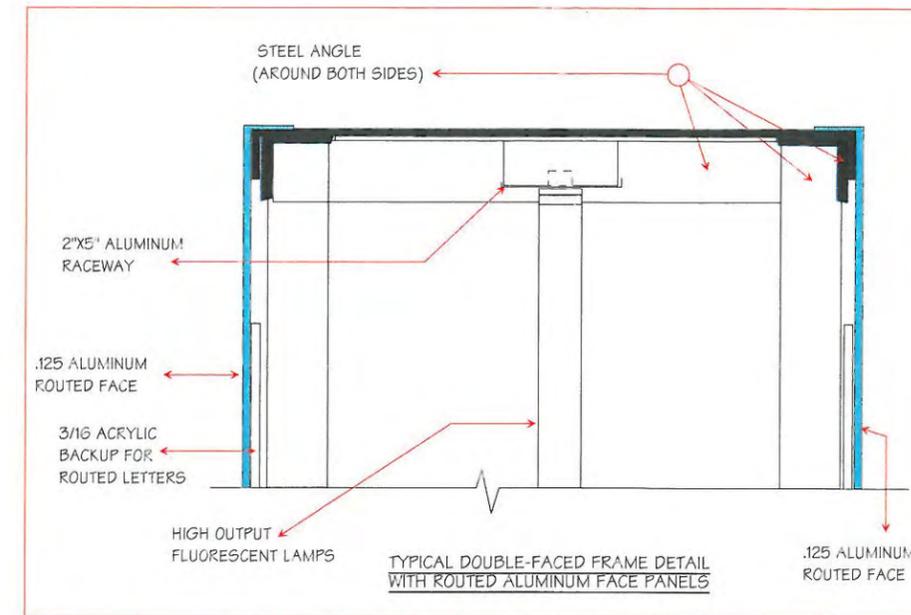
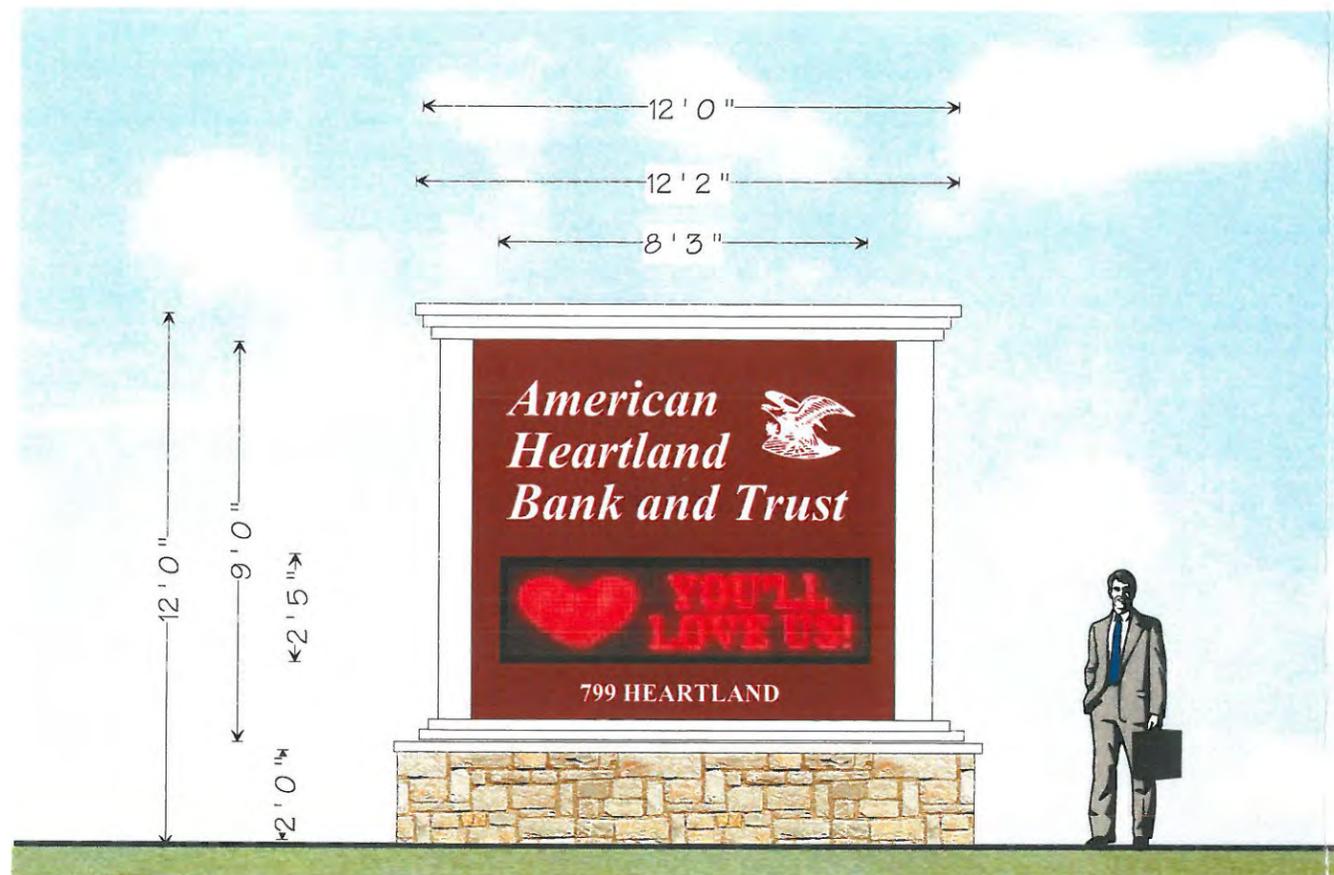


PHOTO NOT TO SCALE



**DOUBLE-FACED ILLUMINATED SIGN**

FABRICATE AND INSTALL SIGN OF ALUMINUM AND STEEL ANGLE.  
 FACES TO BE ALUMINUM ROUTED FOR COPY AND BACKED WITH WHITE ACRYLIC.  
 ALL EXPOSED METAL SURFACES TO BE COATED WITH ACRYLIC POLYURETHANE.  
 TIME AND TEMP UNITS TO BE WATCHFIRE AMBER LED UNITS  
 DISPLAYING 22" TALL CHARACTERS.  
 INTERNAL ILLUMINATION TO BE HIGH OUTPUT FLUORESCENT LAMPS.  
 SCALE - 1/4" = 1'

**INSTALLATION INSTRUCTIONS**

SET 8" BY 21; STEEL PIPE IN CONCRETE FOOTING  
 TO DEPTH OF 6'.  
 SIGN TO BE PERPENDICULAR TO RT 47.  
 CONNECT TO ELECTRICAL SERVICE  
 TO BE PROVIDED BY OTHERS  
 PRIOR TO INSTALL.

1100 Route 34  
 Aurora, Illinois 60504  
 630 898 5900 office  
 630 898 6091 fax

Prepared For:  
 AMERICAN HEARTLAND BANK & TRUST  
 Location Name:

Address: 799 HEARTLAND DR  
 City/State: SUGAR GROVE, IL

Drwg: 212107 Sheet: 11 Design Date: 2/15/12  
 Rev 1:  
 Rev 2:

Rev 3:  
 Rev 4:  
 Rev 5:

Rev 6:  
 Rev 7:  
 Rev 8:

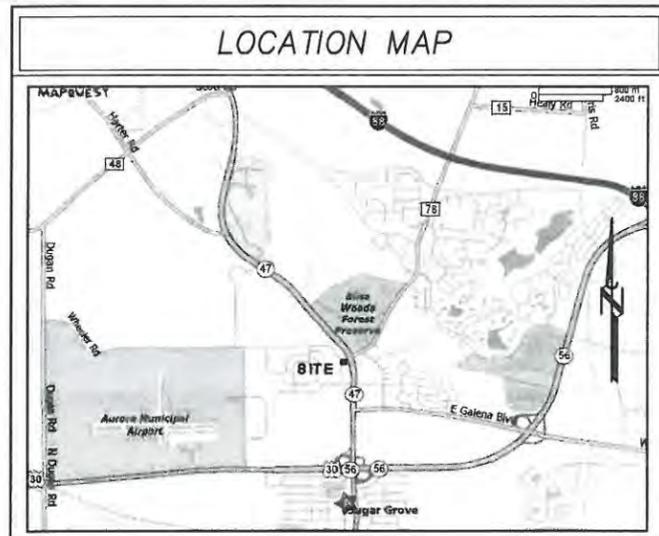
RECEIVED  
 AUG 23 2012

# AMERICAN HEARTLAND BANK

## SEC WHEELER AND DIVISION SUGAR GROVE, ILLINOIS

PREPARED FOR

AMERICAN HEARTLAND BANK  
799 N HEARTLAND DR  
SUGAR GROVE, IL 60554



| DRAWINGS INDEX |  |   |         |
|----------------|--|---|---------|
| CO.1           | TITLE & INDFX SHEET                        | 0 | 8-21-12 |
| CO.2           | EXISTING CONDITIONS/ DEMOLITION PLAN       | 0 | 8-21-12 |
| C1.0           | SITE PLAN                                  | 0 | 8-21-12 |
| C2.1           | GRADING PLAN                               | 0 | 8-21-12 |
| C2.2           | STORMWATER POLLUTION PREVENTION PLAN       | 0 | 8-21-12 |
| C3.1           | UTILITY PLAN                               | 0 | 8-21-12 |
| C4.1           | LANDSCAPE PLAN                             | 0 | 8-21-12 |
| C5.1           | LIGHTING/PHOTOMETRICS                      | 0 | 8-21-12 |
| C5.2           | LIGHTING/PHOTOMETRICS                      | 0 | 8-21-12 |
| C7.1           | GENERAL NOTES & SPECIFICATIONS             | 0 | 8-21-12 |
| C7.2           | FOX METRO WATER RECLAMATION DISTRICT NOTES | 0 | 8-21-12 |
| C7.3           | SITE DETAILS                               | 0 | 8-21-12 |
| C7.4           | SITE, EROSION CONTROL AND SANITARY DETAILS | 0 | 8-21-12 |
| C7.5           | UTILITY DETAILS                            | 0 | 8-21-12 |
|                | LATEST REVISION                            | 0 | 8-21-12 |

| CONTACTS  |   |
|---|---|
| <b>Planning Department</b><br>Village Planner<br>Michael Ferencak<br>10 Municipal Drive<br>Sugar Grove, IL 60554<br>Phone: 630-466-4507 ext.22<br>Fax: 630-466-4521 | <b>ENGINEER</b><br>Knoche Engineering<br>24 N Bennett<br>Geneva, IL 60134 |
| <b>Public Works</b><br>Village Director<br>Tony Speciale<br>601 Heartland Dr<br>Sugar Grove, IL 60554<br>Phone: 630-466-7508  |   |
| <b>Development Department</b><br>Village Director<br>Scott Buening<br>601 Heartland Dr<br>Sugar Grove, IL 60554<br>Phone: 630-466-4507 ext.18<br>Fax: 630-466-4521  |   |

RECEIVED  
SEP 27 2012  
BY: \_\_\_\_\_

### WARNING CALL

Call 48 hours  
before you dig  
(Excluding  
Sat., Sun. &  
Holidays)



(Operates  
24 hours a day  
365 days a year)

### BEFORE YOU DIG

CONTRACTORS SHALL CALL J.U.L.I.E.  
BEFORE START OF CONSTRUCTION.  
CALL LOCAL AMERITECH OFFICE FOR  
LOCATIONS OF FIBEROPTIC CABLES.  
J.U.L.I.E. DOES NOT MARK THESE  
LOCATIONS.

### BENCHMARKS

- NWC OF NORTH TRAFFIC CONTROL BOX ON NEC OF GALENA ROAD AND ROUTE 47 IN CORNER ISLAND BY GAS STATION ELEV. 713.01
- NWC OF TRAFFIC SIGNAL HANDHOLE AT SEC OF GALENA ROAD AND ROUTE 47 ELEV. 712.36

ALL ELEVATIONS ARE USGS DATUM.  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL BENCHMARKS

CO.1

### REVISIONS

TITLE & INDFX

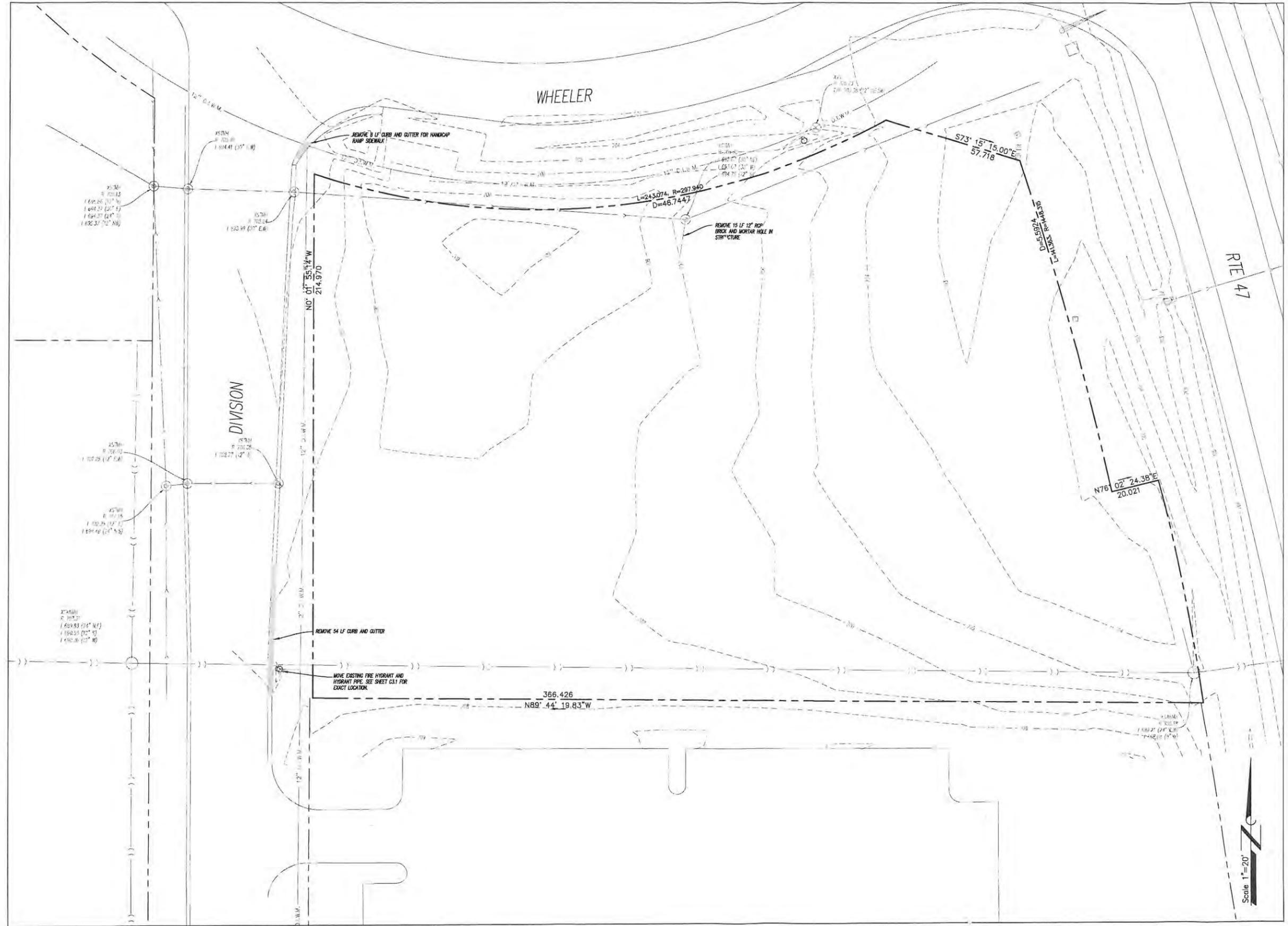
AMERICAN HEARTLAND BANK  
SEC WHEELER AND DIVISION  
SUGAR GROVE, ILLINOIS

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE CODES AND ORDINANCES OF THE VILLAGE OF SUGAR GROVE. LICENSE EXPIRATION: November 30, 2013

**Craig R. Knoche & Associates**  
Civil Engineers, P.C.  
Civil Engineers  
Land Planners

DATE: 8-21-12  
FILE: 12-014-C01  
JOB NO:

CO.



- NOTES**
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, INCLUDING EXISTING GRADES. IF THERE ARE ANY DISCREPANCIES CONTACT THE ENGINEER.
  2. CONTRACTOR MUST BARRICADE ENTIRE CONSTRUCTION AREA WITH ORANGE SHOW FENCE AND CONSTRUCTION ENTRANCE GATE. ALL OPEN TRENCHES MUST BE BACK FILLED THE SAME DAY THEY ARE OPENED AS REQUIRED TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM ENTERING THE AREA.
  3. CONTRACTOR RESPONSIBLE FOR FOLLOWING ALL OSHA REGULATIONS.
  4. ALL UTILITIES SHALL BE DISCONNECTED AND CAPPED IN ACCORDANCE WITH THE REQUIREMENTS OF UTILITY COMPANY HAVING JURISDICTION & VILLAGE OF SUGAR GROVE.
  5. ALL MATERIAL MUST BE HAULED FROM SITE AND DISPOSED OF PROPERLY AS IT IS BEING REMOVED. DEMOLITION DEBRIS SHALL NOT BE BURIED ON SITE.
  6. TRAFFIC CONTROL FOR WORK IN THE RIGHT-OF-WAY SHALL MEET IDOT STANDARDS PER SECTION 900: STANDARDS SPECS. FOR ROAD AND BRIDGE CONSTRUCTION (AS ADOPTED 1/1/2007).
  7. CONTRACTOR MUST BARRICADE (INCLUDE WARNING LIGHTS) ALL OPEN EXCAVATIONS AS REQUIRED TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM ENTERING THE AREA.
  8. ALL EXCAVATIONS TO BE FILLED 6" LIFT WITH APPROVED ENGINEER BACK FILL AND COMPACTED TO 95% MODIFIED PROCTOR.
  9. IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN THE PROPER PERMITS REQUIRED BY THE VILLAGE OF SUGAR GROVE.

**LEGEND**

|                     | TO REMAIN | TO BE REMOVED |
|---------------------|-----------|---------------|
| WATERMAIN           |           |               |
| STORM SEWER         |           |               |
| SANITARY SEWER      |           |               |
| SAN MANHOLE         |           |               |
| STORM MANHOLE       |           |               |
| VALVE VAULT/B-BOX   |           |               |
| FIRE HYDRANT        |           |               |
| UTILITY POLE        |           |               |
| CURB AND GUTTER     |           |               |
| CONTOUR             |           |               |
| PAVEMENT            |           |               |
| BUILDING/FLOOR SLAB |           |               |

CO.2

**REVISIONS**

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |

**EXISTING CONDITIONS/  
DEMOLITION PLAN**

**AMERICAN HEARTLAND BANK  
PRAIRIE GROVE COMMONS  
SUGAR GROVE, ILLINOIS**

**Craig R. Knoche & Associates** Civil Engineers, P.C.  
24 N. Bennett Street • Geneva, IL 60134 • phone (630) 645-1270 • fax (630) 645-1275

|            |            |
|------------|------------|
| DATE:      | 8-21-12    |
| FILE:      | 12-014-C02 |
| JOB NO.:   | 12-014     |
| SHEET NO.: | CO.2       |

|      |                           |
|------|---------------------------|
| SITE |                           |
| LOT  | ±70,354 SF<br>±1.62 ACRES |

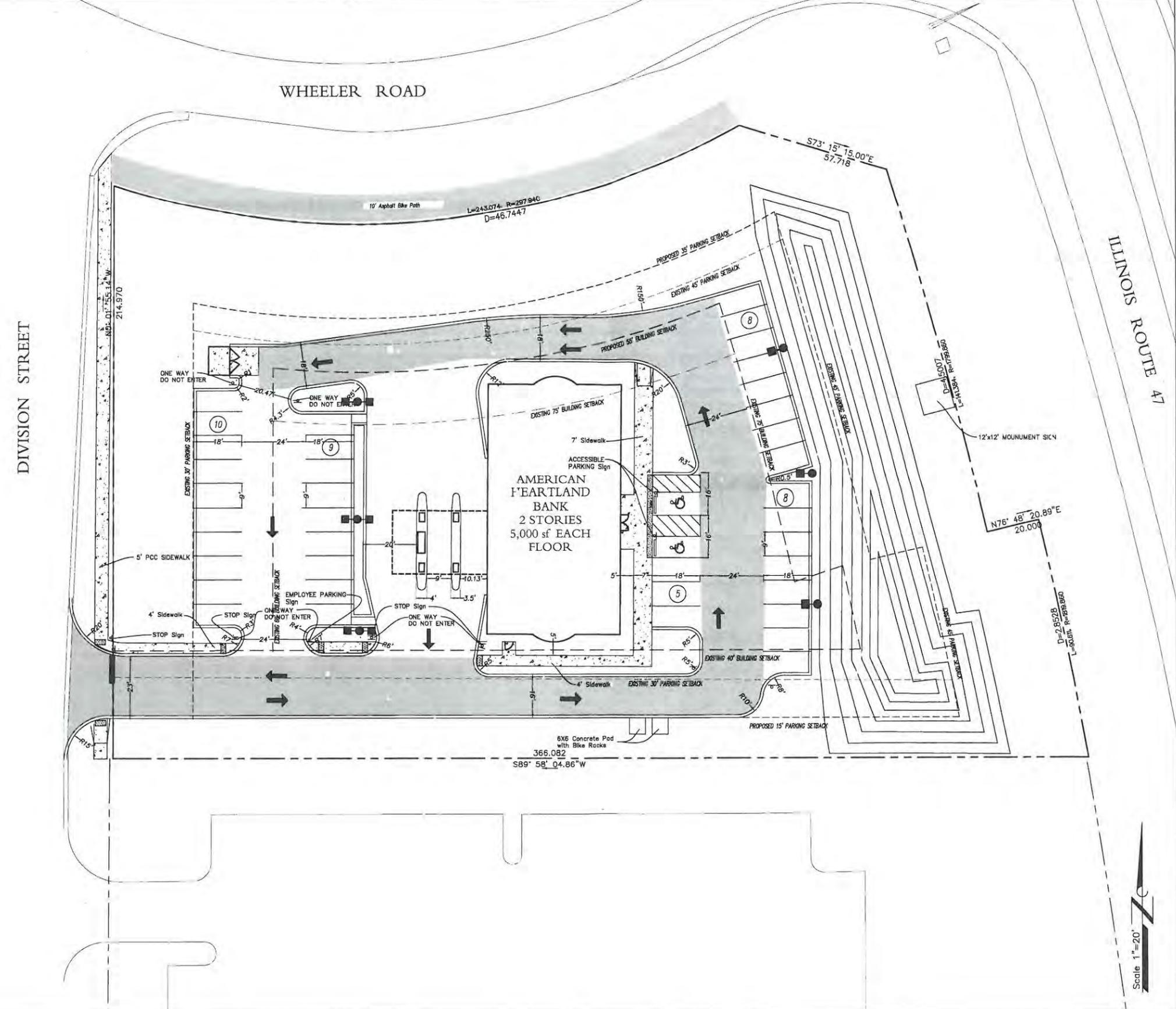
|   |  |
|---|--|
| SETBACKS  |  |
| FRONT BUILDING SETBACK (RTE. 47) - 75'                  |  |
| CORNER SIDE BUILDING SETBACK (DIVISION) - 60'           |  |
| REAR BUILDING SETBACK - 40'                             |  |
| FRONT PARKING SETBACK (RTE 47) - 45'                    |  |
| CORNER SIDE PARKING SETBACK (DIVISION) - 30'            |  |
| REAR PARKING SETBACK - 15'                              |  |
| REQUEST VARIANCE FOR WHEELER PARKING SETBACK - 45' TO 3 |  |

|                               |             |       |            |
|-------------------------------|-------------|-------|------------|
| COVERAGE                      |             |       |            |
| MAXIMUM LOT COVERAGE - 70%    |             |       |            |
| BUILDINGS (2 Stories)         | SQUARE FEET | ACRES | PERCENTAGE |
| PAVEMENT (INCLUDING SIDEWALK) | 10,000      | ±0.11 | 7.11%      |
| LANDSCAPING                   | 24,526      | ±0.56 | 34.66%     |
| TOTAL                         | 40,828      | ±0.95 | 58.03%     |
| TOTAL                         | 70,354      | ±1.62 | 100.00%    |

|   |                                  |
|---|----------------------------------|
| PARKING   |                                  |
| MINIMUM REQUIRED PARKING FOR RETAIL:<br>1 SPACE PER 200 SQUARE FEET |                                  |
| ACCESSIBLE PARKING REQUIREMENTS:                                    |                                  |
| • 1 TO 25 PARKING SPACES, 1 ACCESSIBLE SPACE REQUIRED               |                                  |
| • 26 TO 50 PARKING SPACES, 2 ACCESSIBLE SPACES REQUIRED             |                                  |
| • 51 TO 75 PARKING SPACES, 3 ACCESSIBLE SPACES REQUIRED             |                                  |
| MINIMUM DRIVE AISLE WIDTH FOR 90 DEGREE PARKING: 24'                |                                  |
| PARKING SPACE SIZE MINIMUM: 9' X 18'                                |                                  |
| ACCESSIBLE PARKING SPACE SIZE: 16' X 18'                            |                                  |
| PARKING PROVIDED  | 38 CAR:                          |
| ACCESSIBLE PARKING PROVIDED   | 2 CAR:                           |
| TOTAL PARKING PROVIDED  | 40 CAR:                          |
| PARKING REQUIRED  | 4.0 CARS/1000 SF (GLA<br>50 CAR: |

- SITE NOTES**
- ALL CURB & GUTTER TO BE 88:12 CURB & GUTTER UNLESS OTHERWISE SPECIFIED. SEE DETAIL C518.
  - ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL CURB RADI ARE FACE OF CURB UNLESS OTHERWISE NOTED.
  - SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
  - SIDEWALK AROUND BUILDING SHALL BE INTEGRAL WALK/CURB. BY CONTRACTOR SEE DETAIL C7.3. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BEFORE STARTING CONSTRUCTION. IF ANY DISCREPANCIES EXIST NOTIFY THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
  - BUILDING DIMENSIONS AND STAGING OF BUILDING MUST BE VERIFIED BY GENERAL CONTRACTOR WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
  - ALL PAVEMENT MARKINGS SHALL BE PAINTED WHITE 4" WIDE AND 2 COATS UNLESS OTHERWISE NOTED.
  - COORDINATE LOCATION OF FIRE LANE AND "NO PARKING" SIGNS WITH CITY FIRE DEPARTMENT.
  - REFER TO ARCHITECTURAL DRAWINGS FOR MONUMENT SIGN.
  - ACCESSIBLE RAMPS SHALL BE INSTALLED AT ALL LOCATIONS WHERE A SIDEWALK ABUTS A DRIVE, CROSSWALK, OR OTHER PEDESTRIAN ACCESS LOCATION AS WELL AS ALL OTHER LOCATIONS NOTED ON PLANS.
  - CONTRACTOR SHALL REPAIR ANY EXISTING PAVEMENT, CONCRETE, LANDSCAPING ETC. DAMAGED DURING CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE SITE ENGINEERING PLANS WITH THE ARCHITECTURAL PLANS FOR INTERFACE COMPATIBILITY. CONTACT THE ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES.
  - CONTRACTOR IS RESPONSIBLE FOR INSTALLING ACCESSIBLE RAMPS PER LATEST ILLINOIS ADA CODES.
  - BASED UPON THE LATEST OPINION OF THE SURVEYOR, OF THE PROPERTY LINES, THE BUILDING AND PARKING LOT MAY NOT BE PARALLEL/PERPENDICULAR TO THE PROPERTY LINES.

|                             |       |
|-----------------------------|-------|
| <b>LEGEND</b>               |       |
| PROPOSED CURB & GUTTER      | ===== |
| PROP. REV. CURB & GUTTER    | ===== |
| EXISTING CURB & GUTTER      | ===== |
| PROPERTY LINE               | ----- |
| SETBACK LINE                | ----- |
| PARKING LOT LIGHT (PRIVATE) | ●■    |
| STREET LIGHT (PUBLIC)       | ▲     |
| HEAVY DUTY PAVEMENT         | ■     |
| CONCRETE SIDEWALK           | ■     |



Scale 1"=20'

|           |      |             |
|-----------|------|-------------|
| REVISIONS |      |             |
| NO.       | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |

**SITE PLAN**

**AMERICAN HEARTLAND BANK**  
**PRAIRIE GROVE COMMONS**  
**SUGAR GROVE, ILLINOIS**

**Craig R. Knoche & Associates**  
**Civil Engineers, P.C.**  
 24 N. Bennett Street • Geneva, IL 60134 • phone (815) 845-1270 • fax (815) 845-1275

DATE: 8-21-12  
 FILE: 12-014-C20  
 JOB NO: 12-014  
**C1.**  
 SHEET NO.

**STAFF REPORT TO THE SUGAR GROVE PLANNING COMMISSION  
FROM MIKE FERENCAK, VILLAGE PLANNER**

**GENERAL CASEFILE INFORMATION**

Commission Meeting Date: October 3, 2012

Petition Number: 12-012

Project Name: American Heartland Resubdivision

Petitioner: American Heartland Bancshares, Inc.

Request:

1. Major PUD Amendment to add Lots 71 and 72 of the Sugar Grove Office and Industrial Center to the existing PUD Ordinance 2004-0420D (that currently encompasses Lots 1 through 4 of the Sugar Grove Office and Industrial Center Resubdivision) including deviations from various Zoning Ordinance and Subdivision Ordinance requirements, and to modify the requirements of the entire PUD, pursuant to Section 11-11-7 of the Sugar Grove Zoning Ordinance.
2. Preliminary PUD for the proposed development of American Heartland Resubdivision, pursuant to Section 11-11 of the Sugar Grove Zoning Ordinance.
2. Final PUD for development of Lot 1 of American Heartland Resubdivision as a bank / financial institution with drive-through, pursuant to the Preliminary PUD to-be-created.
3. Special Use to allow a bank / financial institution with drive-through on Lot 1, pursuant to Section 11-8-6-D-2 of the Sugar Grove Zoning Ordinance.
3. Preliminary and Final Plat to create American Heartland Resubdivision, a proposed 1.62 acre, one-lot subdivision, from two existing lots, pursuant to Section 12-4-3 and 12-4-5 of the Sugar Grove Subdivision Ordinance.

Location: The southwest corner of the State Route 47 and

Wheeler Road (Lots 71 and 72 of the Sugar Grove Office and Industrial Center)

And

11 W. Park Avenue, 330 Division Drive, and other nearby properties (Lots 1-4 of the Sugar Grove Office and Industrial Center Resubdivision)

Parcel Number(s): 14-16-201-014 (Lot 71)  
14-16-201-015 (Lot 72)  
14-16-201-021 (Lot 1)  
14-16-201-020 (Lot 2)  
14-16-201-018 and 14-16-201-019 (Lot 3)  
14-16-201-017 (Lot 4)

Size: Proposed New Lot 1: 70,337 square feet or 1.61 acres

Street Frontage: Proposed New Lot 1:  
261 feet along State Route 47  
272 feet along Wheeler Road  
215 feet along Division Drive

Current Zoning: B-3 Regional Business District

Contiguous Zoning: Proposed New Lot 1:  
NORTH: (across Wheeler Road) B-3 Regional District  
SOUTH: R-2 Single-Family Detached Residential District with Special Use  
EAST: (across State Route 47) B-3 Regional Business District  
WEST: (across Division Drive) M-1 Limited Manufacturing District

Current Land Use: Open / vacant

Contiguous Land Use: Proposed New Lot 1:  
NORTH: (across Wheeler Road) Open / vacant  
SOUTH: Healy Chapel Funeral Home  
EAST: (across State Route 47) Open / vacant  
WEST: (across Division Drive) Open / vacant

Comp Plan Designation: Corridor Commercial

Exhibits: Major PUD Amendment & Preliminary / Final PUD & Special Use Application  
Special Use Statement / Responses to Special Use

Standards / PUD Statement  
Public Notice  
Publication confirmation (applicant to bring to meeting)  
Mailing confirmation (applicant to bring to meeting)  
Public Notice Sign Photo  
Preliminary Plat Checklist  
Final Plat Checklist  
Plat of Survey dated March 12, 2012 (available in CD Dept.)  
Preliminary / Final Site Plan / Engineering Plans / Landscape Plan / Photometric Plan dated August 21, 2012  
Preliminary / Final Floor Plan dated September 13, 2012  
Preliminary / Final Ground Sign Plan dated February 15, 2012  
Preliminary / Final Plat dated August 14, 2012

### **CHARACTER OF THE AREA**

The subject property consists of two separate groups of properties. Lots 71 and 72 north of Healy Chapel are located at the southwest corner of State Route 47 & Wheeler Road. Lots 1-4 south of Healy Chapel are located at the northwest corner of State Route 47 & Park Avenue. The character of the area is commercial and planned commercial.

### **DEVELOPMENT PROPOSAL**

The Planning Commission will consider requests for:

1. Major PUD Amendment to add Lots 71 and 72 of the Sugar Grove Office and Industrial Center to the existing PUD Ordinance 2004-0420D (that currently encompasses Lots 1 through 4 of the Sugar Grove Office and Industrial Center Resubdivision) including deviations from various Zoning Ordinance and Subdivision Ordinance requirements, and to modify the requirements of the entire PUD, pursuant to Section 11-11-7 of the Sugar Grove Zoning Ordinance.
2. Preliminary PUD for the proposed development of American Heartland Resubdivision, pursuant to Section 11-11 of the Sugar Grove Zoning Ordinance.
3. Final PUD for development of Lot 1 of American Heartland Resubdivision as a bank / financial institution with drive-through, pursuant to the Preliminary PUD to-be-created.
4. Special Use to allow a bank / financial institution with drive-through on Lot 1, pursuant to Section 11-8-6-D-2 of the Sugar Grove Zoning Ordinance.

5. Preliminary and Final Plat to create American Heartland Resubdivision, a proposed 1.62 acre, one-lot subdivision, from two existing lots, pursuant to Section 12-4-3 and 12-4-5 of the Sugar Grove Subdivision Ordinance.

## **HISTORY**

The applicant, American Heartland Bancshares, Inc., has submitted requests for Preliminary PUD and Preliminary / Final Plat to create American Heartland Resubdivision (a one-lot subdivision), as well as a request for Final PUD approval for the proposed Lot 1. A bank / financial institution would be constructed on Lot 1. Banks require a Special Use in the B-3 District, so this request has also been made.

The applicant proposes to make the bank part of the existing PUD that includes Aldi, and the other properties within the block bounded by State Route 47, Division Drive, Park Avenue, and Wheeler Road (with the exception of Healy Chapel). Therefore a Major PUD Amendment is requested. Some modifications as described in the attached Combined Comment Letter will be made to the existing PUD as part of the Major PUD Amendment.

The subject properties were annexed in 1976 as part of the Theis Property. In 1990, the Sugar Grove Corporate Center Subdivision was platted in this area.

In 1992, the Sugar Grove Office & Industrial Center Subdivision and PUD were established for the block bounded by State Route 47, Division Drive, Park Avenue, and Wheeler Road and some properties just west of Division Drive. Eventually zoning reverted from B-3 PUD to B-3 for some of these properties, including Lots 71 and 72.

In 1998, the Healy Chapel was constructed. It was removed from the 1992 PUD and granted R-2 zoning with a Special Use.

In 2004, the Sugar Grove Office & Industrial Center Resubdivision and PUD were established for Lots 1-4 which are the lots south of the Healy Chapel and bordered by State Route 47, Park Avenue, and Division Drive. The Village Attorney has commented that the current request for PUD zoning for Lots 71-72 north of Healy Chapel can be added to the existing 2004 PUD for Lots 1-4 south of Healy Chapel.

The applicant first sent staff concept plans for the site in May 2012. After several designs, staff provided a Concept Review Letter to the applicant on July 13, 2012. The conceptual layout of the site was changed significantly based on these comments and this helped to minimize the exceptions necessary. The formal submittal was generally completed August 30, 2012. A Development Review Team meeting was held on August 31, 2012. A Plan Council meeting was held on September 6, 2012. After submittal of a revised Floor Plan on September 14, 2012 and confirmation that the Site and Floor Plans would coincide, a Combined Comment Letter requesting revisions to the plan was given to the applicant at a meeting on September 25, 2012. The comments in this letter have not yet been addressed by the applicant. The Plan Commission will be reviewing the same plans that were

reviewed by the Plan Council.

The Zoning Ordinance requires that Village Board action is need for concurrent Preliminary and Final PUD review. The Village Board approved this request on September 18, 2012.

The applicant has requested that Architectural Elevation and Trash Enclosure Elevation plans be approved at a later date as they have not been completed at this time. These items would come back to the Plan Commission and Village Board for review and any approval.

### **COMPREHENSIVE PLAN RECOMMENDATIONS**

The Comprehensive Plan designates the site as "Corridor Commercial". The Comprehensive Plan does not provide any policy regarding specific uses allowed in various districts of the Zoning Ordinance. The proposed use is considered commercial.

Contiguous properties to the north, south, east, and west are designated Corridor Commercial. The proposed development would be compatible with surrounding uses.

### **ZONING ORDINANCE FINDINGS OF FACT**

Note: The italicized portions in the Findings of Fact item/s below constitute staff's suggestions on the various required findings. The Plan Commission should remember that they are free to depart from these suggestions and adopt their own if they so desire.

1. Findings of Fact (Special Use) - Several standards must be met in order to grant a Special Use. These standards, and the status of each, are detailed below. The Planning Commission must determine that the Special Use:

- a. Will be harmonious with and in accordance with the general objectives of the Comprehensive Land Use Plan and/or this zoning ordinance.

*The proposed development is consistent with the land use objectives of the Comprehensive Plan. The proposed use would be compatible with surrounding uses. The B-3 zoning permits banks and financial institutions with a Special Use.*

- b. Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not alter the essential character of the same area.

*The proposed development is generally being designed to be harmonious with the existing and intended character of the area. The development would also be constructed, operated, and maintained in a similar manner.*

- c. Will not be hazardous or disturbing to existing or future neighborhood uses.

*The proposed uses should not be hazardous or disturbing to existing or future neighboring uses. The primary concerns would center on traffic, parking, and aesthetic impacts. The plans have been reviewed and recommendations made to minimize these impacts.*

- d. Will be adequately served by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water, sewers and schools, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.

*The site is already adequately served by standard public facilities.*

- e. Will not create excessive additional requirements at public cost for public facilities and services, and will not be detrimental to the economic welfare of the Village.

*The use should not create excessive additional public cost. The use will be beneficial to the economic welfare of the Village and will generate revenue in the form of property tax and daily vehicular trips to the area.*

- f. Will not involve uses, activities, processes, materials, equipment and/or conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

*The use will not produce excessive smoke, fumes, glare, or odors. Traffic would be the primary concern, but the plans have been reviewed carefully to minimize traffic impacts.*

- g. Will have vehicular approaches to the property which shall be so designed as to not create an undue interference with traffic on surrounding public streets or highways.

*The only vehicular access to the site would be from Division Drive. The vehicular approach will not create undue traffic interference on surrounding streets.*

- h. Will not increase the potential for flood damage to adjacent property, or require additional public expense for flood protection, rescue or relief.

*The storm water management requirements would be met and therefore there would be no increased potential for flood damage.*

- i. Will not result in the destruction, loss or damage of natural, scenic or historic features of major importance to the Village.

*There are no existing natural, scenic, or historic features on the site.*

2. Findings of Fact (PUD) – The Planning Commission’s statement of findings of fact for the Preliminary PUD and Final PUD shall also specify in what respects the proposal would, or would not be in the public interest, and shall, at a minimum, address:

- a. The extent to which the proposed planned unit development departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, density, setbacks, lot area, bulk and use, and the reasons why such departures are, or are not in the public interest.

*Approximately 20 separate exception requests are proposed (some of these are exceptions from more than one Sections of the Village Code). These are detailed in the attached Combined Comment Letter. Some of these are in the public interest and others are more related to the use proposed on this site or the applicant’s preference.*

- b. The extent to which the proposed planned unit development meets the requirements and standards of the planned unit development regulations, and the reasons why such departures are, or are not deemed to be in the public interest.

*Any departures from the regulations are noted in the attached Combined Comment Letter.*

- c. The physical design of the proposed planned unit development, and the manner in which said design does, or does not:
  - a. Make adequate provision for public services;
  - b. Provide adequate control over vehicular traffic;
  - c. Provide for and protect designated open space; and
  - d. Furnish the amenities of light and air, recreation and visual enjoyment.

*All utilities and other public services would be provided for. All vehicular traffic would be routed through Division Drive. Approximately 58% of the overall site would be green space. The building is positioned to not block light and air to other properties.*

- d. Compatibility of the proposed planned unit development with adjacent properties and neighborhoods.

*The proposed development would be compatible with surrounding properties with appropriate aesthetic controls.*

- e. The desirability of the proposed planned unit development, or lack thereof, for the Village's tax base and economic well being.

*The proposed development will be beneficial to the economic welfare of the Village and will generate revenue and benefits in the form of property tax with a minor burden on public services.*

- f. The adequacy of the methods by which the proposed planned unit development:
  - a. Provides control over pedestrian and vehicular traffic;
  - b. Makes provision of landscaping and open space;
  - c. Provides adequate parking, loading and lighting; and
  - d. Furnishes the amenities of light, air, and visual enjoyment.

*Vehicular traffic would be routed through Division Drive. An exception to the sidewalk requirement along State Route 47 is requested by the applicant. The lot coverage requirements will be met. The landscape requirements are very close to being met and some revisions are still expected. An exception to the parking requirement is requested by the applicant. A loading space will be added to the plan. Adequate lighting will be provided for. Light and air will not be impeded with the proposed plan. The applicant has requested that Architectural Elevation approval be delayed and therefore staff has no comment on visual enjoyment.*

- g. Compatibility with the comprehensive plan and the goals and policies for planning within the Village.

*The proposed development would be consistent with the objectives of the Comprehensive Plan for commercial use in this area.*

## **EVALUATION**

Generally, this development is required to conform to the Village of Sugar Grove Zoning Ordinance, including the requirements of the B-3 Regional Business District. The following is based on the Zoning Ordinance requirements, Comprehensive Plan guidelines, and the staff and Plan Council reviews.

Please see the attached Combined Comment Letter dated September 24, 2012 for a complete evaluation of the plans.

## **PUBLIC RESPONSE**

Staff has received one inquiry from the public about the project. The person was from a bank that represented a surrounding property that is in a trust. The person had general questions about the project. A photo of the public hearing sign is attached. Mailing and publication confirmation will need to be provided by the applicant at the meeting. Staff

completed the mailings for the additional properties that are part of the existing PUD and the properties within 250' of those additional properties.

### **STAFF RECOMMENDATION**

Staff recommends approval of the Preliminary and Final plat to create American Heartland Resubdivision, a proposed one-lot subdivision, pursuant to Section 12-4-3 and 12-4-5 of the Sugar Grove Subdivision Ordinance and

Staff recommends approval of the Major PUD Amendment, Preliminary PUD, Final PUD, and Special Use for a bank / financial institution including drive-through, pursuant to Sections 11-11 and 11-8-6-D-2 of the Sugar Grove Zoning Ordinance and this Preliminary PUD, subject to the following conditions:

1. The existing PUD shall be amended as noted in the Combined Comment Letter dated September 24, 2012.
2. The Preliminary PUD, Final PUD, and Special Use for Lot 1 shall substantially conform to:
  - A. the Preliminary / Final Plat, titled "Final Plat of American Heartland Resubdivision", by Craig R. Knoche & Associates, sheets 1 and 2 of 2, dated August 14, 2012;
  - B. the Preliminary / Final Site / Engineering / Landscape / Photometric Plan Set, titled "American Heartland Bank", by Craig R. Knoche & Associates, sheets C0.1 to C7.5, dated August 21, 2012;
  - C. the Preliminary / Final Floor Plan, titled "American Heartland Bank and Trust", by Studio GC Architecture & BIM, 7 sheets, dated September 13, 2012;
  - D. the Preliminary / Final Ground Sign Plan, titled "American Heartland Bank & Trust", by Aurora Sign Co., sheet 11, dated February 15, 2012;except as such plans may be revised to conform to Village codes and ordinances and the conditions below.
3. Architectural Elevation and Trash Enclosure Elevation Plans (including any wall signs) are not being reviewed and approved at this time. The applicant shall request a Major PUD Amendment prior to submittal for building permit.
4. An exception to reduce required parking from 53 spaces to 40 spaces is hereby approved.
5. An exception to reduce the required north corner side building setback from 75 feet to approximately 55 feet is hereby approved. (This number may be increased as the plan is updated.)

6. An exception to reduce the required north corner side pavement setback from 45 feet required to approximately 35 feet is hereby approved. (This number may be increased as the plan is updated.)
7. An exception to reduce the required south side pavement setback from 30 feet to approximately 10 feet is hereby approved. (This number may be increased as the plan is updated.)
8. An exception to reduce the required west corner side pavement setback from 30 feet to approximately 25 feet is hereby approved. (The number may be increased or the exception eliminated as the plan is updated.)
9. An exception to reduce the minimum required stacking spaces for each of three drive-through lanes from 6 spaces to 3 spaces is hereby approved.
10. An exception to reduce the minimum required drive aisle width for each of three drive-through lanes from 12 feet to 9 feet is hereby approved.
11. An exception to not require sidewalks be installed on the opposite sides of the streets bordering the subdivision is hereby approved.
12. A public sidewalk along the State Route 47 side of the property shall be added to the plans with the next revision.
13. An exception to not require streets adjacent to the subdivision be improved is hereby approved.
14. An exception to not require property lines at intersections be rounded with a 25' radius is hereby approved.
15. The various easements shall be added to the Site Plan.
16. The building walls shall be dimensioned on the Site Plan.
17. The northern handicap accessible parking space shall be flipped such that the striping is located next to the other handicap accessible parking space. The ramp shall then be centered on the two striped areas and align with the front door of the building. These changes shall be made with the next revision.
18. The parking island in the east row of parking spaces shall be increased to the size of a parking space at a minimum and shown on the plans with the next revision.
19. One 12' x 60' loading space shall be designated on the plans and shown with the next revision.

20. The fire hydrant near Wheeler Road shall be relocated close to the parking lot and the fire hydrant near Division Drive shall be relocated north of the entrance to the site. These shall address Fire District requirements and be shown on the plans with the next revision.
21. All drive aisles on the site shall be a minimum of 20 feet to address Fire District requirements. These shall be shown on the plans with the next revision.
22. The building sidewalk shall be extended north to connect with the bike path along Wheeler Road. The bike racks currently shown at the south end of the site shall be relocated along this extended sidewalk near its connection with the bike path. These revisions shall be shown on the plans with the next revision.
23. All sidewalks shall be a minimum of 5 feet and a minimum of 7 feet when located next to parking spaces. Any corrections necessary shall be made on the plans with the next revision.
24. The building sidewalk shall not be obstructed by any columns that may overhang the footprint of the building. Any corrections necessary shall be made on the plans with the next revision.
25. All comments in the letter from EEI dated September 6, 2012 (part of the Combined Comment Letter) shall be addressed.
26. The Landscape Plan shall be revised to add 1 tree to the east island, 5 shrubs to the north buffer, 21 shrubs to the east buffer, and 20 shrubs to the west buffer. Also, 5 trees in the east buffer shall be repositioned to a State Route 47 parkway tree alignment and 2 trees added to that alignment. A few trees and shrubs may be removed from the south buffer to accommodate concerns about their location in a sanitary sewer easement. The Green Mountain Sugar Maples in the parkways shall be changed to Miyabei State Street Maples per the Public Works Department. The long, straight lines of shrubs in the north and west buffers shall be changed to clusters for variety. These changes shall be made on the plans with the next revision.
27. The Seed Mix and pond landscaping will need to be reviewed by the Village's consultant.
28. The Ground Sign Plan shall be revised to show a sign meeting all Zoning Ordinance requirements including setback, size, EMC sign type, EMC display area, EMC brightness and color, and EMC effects, but not including the setback required from residential-zoned areas.
29. An exception to allow an EMC within 200' of a residential-zoned area is hereby approved.

30. The required north building setback shall be corrected to 75 feet on the Final Plat and shown with the next revision.
31. A letter of credit in the amount of 120% of the engineering cost estimate of the public improvements shall be submitted prior to recording the Final Plat.

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**VILLAGE OF SUGAR GROVE  
BOARD REPORT**

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**TO:** VILLAGE PRESIDENT & BOARD OF TRUSTEES  
**FROM:** JUSTIN VANVOOREN, FINANCE DIRECTOR  
**SUBJECT:** PRESENTATION OF APRIL 30, 2012 FINANCIAL STATEMENTS  
**AGENDA:** OCTOBER 16, 2012 REGULAR BOARD MEETING  
**DATE:** OCTOBER 10, 2012

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**ISSUE**

To present the April 30, 2012 Comprehensive Annual Financial Report (CAFR).

**DISCUSSION**

Staff will briefly go over some of the important aspects of the CAFR, as a representative from Lauterbach & Amen, LLP will not be in attendance. Any questions the Board may have regarding the financial statements will be answered at this time.

A copy of the April 30, 2012 CAFR is included with your Board packet.

**COST**

Not applicable.

**RECOMMENDATION**

No motion is required at this time, only that the Board acknowledge receipt of the CAFR.

# Village of Sugar Grove Investment Policy

## I. Purpose

The purpose of this investment policy (Policy) is to formalize the framework for the Village of Sugar Grove, Illinois' (Village) investment activities. This policy applies to all of the Village's financial assets and is intended to be broad enough to allow the Village to function properly within the parameters of responsibility and authority, while adequately safeguarding such assets. All transactions involving the Village's financial assets, and related activity, shall be administered and conducted in accordance with this Policy.

## II. Governing Authority

The Village's investment program shall comply at all times with the Illinois Public Funds Investment Act (30 ILCS 235/1 *et seq.*) and other state laws governing the investment of public funds, as amended from time to time. In the event of any conflict between this Policy and the Illinois Public Funds Investment Act and other state laws, the provisions of the Illinois Public Funds Investment Act and other state laws shall control.

## III. Scope

This Policy applies to the investment activities of the Village with regard to the financial assets of all funds, with the following exceptions:

- A. The Village of Sugar Grove Police Pension Fund is governed by its own Board of Trustees and has a separate investment policy.
- B. Funds set aside to decrease Village debt in conjunction with a refunding agreement will be invested in accordance with appropriate bond documents and not necessarily in compliance with this Policy.
- C. Should bond covenants be more restrictive than this Policy, funds will be invested in full compliance with those restrictions.

The following funds are accounted for in the Village's Comprehensive Annual Financial Report and are covered under this Policy:

- General Fund
- Special Revenue Funds
- Debt Service Funds
- Capital Project Funds
- Enterprise Funds
- Agency Funds
- Any new fund created by the Village President and Board of Trustees (collectively the "Board"), unless specifically exempted above

Village of Sugar Grove  
Investment Policy (Continued)

III. Scope (Continued)

Except for cash and investments in certain restricted and special funds, the Village commingles its cash and investments to maximize investment earnings and to increase efficiencies with regard to pricing, safekeeping, and administration. Investment income will be allocated to the various funds based on their respective participation and in accordance with accounting principles generally accepted in the United States of America.

IV. General Objectives

The primary objectives (Objectives), in order of priority, of all investment activities involving the financial assets of the Village shall be:

- A. Safety: Safety shall be the foremost objective of this Policy and refers to the preservation of capital and protection of investment principal. Village investments shall be undertaken in a manner that seeks to ensure the preservation of capital in the Village's overall portfolio (Portfolio) by mitigating credit and interest rate risk.
  1. Credit Risk: Credit risk is the risk that an issuer of a debt security will not pay its par value upon maturity. The goal will be to minimize credit risk by:
    - Limiting investments to the types of securities identified in Section IX of this Policy; and
    - Diversifying the Portfolio in accordance with Section XI of this Policy, so that potential losses on individual securities will be minimized. Diversification reduces the risk that potential losses on individual securities might exceed the income generated from the remainder of the Portfolio.
  2. Interest Rate Risk: Interest rate risk is the risk that changes in interest rates will adversely affect the fair value of an investment. The goal will be to minimize interest rate risk by:
    - Structuring the Portfolio so that securities mature to meet cash requirements for ongoing operations, thereby avoiding the need to sell securities on the open market prior to maturity; and
    - Investing operating funds primarily in shorter-term securities, money markets, or similar investment pools.
- B. Liquidity: The Portfolio shall maintain sufficient liquidity to enable the Village to meet all operating requirements and expected liabilities which may be reasonably anticipated in any Village fund.
- C. Return: The Portfolio shall be designed to obtain a reasonable return, which for the purposes of this Policy means the Portfolio should obtain a market-average rate of return in accordance with Section XIV of this Policy, taking into account the Village's investment risk constraints and cash flow needs of the Village's funds.

Village of Sugar Grove  
Investment Policy (Continued)

V. Standards of Care

- A. Prudence: The standard of prudence to be used by investment officials shall be the “prudent person” standard and shall be applied in the context of managing an overall portfolio. Investments and deposits of public funds shall be made with judgment and care under the circumstances then prevailing, which persons of prudence, discretion, and intelligence exercise in the management of their own affairs, not for speculation, but for investment, considering the probable safety of their capital as well as the probable income to be derived. Village officers and employees acting in accordance with this Policy, and any other written procedures, and exercising due diligence shall be relieved of personal liability for an individual security’s credit risk or market changes, provided that officers and employees report deviations from expectations in a timely fashion and take appropriate action to control adverse developments.
- B. Maintaining the Public Trust: All participants in the investment process shall seek to act responsibly as custodians of the public trust and shall avoid any transaction that might impair public confidence in the Village.
- C. Ethics and Conflicts of Interest: Officers and employees of the Village who are involved in the investment process shall refrain from personal business activity that could conflict with proper execution and management of the investment program, or which could impair their ability to make impartial investment decisions. Employees and investment officials shall disclose to the Board any material interests in financial institutions with which they conduct business. They shall further disclose any material personal financial or investment positions that could be related to the performance of the Portfolio. Employees and officers shall subordinate their personal investment transactions to those of the Village, particularly with regard to the timing of purchases and sales.

VI. Delegation of Authority and Responsibilities

- A. Governing Body: The Board will retain ultimate fiduciary responsibility for the Portfolio. The Board will receive monthly reports, designate investment officers, and approve changes to the investment policy.
- B. Investment Officer: Authority to manage the investment program is granted to the Treasurer hereinafter referred to as investment officer as designated by 30 ILCS 235/2.5(a)(7). Management responsibility for the operation of the investment program is hereby delegated to the Treasurer, with the advice and consent of the Budget Officer, who shall act in accordance with established written procedures and internal controls for the operation of the investment program consistent with this Policy.

Village of Sugar Grove  
Investment Policy (Continued)

VII. Authorized Financial Institutions

The Treasurer will maintain a list and is hereby authorized to deposit Village monies, in accordance with 65 ILCS 5/3.1-35-50, in financial institutions as attached hereto as Appendix A. The Treasurer shall review this list from time to time and shall submit any modifications thereto to the Board for approval. The Treasurer shall be discharged from responsibility for all funds or money the Treasurer deposits in a designated financial institution while the funds and money are so deposited.

Financial institutions may include depositories, investment advisors, broker/dealers, and local government investment pools as authorized in this Policy. Financial institutions who desire to become qualified for transactions must provide certification of having read and understood this Policy, agree to comply with this Policy, and ensure all investments proposed for purchase will conform to this Policy and applicable State statutes. Selection of financial institutions authorized to engage in transactions with the Village shall be at the sole discretion of the Village. Financial institutions will be selected based on financial condition, proper registration, level of service, experience with Illinois municipalities, and competitive pricing.

All depositories shall be insured by the Federal Deposit Insurance Corporation (FDIC) or the National Credit Union Administration (NCUA) and may consist of banks, savings and loan associations, and credit unions. All financial institutions who desire to become designated depositories must supply the following (as appropriate):

- Audited financial statements
- Proof of state registration
- Evidence of adequate insurance coverage

All investment advisors shall be registered under the Investment Advisors Act of 1940. All financial institutions who desire to become designated investment advisors must supply the following (as appropriate):

- Audited financial statements
- Securities and Exchange Commission (SEC) Form ADV – Parts 1 and 2
- Proof of state or SEC registration as appropriate
- Evidence of adequate insurance coverage

All broker/dealers shall be insured by the Securities Investor Protection Corporation (SIPC). All financial institutions who desire to become designated broker/dealers must supply the following (as appropriate):

- Audited financial statements
- Proof of Financial Industry Regulatory Authority (FINRA) certification
- Proof of state registration
- Evidence of adequate insurance coverage

A periodic review of the financial condition and registration of all designated financial institutions will be conducted by the Treasurer, or his or her designee.

Village of Sugar Grove  
Investment Policy (Continued)

**VII. Authorized Financial Institutions (Continued)**

Any financial institution selected by the Village of Sugar Grove may be requested to provide cash management services, including but not limited to: checking accounts, wire transfers, purchase and sale of investment securities and safekeeping services. Fees for banking services shall be mutually agreed to by an authorized representative of the financial institution and the Treasurer of the Village.

**VIII. Safekeeping and Custody**

All security transactions, including collateral for repurchase agreements, entered into by the Village shall be conducted on a delivery-versus-payment (DVP) basis. Securities will be held by a third party custodian designated by the Treasurer and evidenced by safekeeping receipts.

**IX. Authorized Investments**

The Village is empowered by statute to invest in the following:

- A. Bonds, notes, certificates of indebtedness, treasury bills or other securities now or hereafter issued, which are guaranteed by the full faith and credit of the United States of America as to principal and interest;
- B. Bonds, notes, debentures, or other similar obligations of the United States of America, its agencies, and its instrumentalities;
- C. Interest-bearing savings accounts, interest-bearing certificates of deposit or interest-bearing time deposits or any other investments constituting direct obligations of any bank as defined by the Illinois Banking Act; provided, however, that such investments may be made only in banks which are insured by the Federal Deposit Insurance Corporation;
- D. Short term obligations of corporations organized in the United States with assets exceeding \$500,000,000 if (1) such obligations are rated at the time of purchase at one of the 3 highest classifications established by at least 2 standard rating services and which mature not later than 270 days from the date of purchase, (2) such purchases do not exceed 10% of the corporation's outstanding obligations and (3) no more than one-third of the Village's funds may be invested in short term obligations of corporations;
- E. Money market mutual funds registered under the Investment Company Act of 1940, provided that the portfolio of any such money market mutual fund is limited to (1) bonds, notes, certificates of indebtedness, treasury bills or other securities now or hereafter issued, which are guaranteed by the full faith and credit of the United States of America as to principal and interest, (2) bonds, notes, debentures, or other similar obligations of the United States of America, or its agencies, and its instrumentalities, or (3) agreements to repurchase such obligations;

Village of Sugar Grove  
Investment Policy (Continued)

**IX. Authorized Investments (Continued)**

- F. Interest-bearing bonds of any county, township, city, village, incorporated town, municipal corporation, or school district, of the State of Illinois, of any other state, or of any political subdivision or agency of the State of Illinois or of any other state. The bonds shall be registered in the name of the municipality or held under a custodial agreement at a bank. The bonds shall be rated at the time of purchase within the 4 highest general classifications established by a rating service of nationally recognized expertise in rating bonds of states and their political subdivisions;
- G. Short term discount obligations of the Federal National Mortgage Association;
- H. Shares or other forms of securities legally issuable by State or Federal savings banks or savings and loan associations which are insured by the FDIC;
- I. Dividend-bearing share accounts, share certificate accounts or class of share accounts of a credit union chartered under the laws of the State of Illinois or the laws of the United States; provided, however, the principal office of any such credit union must be located within the State of Illinois whose accounts of which are insured by applicable law;
- J. A Public Treasurers' Investment Pool created under Section 17 of the State Treasurer Act (Illinois Funds);
- K. Illinois Metropolitan Investment Fund (IMET);
- L. Illinois Trust (formerly Illinois Institutional Investors Trust), IIIT Class;
- M. Any other investment permitted by Illinois statute.

**X. Collateralization**

The Village shall require that deposits in excess of Federal Deposit Insurance Corporation (FDIC), National Credit Union Administration (NCUA), and Securities Investor Protection Corporation (SIPC) insurable limits in a single financial institution and investments not guaranteed by the United States of America or one of its agencies be secured by some form of collateral. To fulfill this requirement, every pledge of collateral must be documented by an approved written security and pledge agreement, executed by the financial institution contemporaneously with the acquisition of the pledged collateral by the financial institution.

To the extent that there are funds in excess of FDIC, NCUA, and/or SIPC insurance protection, eligible collateral instruments are as follows:

- Bonds, notes, or other securities constituting direct and general obligations of the United States;

Village of Sugar Grove  
Investment Policy (Continued)

X. Collateralization (Continued)

- Bonds, notes, or other securities constituting the direct and general obligation of any agency or instrumentality of the United States, the interest and principal of which is unconditionally guaranteed by the United States;
- Bonds, notes, or other securities or evidence of indebtedness constituting the obligation of a U.S. agency or instrumentality;
- Direct and general obligation bonds of the State of Illinois or of any other state of the United States; provided, however, the bonds shall be rated at the time of purchase within the 4 highest general classifications established by a rating service of nationally recognized expertise in rating bonds of states and their political subdivisions;
- Revenue bonds of the State of Illinois or any authority, board, commission, or similar agency thereof; provided, however, the bonds shall be rated at the time of purchase within the 4 highest general classifications established by a rating service of nationally recognized expertise in rating bonds of states and their political subdivisions;
- Direct and general obligation bonds of any city, town, county, school district, or other taxing body of any state, the debt service of which is payable from general ad valorem taxes; provided, however, the bonds shall be rated at the time of purchase within the 4 highest general classifications established by a rating service of nationally recognized expertise in rating bonds of states and their political subdivisions;
- Revenue bonds of any city, town, county, or school district of the State of Illinois; provided, however, the bonds shall be rated at the time of purchase within the 4 highest general classifications established by a rating service of nationally recognized expertise in rating bonds of states and their political subdivisions;

The amount of collateral provided will not be less than 105% of the market value of the net amount of public funds secured. The ratio of fair market value of collateral to the amount of funds secured shall be reviewed monthly and additional collateral will be requested when the ratio declines below the level required.

Third party safekeeping shall be required for all collateral, which may be held at the following locations:

- A Federal Reserve Bank or its branch office; or
- By an independent third party with whom the Village has a current custodial agreement, unless physical securities are involved.

Village of Sugar Grove  
Investment Policy (Continued)

X. Collateralization (Continued)

Safekeeping shall be documented by written agreement which may take the form of a safekeeping agreement, trust agreement, escrow agreement, or custody agreement. A clearly marked evidence of ownership (safekeeping receipt) must be supplied to the Village. Substitution or exchange of securities held in safekeeping shall not be done without prior written notice of the Village at least 10 days prior to any proposed substitutions and provided that the market value of the replacement securities are equal or greater than the market value of the securities being replaced. The Village must pre-approve all substitution and exchanges of securities.

XI. Diversification

It is the policy of the Village to diversify its Portfolio. Investments shall be diversified to eliminate the risk of loss and balance the effect of interest rate changes on different types of securities. Investment shall be diversified by:

- Limiting investments to avoid over-concentration in securities from a specific issuer;
- Investing in securities with varying maturities;
- Investing a portion of the Portfolio in readily available funds such as bank cash management accounts, money market funds, Illinois Funds, or IMET Convenience Fund to ensure liquidity is maintained to meet ongoing obligations.

With the exception of U.S. Treasury and U.S. agency securities, as well as Illinois Funds, IMET, and Illinois Trust no more than 90% of the Village of Sugar Grove's total investment portfolio will be invested in a single security type and no more than 50% of the Village of Sugar Grove's total investment portfolio will be invested with a single financial institution.

XII. Maximum Maturities

To the extent possible, the Village of Sugar Grove will attempt to match its investments with anticipated cash flow requirements. Unless matched to a specific cash flow, the Village will not directly invest in securities maturing more than three (3) years from the date of purchase. However, reserve funds may be invested in securities exceeding three (3) years if the maturities of such investments are made to coincide as nearly as practicable with the expected use of the funds.

XIII. Internal Controls

The Treasurer shall establish a system of internal controls, which shall be documented in writing. The controls shall be designed to prevent the loss of public funds arising from fraud, employee error, and misrepresentation by third parties, unanticipated changes in financial markets, or imprudent action by officers and employees of the Village.

**Village of Sugar Grove  
Investment Policy (Continued)**

**XIV. Performance Standards**

The Portfolio will be managed in accordance with the parameters specified within this Policy. The Portfolio should obtain a market average rate of return during budgetary and economic cycles, taking into account the Village's investment risk constraints and cash flow needs. The Village's investment strategy is passive, which means securities are intended to be held to maturity. Given this strategy, the investment portfolio of the Village shall be designed with the general objective of regularly exceeding the average return of the 90-day U.S. Treasury Bill. The investment program shall seek to augment returns above this level, consistent with risk limitations identified herein and prudent investment principles.

**XV. Reporting**

- Monthly: The Treasurer shall submit a written cash and investment report to the Board which lists the individual components of the Portfolio by maturity date, valuation by fund, and rate of return.
- Quarterly: The Treasurer shall ensure that the Portfolio is reviewed to determine its general performance and effectiveness in meeting the Objectives.
- Annually: The Comprehensive Annual Financial Report of the Village shall include all investment information and disclosures required by accounting principles generally accepted in the United States of America as promulgated by the Government Accounting Standards Board.

**XVI. Amendment of Policy**

The Treasurer shall review this Policy from time to time and shall submit any modifications thereto to the Board for approval.

In the event that any state or federal legislation or regulation should further restrict instruments, institutions or procedures authorized by this Policy, such restrictions shall be deemed to be immediately incorporated in this Policy. If new legislation or regulation should liberalize the permitted instruments, institutions or procedures, such changes shall be available and included in this Policy only after written notification to the Board and their subsequent approval of said changes.

Revision date: November 6, 2012

## **Appendix A**

### **Village of Sugar Grove Listing of Authorized Financial Institutions**

#### **List of Depositories**

Amalgamated Bank  
American Heartland Bank and Trust  
Associated Bank  
BMO Harris Bank  
Castle Bank, A division of First National Bank of Omaha  
Cole Taylor Bank  
Fifth Third Bank  
FirstMerit Bank  
J.P. Morgan Chase Bank  
Old Second National Bank  
PMA Financial Network, Inc. (and any bank participating in their program)  
U.S. Bank  
West Suburban Bank  
Wintrust Financial Corporation (including its wholly owned banking subsidiaries)

#### **List of Investment Advisors**

PFM Asset Management LLC  
Prudent Man Advisors, Inc.

#### **List of Broker/Dealers**

Fifth Third Securities, Inc.  
J.P. Morgan Securities LLC  
PFM Fund Distributors, Inc.  
PMA Securities, Inc.

#### **List of Local Government Investment Pools**

Illinois Funds  
Illinois Metropolitan Investment Fund  
Illinois Trust



**ORDINANCE NO.** \_\_\_\_\_

**AN ORDINANCE APPROVING AN INVESTMENT POLICY  
FOR THE VILLAGE OF SUGAR GROVE**

**WHEREAS**, a sound policy in investing the funds of the Village increases public confidence in the operation of the Village; and,

**NOW THEREFORE BE IT ORDAINED** by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

**SECTION ONE:** That the Village Board hereby adopts the Village of Sugar Grove Investment Policy dated November 6, 2012, attached hereto as Exhibit A.

**SECTION TWO:** That as provided for in 65 ILCS 5/3.1-35-50, the Treasurer is hereby authorized to deposit funds and money of the Village, in the custody of the Treasurer, in the financial institutions listed in the Investment Policy.

**SECTION THREE:** That the Treasurer shall be discharged from responsibility for all funds or money that the Treasurer deposits in a designated financial institution while the funds and money are so deposited.

**SECTION FOUR:** That all ordinances and resolutions, or parts thereof, in conflict with the provision of this Ordinance are hereby repealed.

**SECTION FIVE:** That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

**ADOPTED** this ----- day of \_\_\_\_\_, 2012, by the Corporate Authorities of the Village of Sugar Grove by roll call vote as follows:

|                  | Aye   | Nay   | Absent |
|------------------|-------|-------|--------|
| Trustee Bohler   | _____ | _____ | _____  |
| Trustee Paluch   | _____ | _____ | _____  |
| Trustee Renk     | _____ | _____ | _____  |
| Trustee Johnson  | _____ | _____ | _____  |
| Trustee Montalto | _____ | _____ | _____  |
| Trustee Geary    | _____ | _____ | _____  |

**APPROVED** this \_\_\_\_\_ day of \_\_\_\_\_, 2012, by the President of the Village of Sugar Grove.

\_\_\_\_\_  
P. Sean Michels, Village President

Attest:

\_\_\_\_\_  
Cynthia L. Galbreath, Village Clerk

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**VILLAGE OF SUGAR GROVE  
BOARD REPORT**

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**TO:** VILLAGE PRESIDENT & BOARD OF TRUSTEES  
**FROM:** JUSTIN VANVOOREN, FINANCE DIRECTOR  
**SUBJECT:** DISCUSSION: INVESTMENT POLICY  
**AGENDA:** OCTOBER 16, 2012 REGULAR BOARD MEETING  
**DATE:** OCTOBER 10, 2012

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**ISSUE**

Shall the Village Board approve an Investment Policy.

**DISCUSSION**

The Village Board last approved a revision to the investment policy at the March 24, 2009 Village Board meeting. In addition, the Village last revised its list of designated financial institutions at the May 15, 2007 Village Board meeting.

The Finance Department included a review of the policy as one of its fiscal year 2012 – 2013 goals. The general economic climate of the last 2 – 3 years, as well as modifications in state and federal regulations, amendments to accounting and financial reporting standards, and changes in best practices necessitated a review of the existing policy. The Finance Department reviewed 9 policies from Illinois municipalities and the GFOA Sample Investment Policy. The attached policy combines new information, best practices, and current policy and procedures into a comprehensive revision.

**COST**

There are no costs associated with approval of the Investment Policy.

**RECOMMENDATION**

That the Village Board direct staff to place the Investment Policy on the November 6, 2012 Board agenda for approval.

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**VILLAGE OF SUGAR GROVE  
BOARD REPORT**

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**TO:** VILLAGE PRESIDENT & BOARD OF TRUSTEES  
**FROM:** JUSTIN VANVOOREN, FINANCE DIRECTOR  
**SUBJECT:** MONTHLY TREASURER'S REPORT  
**AGENDA:** OCTOBER 16, 2012 REGULAR BOARD MEETING  
**DATE:** OCTOBER 11, 2012

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**ISSUE**

Should the Village Board approve the September 2012 monthly Treasurer's report.

**DISCUSSION**

The Summarized Revenue & Expense Reports are attached (pages 1 – 7). At September 30, 2012 we are through 5 months of the year (41.7%).

The General Fund revenues and expenditures are at 61.0% and 36.5%, respectively. The main reason revenues are higher than budgeted is due to the timing of receipt of property taxes. There are several revenue accounts that are lower than anticipated; however, none of those (other than those related to building activity discussed below) are of concern at this point of the year. The main reason for the expenditures being lower than budgeted is the attribution of expenditures to the prior fiscal year, for which journal entries have already been made. The following expenditures have budget or actual amounts over \$5,000 and are higher than budget by 10% or more:

|            |                         | <u>Budget</u> | <u>Actual</u> | <u>% Spent</u> |   |
|------------|-------------------------|---------------|---------------|----------------|---|
| 01-51-6209 | Uniform Allowance       | 14,000        | 8,418         | 60.2%          | A |
| 01-51-6301 | Legal services          | 54,800        | 38,729        | 70.7%          | B |
| 01-51-6309 | Other professional svc  | 9,750         | 19,473        | 199.7%         | C |
| 01-53-6609 | Roadway maint sup       | 11,000        | 6,688         | 60.8%          | D |
| 01-53-6617 | Vehicle Maint. Supplies | 10,000        | 6,993         | 70.0%          | E |
| 01-54-6406 | Repair, Maint Svc- bldg | 14,000        | 14,653        | 104.6%         | F |
| 01-55-6309 | Other professional svc  | 17,800        | 13,466        | 75.7%          | G |
| 01-56-6302 | Audit Services          | 10,600        | 9,117         | 86.1%          | H |
| 01-56-6307 | I.S. services           | 5,182         | 5,137         | 99.2%          | I |

A Pol – This is due the timing of the purchase of bullet proof vests, which were a budgeted expenditure.

- B Pol – This is due to the timing of negotiations that took place with the Sergeants. This account is expected to be over budget.
- C Pol – This is related to contractual costs of temporary personnel.
- D Str – This is due to the timing of roadway maintenance throughout the year. This account is not expected to be over budget.
- E Str – This is due to hydraulic repairs of the Village’s bucket truck. This account will continue to be monitored.
- F BM – This is related to carpet replacement costs. This expenditure was anticipated to take place last fiscal year, but was delayed until after April 30. Therefore, this account is expected to be over budget since it was not budgeted for in fiscal year 2012 – 2013.
- G CD – This is due to payment for the special event traffic study. The Village is the recipient of a Kane County Grant to help offset the cost associated with the traffic study.
- H Fin – This is due to the timing of payments which coincide with the filing of the audit. There is no anticipation for this account to be over budget.
- I Fin – This is due the timing of payment for the Village’s financial software maintenance agreement.

Please note engineering invoices are paid approximately 2 months after services are provided. Thus, engineering services accounts in the General Fund, Infrastructure Capital Projects Fund, and Waterworks and Sewerage Fund will reflect a 2 month lag.

The General Capital Projects Fund revenues are at 49.6% and expenditures are at 22.3%. The expenditures are low due to projects not being billed or not starting yet this fiscal year.

The Industrial TIF #1 Fund expenditures are at 100.0%. There are minor expenditures that were not been budgeted for this fiscal year.

The Industrial TIF #2 Fund expenditures are at 36.2%.

The Infrastructure Capital Projects Fund revenues are at 11.4% and expenditures are 7.0%. The revenues are low due to the timing of receipt of reimbursements for the various projects scheduled. The expenditures are low due to project not being billed or not starting yet this fiscal year.

The Debt Service Fund revenues are at 36.8% and the expenditures are at 17.0%. The expenditures are low due to the timing of debt payments throughout the year.

The Waterworks and Sewerage Fund operating revenues and operating expenses are at 49.4% and 43.1%, respectively. The capital revenues and expenses are at 38.0% and 14.5%, respectively. The capital expenses are low due to projects not starting yet this fiscal year. The following expenses have budget or actual amounts over \$5,000 and are higher than budget by 10% or more:

|            |                        | <u>Budget</u> | <u>Actual</u> | <u>% Spent</u> |   |
|------------|------------------------|---------------|---------------|----------------|---|
| 50-50-6302 | Audit Services         | 10,600        | 9,117         | 86.1%          | J |
| 50-50-6307 | I.S. Services          | 7,370         | 5,691         | 77.3%          | K |
| 50-50-8002 | Debt – Principal       | 496,908       | 423,872       | 85.3%          | L |
| 50-50-8003 | Debt – Interest        | 203,929       | 143,021       | 70.2%          | M |
| 50-59-6407 | Repair, Maint Svc.-Veh | 6,000         | 7,964         | 132.7%         | N |
| 50-59-6501 | Postage & Delivery     | 5,000         | 2,650         | 53.0%          | O |
| 50-60-6311 | IEPA Water Sampling    | 10,000        | 6,185         | 61.9%          | P |

- J W&S Adm – This is due to the timing of payments which coincide with the filing of the audit. There is no anticipation for this account to be over budget.
- K W&S Adm – This is due to the timing of payment for the Village’s financial software maintenance agreement.
- L W&S Adm – This is high due to the timing of debt payments throughout the year and will not exceed budget.
- M W&S Adm – This is high due to the timing of debt payments throughout the year and will not exceed budget.
- N PW – This is due to multiple unforeseen repairs of the Villages’ fleet. This account will continue to be monitored.
- O PW – This is related to the large rate of meter failures. Letters are mailed requesting residents schedule a meter exchange. Faulty meters are returned to the vendor under the meter warranty if applicable.
- P Water Ops – This is due to the timing of water sampling program. This is a budgeted item.

The Refuse Fund revenues and expenses are at 41.6% and 33.7%, respectively. The expenses are below expectations due to the timing of payments being made to Waste Management.

Staff projected and included 0 residential and 6 commercial, and 325 miscellaneous permits in the fiscal year 2012 – 2013 budget approved by the Village Board, which we will track throughout the fiscal year and report on. As of October 11, 2012, 0 of the residential, 1 of the commercial, and 188 of the miscellaneous permits have been issued. The following accounts will be included in each Treasurer’s Report to reflect the revenues from building activity:

|            |                        | <u>Budget</u> | <u>Actual</u> | <u>% Earned</u> |
|------------|------------------------|---------------|---------------|-----------------|
| 01-00-3310 | Building Permits       | 38,100        | 13,699        | 36.0%           |
| 01-00-3320 | Cert of Occupancy Fees | 600           | 0             | 0.0%            |
| 01-00-3330 | Plan Review Fees       | 1,920         | 166           | 8.7%            |
| 01-00-3340 | Reinspection Fees      | 1,215         | 480           | 39.6%           |
| 01-00-3350 | Transition Fees        | 0             | 0             | 0.0%            |
| 01-00-3740 | Zoning and Filing Fees | 5,500         | 4,850         | 88.2%           |
| 01-00-3760 | Review and Dev. Fees   | 106,600       | 37,465        | 35.2%           |
| 30-00-3850 | Improvement Donations  | 0             | 0             | 0.0%            |
| 30-00-3851 | Emerg Warn Device Fee  | 0             | 0             | 0.0%            |
| 30-00-3852 | Life Safety-Police     | 0             | 0             | 0.0%            |

|            |                            |        |       |        |
|------------|----------------------------|--------|-------|--------|
| 30-00-3853 | Life Safety-Streets        | 0      | 0     | 0.0%   |
| 30-00-3856 | Commercial Fee             | 0      | 0     | 0.0%   |
| 35-00-3854 | Traffic Pre-emption Donate | 0      | 0     | 0.0%   |
| 35-00-3855 | Road Impact Fee            | 0      | 0     | 0.0%   |
| 50-00-3310 | Meter Reinspections        | 960    | 80    | 8.4%   |
| 50-00-3670 | Meter Sales                | 8,850  | 2,032 | 23.0%  |
| 50-01-3651 | Water Tap-On Fees          | 17,403 | 5,801 | 33.4%  |
| 50-01-3652 | Sewer Tap-On Fees          | 0      | 2,058 | 100.0% |
| 50-01-3791 | Fire Suppr Tap-On Fee      | 17,403 | 0     | 0.0%   |

## **COST**

There are no direct costs associated with the monthly Treasurer's report.

## **RECOMMENDATION**

That the Board approve the September 2012 monthly Treasurer's reports.